

Dane County Rezone Petition

Application Date	Petition Number
11/09/2021	DCPREZ-2021-11789
Public Hearing Date	
01/25/2022	

OWNER INFORMATION		AGENT INFORMATION	
OWNER NAME CARBON CYCLE CONSULTING LLC	PHONE (with Area Code)	AGENT NAME JASON FULLER	PHONE (with Area Code) (608) 370-4926
BILLING ADDRESS (Number & Street) 464 CANAL ROAD		ADDRESS (Number & Street) PO BOX 628455	
(City, State, Zip) MARSHALL, WI 53559		(City, State, Zip) Middleton, WI 53562	
E-MAIL ADDRESS		E-MAIL ADDRESS fuller.jason@yahoo.com	

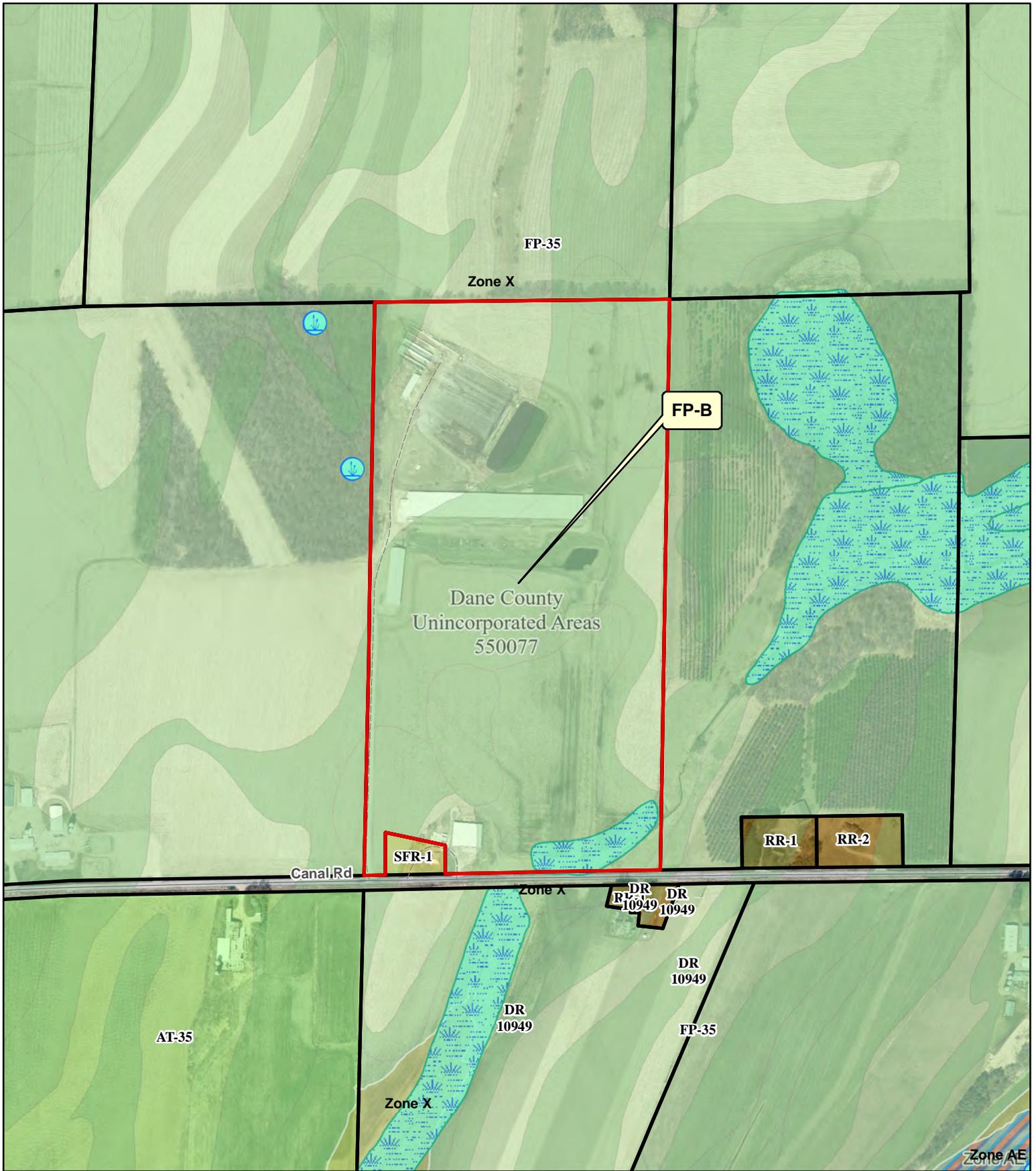
ADDRESS/LOCATION 1		ADDRESS/LOCATION 2		ADDRESS/LOCATION 3	
ADDRESS OR LOCATION OF REZONE		ADDRESS OR LOCATION OF REZONE		ADDRESS OR LOCATION OF REZONE	
464 Canal Road					
TOWNSHIP MEDINA	SECTION 2	TOWNSHIP	SECTION	TOWNSHIP	SECTION
PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED	
0812-023-8000-6		0812-023-9500-9			

REASON FOR REZONE

CHANGE ZONING TO ALLOW FOR THE COMPOSTING OF MANURE AND AGRICULTURAL BY-PRODUCTS

FROM DISTRICT:	TO DISTRICT:	ACRES
FP-35 Farmland Preservation District	FP-B Farmland Preservation Business District	78

C.S.M REQUIRED? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Applicant Initials _____	PLAT REQUIRED? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Applicant Initials _____	DEED RESTRICTION REQUIRED? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Applicant Initials _____	INSPECTOR'S INITIALS RWL1	SIGNATURE:(Owner or Agent) PRINT NAME: DATE:
---	--	--	---	---



Legend

- | | | | |
|--|------------|--------------------------|---------|
| | Wetland | Significant Soils | |
| | Floodplain | | Class 1 |
| | | | Class 2 |



0 205 410 820 Feet

Petition 11789
**CARBON CYCLE
CONSULTING LLC**

SUPPLEMENTAL INFORMATION FOR COMMERCIAL DEVELOPMENT

A scaled site plan and detailed operations plan must be submitted for commercial rezone applications. Please use the checklist below to ensure you are submitting all required information applicable to your request. Please attach the relevant maps and plans listed below to your application form.

SCALED SITE PLAN. Show sufficient detail on 11" x 17" paper. Include the following information, as applicable:

- Scale and north arrow
- Date the site plan was created
- Existing subject property lot lines and dimensions
- Existing and proposed wastewater treatment systems and wells
- All buildings and all outdoor use and/or storage areas, existing and proposed, including provisions for water and sewer.
- All dimension and required setbacks, side yards and rear yards
- Location and width of all existing and proposed driveway entrances onto public and private roadways, and of all interior roads or driveways.
- Location and dimensions of any existing utilities, easements or rights-of-way
- Parking lot layout in compliance with s. [10.102\(8\)](#)
- Proposed loading/unloading areas
- Zoning district boundaries in the immediate area. All districts on the property and on all neighboring properties must be clearly labeled.
- All relevant natural features, including navigable and non-navigable waters, floodplain boundaries, delineated wetland areas, natural drainage patterns, archeological features, and slopes over 12% grade
- Location and type of proposed screening, landscaping, berms or buffer areas if adjacent to a residential area
- Any lighting, signs, refuse dumpsters, and possible future expansion areas.

NEIGHBORHOOD CHARACTERISTICS. Describe existing land uses on the subject and surrounding properties.

- Provide a brief written statement explaining the current use(s) of the property on which the rezone is proposed.
- Provide a brief written statement documenting the current uses of surrounding properties in the neighborhood.

OPERATIONAL NARRATIVE. Describe in detail the following characteristics of the operation, as applicable:

- Hours of operation
- Number of employees, including both full-time equivalents and maximum number of personnel to be on the premises at any time
- Anticipated noise, odors, dust, soot, runoff or pollution and measures taken to mitigate impacts to neighboring properties.
- Descriptions of any materials stored outside and any activities, processing or other operations taking place outside an enclosed building
- Compliance with county stormwater and erosion control standards under [Chapter 11](#) of [Chapter 14](#), Dane County Code
- Sanitary facilities, including adequate private onsite wastewater treatment systems and any manure storage or management plans approved by the Madison and Dane County Public Health Agency and/or the Dane County Land and Water Resources Department.
- Facilities for managing and removal of trash, solid waste and recyclable materials.
- Anticipated daily traffic, types and weights of vehicles, and any provisions, intersection or road improvements or other measures proposed to accommodate increased traffic.
- A listing of hazardous, toxic or explosive materials stored on site, and any spill containment, safety or pollution prevention measures taken
- Outdoor lighting and measures taken to mitigate light-pollution impacts to neighboring properties
- Signage, consistent with section [10.800](#)

ADDITIONAL PROPERTY OWNERS. Provide contact information for additional property owners, if applicable.

Additional Property Owner Name(s):	
Address (Number & Street):	
Address (City, State, Zip):	
Email Address:	
Phone Number:	

WRITTEN STATEMENT OF INTENT AND OPERATIONS PLAN

Applicants must provide a detailed written statement of intent describing the proposed conditional use along with an operational plan that explains how the conditional use will be operated. Please use the form below and provide responses, as applicable, to your proposed conditional use. Attach additional pages, if necessary.

Describe in detail the proposed conditional use. Provide the specific location of the use(s), type of equipment used, planned property improvements, including description / size of existing or proposed new buildings to be used, and any other relevant information. For existing or proposed commercial operations, provide the name of the business and describe the nature and type of business activity.

We will employ the use of trucks, tractors, compost turners & wheel loaders, mixers, & screeners to make a composted finished product. We may amplify the office area in the future as needs determine. The site has existing infrastructure that will be used for the composting operations. Manure products from farms and digesters will be brought into the site, where it will be composted. Zero to 10 trucks per day are expected. Compost windrows will be turned as needed throughout the process. Liquid manure is added to windrows as a sustainable means to manage manure.

List the proposed days and hours of operation.

7 days a week if needed generally during the hours of 6:00 AM - 10:00 PM during peak season

List the number of employees, including both full-time equivalents and maximum number of personnel to be on the premises at any time.

Generally expect 4-5 employees once fully operational.

List any anticipated noise, odors, dust, soot, runoff or pollution associated with the conditional use, along with any proposed measures that will be taken to mitigate impacts to neighboring properties.

Generally low odor due to the aerobic nature of composting. Open areas are designed to collect the rain water run off. We have been composting manure at other facilities and successfully controlling odors, dust and noise. A lagoon will store runoff from the compost pad and separate storm water basins manage surrounding runoff.

Describe any materials proposed to be stored outside and any activities, processing or other operations taking place outside an enclosed building.

Compost rows will be contained to the active composting area. Finished products will be in the storage sheds. Manure will be stored in the existing manure lagoon. These features have been designed to meet NRCS standards.

For proposals involving construction of new facilities and/or infrastructure, describe, as applicable, any measures being taken to ensure compliance with county stormwater and erosion control standards under Chapter 11 of Chapter 14, Dane County Code.

No construction expected. Existing storm water basins manage clean runoff from not at this time. areas surrounding the composting area.

List and describe existing or proposed sanitary facilities, including adequate private onsite wastewater treatment systems, associated with the proposed conditional use. For uses involving domestic pets or livestock, list and describe measures taken to address manure storage or management.

There is an existing toilet on site in the office.

List and describe any existing or proposed facilities for managing and removal of trash, solid waste and recyclable materials.

We will utilize a dumpster service by a vendor once operational.

Describe anticipated daily traffic, types and weights of vehicles, and any provisions, intersection or road improvements or other measures proposed to accommodate increased traffic.

We will work with the town if improvements are needed. there could be truck traffic to be from 0 to 10 trucks a day during peak season

Provide a listing of any hazardous, toxic or explosive materials to be stored on site, and any spill containment, safety or pollution prevention measures.

Diesel fuel and L.P will be stored in their proper tanks that are already on site.

Describe any existing or proposed outdoor lighting along with any measures that will be taken to mitigate light-pollution impacts to neighboring properties. The Zoning Administrator may require submittal of a photometric plan for outdoor lighting if deemed necessary to determine potential impacts to neighbors.

Plan to use current lighting - about 6-8 outdoor dusk to dawn lights

Describe any existing or proposed signage, including size, location, and materials, consistent with the county's sign ordinance found in s. 10.800.

Potentially may install a sign by the road that will comply with S. 10-800

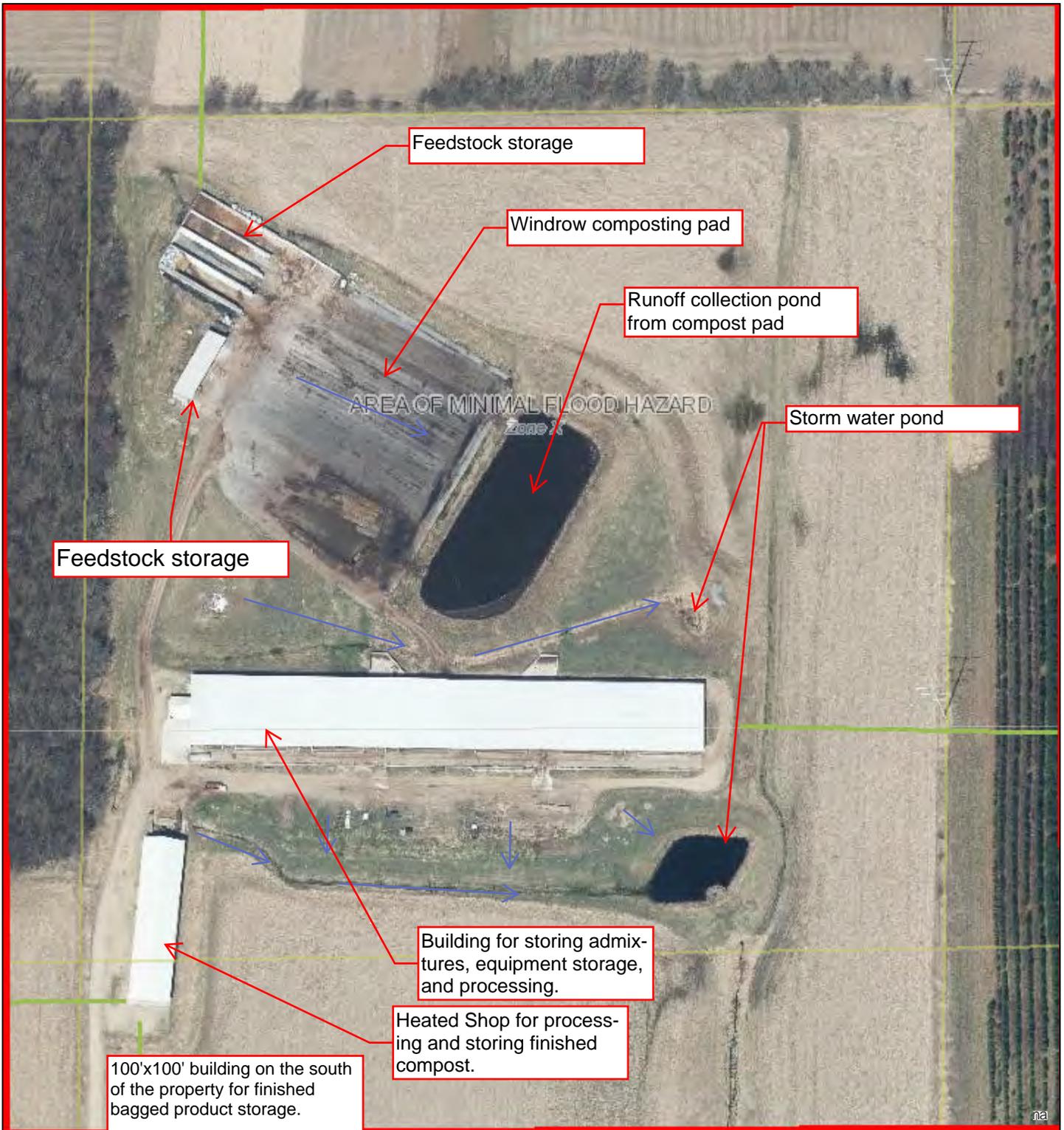
Briefly describe the current use(s) of the property on which the conditional use is proposed.

composting manure products

Briefly describe the current uses of surrounding properties in the neighborhood.

farm fields in current production & a grove of trees to the west.

Dane County Map



May 4, 2021

Dane County Mask

□ Dane County Mask

Dane County Parks

■ Recreation Park

■ Natural Resource Area

■ Wildlife Area

■ Historical or Cultural Site

■ Forest

■ Trails

Municipal Parks

■ Park

■ Natural Area

■ Other Public Lands

■ Parcels

Paved Airfields-Heliports

■ Runway

■ Helipad

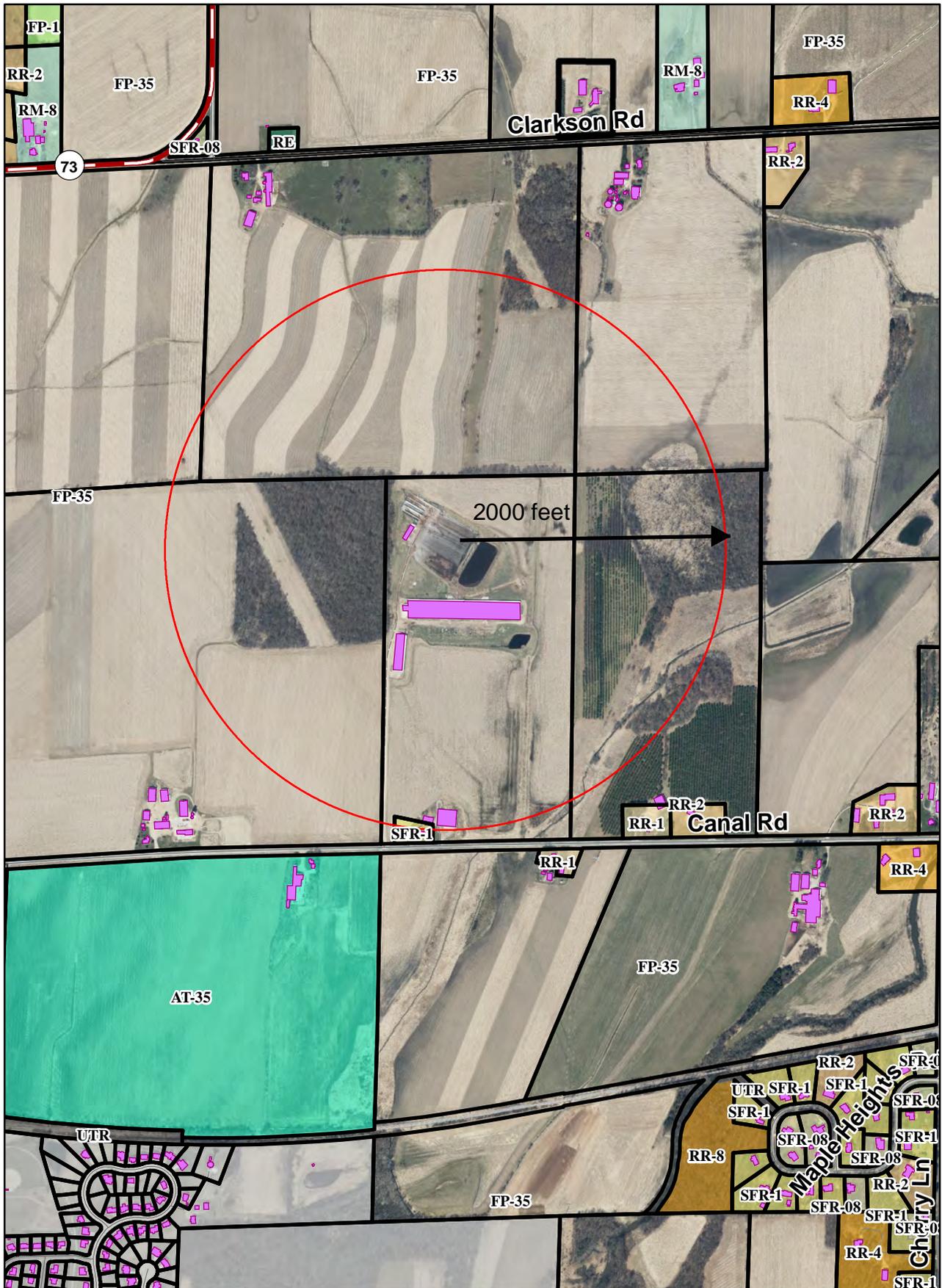
■ Taxiway

■ Apron

0 140 280 560 Feet

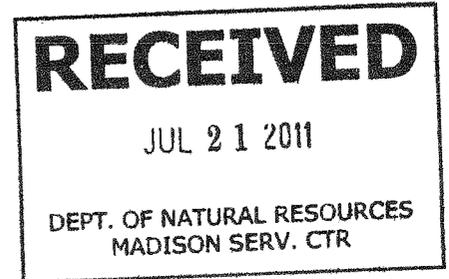


Legal Description: East 1/2 of the Southwest 1/4 of Section 2, T08N, R12E, Town of Medina, Dane County, WI, Except for Lot 1 of Certified Survey Map 4814.



Neighborhood Plan
464 Canal Road

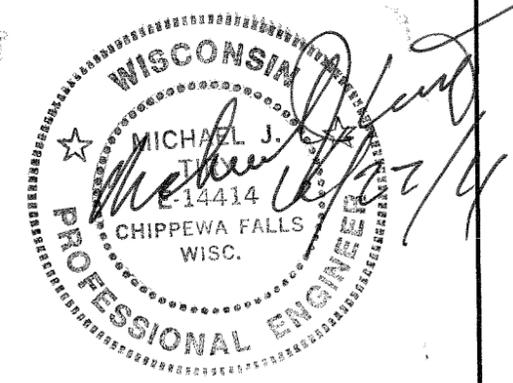
As Built Plans Red Line (11X17)



**AS BUILT
DRAWINGS**

"STATE LAW AND NRCS POLICY REQUIRE THAT THE EXCAVATOR CONTACT DIGGERS HOTLINE AT (800) 242-8511 FOR UTILITY LOCATIONS 72 HOURS PRIOR TO THE START OF EXCAVATION WORK."

ED HERMAN
PROJECT SITE: Main FARM
 450 CANAL ROAD
 Marshall, WI 53599
 Phone: 608-345-1422
 NE1/4 of SW1/4, Sec. 2;
 T8N, R12E
 Township Of Medina
 Dane County

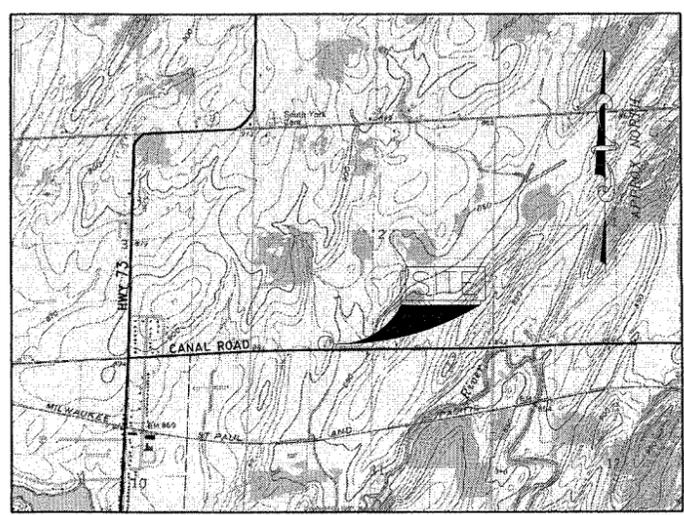


Construction Specifications:

- WI Constr. No. 2 "Excavation"
- WI Constr. No. 3 "Earthfill"
- WI Constr. No. 4 "Concrete"
- WI Constr. No. 8 "Drainfill"
- WI Constr. No. 10 "Fencing"
- WI Constr. No. 13 "Geotextiles"
- WI Constr. No. 15 "Plastic Pipe Conduits"
- WI Constr. No. 26 "Topsoiling"
- WI Constr. No. 44 "Corrugated Polyethylene Tubing"
- WI Constr. No. 203 "Geosynthetic Clay Liner"
- WI Constr. No. 204 "Earthfill for Waste Storage Facilities"
- WI DOT Section 460 "Hot Mix Asphalt Pavement"
- WI DOT Construction Spec. TE-22 "Crushed Aggregate Base Course"

Drawing Index

1. As Built Cover Sheet
2. Exist Site Plan & As Built Structures
3. As Built Site Plan
4. As Built Enlarged Structure Plan
5. Details and Sections
6. Details and Sections
7. As Built Ramp Details and Sections
8. Road Profile and Sections
9. Stormwater and Erosion Plan
10. Seeding and Details
11. As Built Basin Pipe Detail



SITE LOCATION MAP
 SCALE: 1" = 2000'

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, JUDGMENT, AND BELIEF, THIS DESIGN AND THESE CONSTRUCTION PLANS MEET WISCONSIN NRCS STANDARDS: 313 "WASTE STORAGE FACILITY", 634 "MANURE TRANSFER", AND 317 "COMPOSTING".

REV	DESCRIPTION OF REVISION	BY	DATE	APPROVED
A	*	*	*	*

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THIS DESIGN AND CONSTRUCTION PLAN MEETS THE MINIMUM REQUIREMENTS OF THE NRCS STANDARD 313 "WASTE STORAGE FACILITY", 634 "MANURE TRANSFER", & 317 "COMPOSTING FACILITY".

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Tiry Engineering, Inc.
For Agriculture and the Environment

220 1/2 N. Bridge Street
 P.O. Box 44
 Chippewa Falls, WI 54729

Office: (715) 723-6777
 Fax: (715) 723-6842
 www.tiryengineering.com

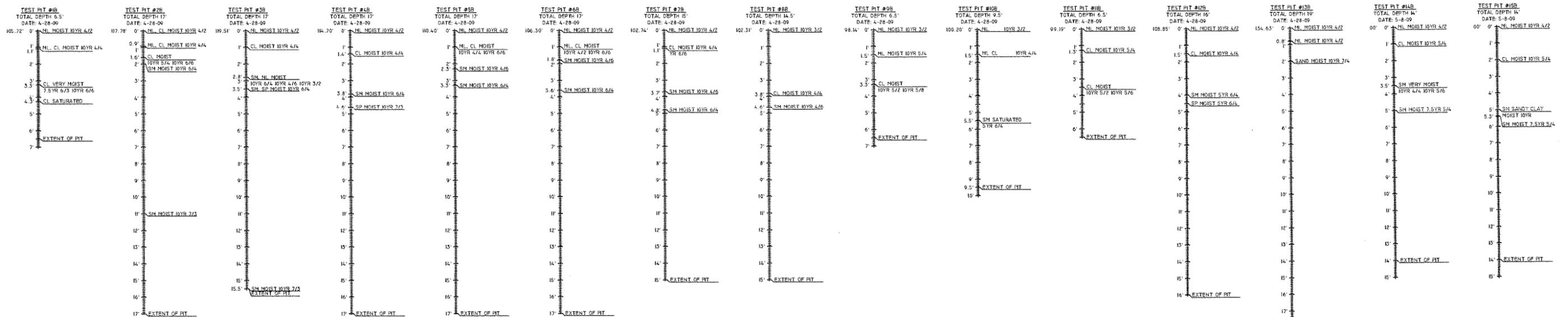
DESIGNED: Michael J. Tiry P.E.
 DRAWN: DGB/JCC
 PROJECT MANAGER: MJT

-ATTENTION-
 0 1
 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

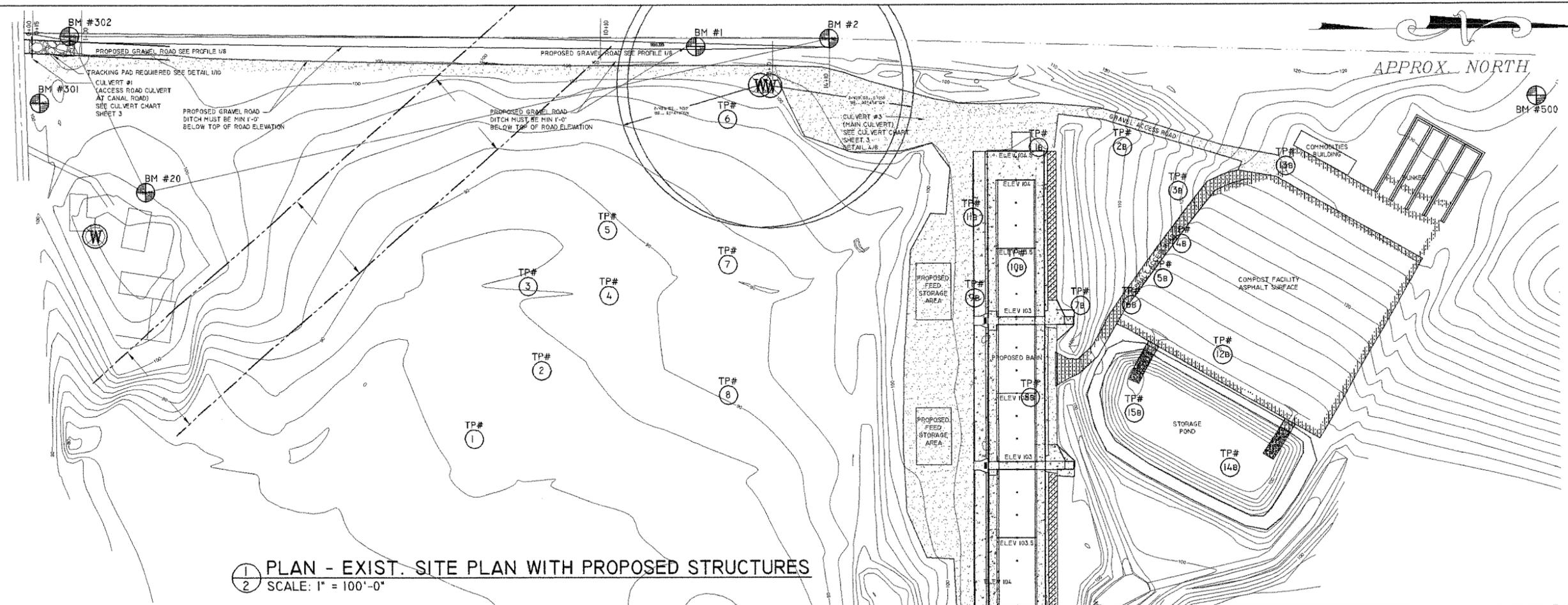
-SHEET DESCRIPTION-
AS BUILT COVER SHEET
 -CLIENT-
Ed Herman

DRAWING NO. HERM-02-09
 DATE: 04-18-11
 SHEET 1 OF 10

\\Tiry\as\data on nas\2009 Jobs\Herman\AutoCad\Eng Drawings 25- As Built Entire Site.dwg, 4/20/2011 8:24:01 AM



2 SUBSOIL INVESTIGATION - TEST PITS 1B - 15B
 2 SCALE: AS NOTED
 NOTE: TEST PITS 1 - 8 ARE CONTAINED IN THE ENGINEERING REPORT



1 PLAN - EXIST. SITE PLAN WITH PROPOSED STRUCTURES
 2 SCALE: 1" = 100'-0"

BENCHMARK DESCRIPTION		
TBM #	DESCRIPTION	ELEVATION
TBM #1	SET SPIKE	ELEV. 100
TBM #2	SET SPIKE	ELEV. 100.75
TBM #20	SET SPIKE	ELEV. 102.51
TBM #302	SET SPIKE	ELEV. 98.08
TBM #301	SET SPIKE	ELEV. 100.07
TBM #504	NOT USED	
TBM #500	SET SPIKE	ELEV. 131.28

LEGEND	
	Asphalt Surface
	Concrete Surface
	GRAVEL SURFACE
	PROPERTY LINE
	CENTERLINE OF ROAD
	KETCHLINE (CUT & FILL LIMITS)
	WATERWAY
	FENCE
	POWER POLE
	BENCHMARK
	HUB (TEMP. SURVEY REFER.)
	SOIL BORING
	AS BUILT WELL LOCATION
	AS BUILT SURVEY

REV	DESCRIPTION OF REVISION	BY	DATE	APPROVED
A				

Scale in Feet
 AS NOTED

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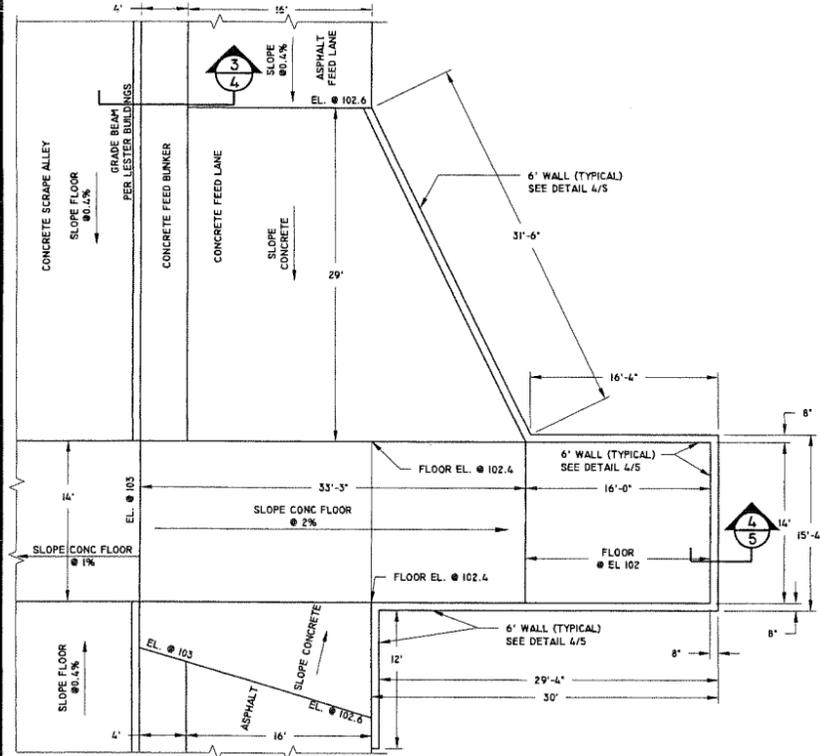
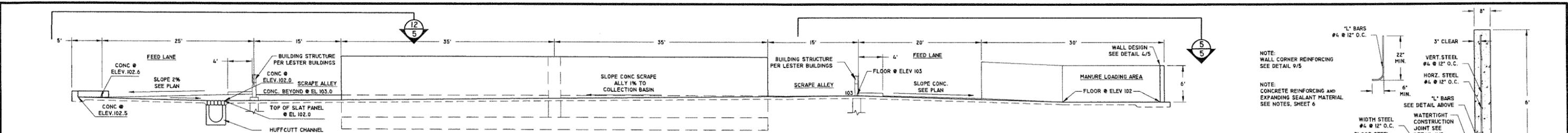
220 1/2 N. Bridge Street
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 Chippewa Falls, WI 54729
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DESIGNED: Michael J. Tiry P.E.
 DRAWN: DGB/JCC
 PROJECT MANAGER: MJT

-ATTENTION-
 0 1
 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

-SHEET DESCRIPTION-
 EXIST SITE PLAN & AS BUILT STRUCTURE
 -CLIENT-
 Ed Herman

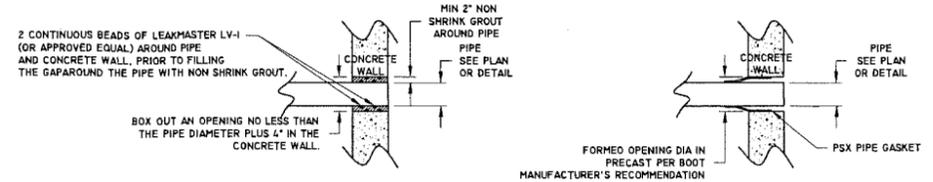
DRAWING NO. HERM-02-09
 DATE: 4-18-11
 SHEET 2 OF 10



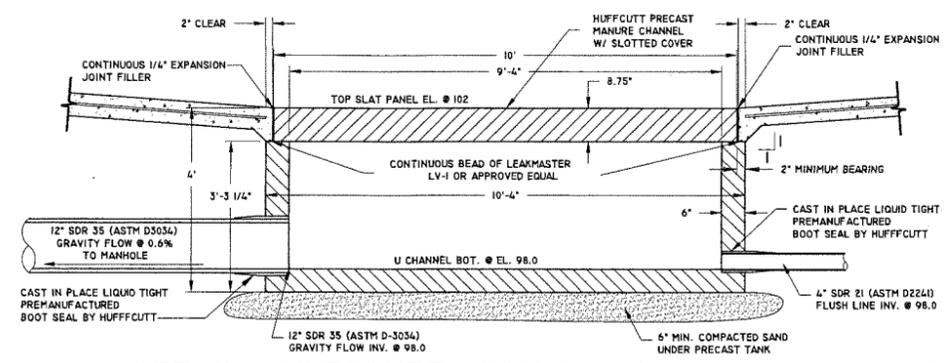
3 SECTION - BEEF BUILDING
5 N.T.S.

8 DETAIL - NOT USED
5 SCALE - 1/2" = 1'

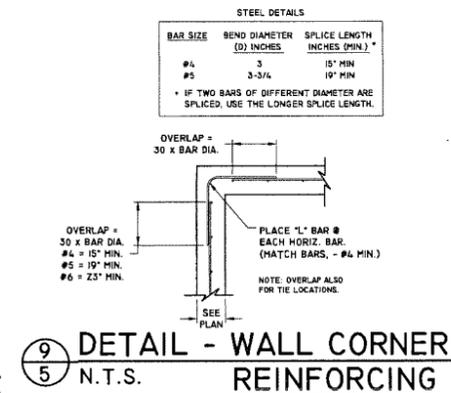
11 DETAIL - NOT USED
5 N.T.S.



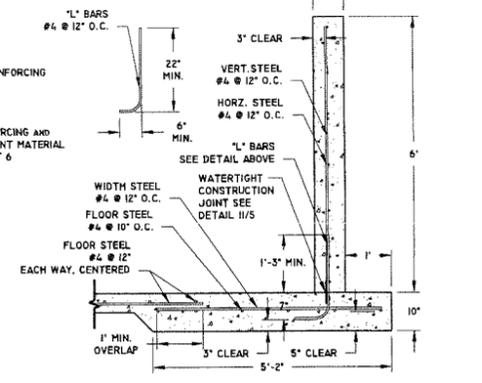
10 DETAIL - LIQUID TIGHT
PIPE/WALL PENETRATION
5 SCALE - 3/8" = 1'



14 DETAIL - HUFFCUTT SECTION MANURE CHANNEL TANK
5 SCALE - 1/2" = 1'



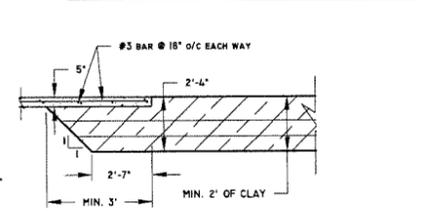
9 DETAIL - WALL CORNER REINFORCING
5 N.T.S.



4 DETAIL - WALL
5 SCALE - 1/2" = 1'

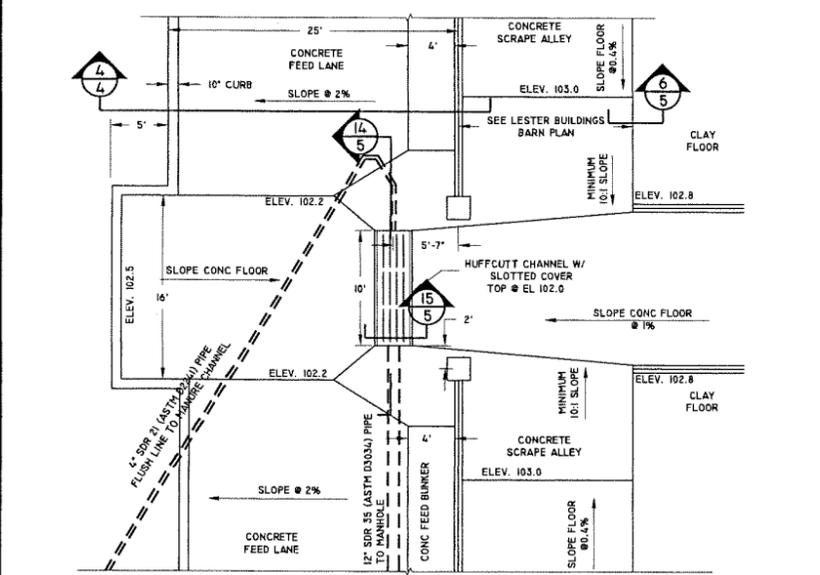
- WATERTIGHT CONSTRUCTION JOINT:
- STRENGTH STEEL MUST BE TIED IN PLACE BEFORE POURING THE WALL FOOTING.
 - CURING COMPOUND MUST NOT BE APPLIED TO JOINT SURFACE.
 - CLEAN THE CONCRETE JOINT SURFACE TO REMOVE LAITANCE AND OTHER RESIDUAL MATERIAL USING WIRE BRUSHING, HIGH PRESSURE WATER BLASTING, OR SAND BLASTING.
 - APPLY FORM RELEASE AGENT - NO DIESEL OIL OR SIMILAR PRODUCTS THAT MIGHT RUN DOWN ONTO THE JOINT.
 - THIS JOINT IS CONSIDERED MONOLITHIC IF CONSTRUCTED IN ACCORDANCE WITH I-4 AND W1 CONST SPEC 4. IT MEETS THE REQUIREMENTS OF TABLE 5 IN NRCS STANDARD 315
 - WATERTIGHT CONSTRUCTION JOINT CAN ALSO BE CONSTRUCTED USING CONTINUOUS 6" VINYL GREENSTREAK 705 OR EQUAL WITH 3" EMBEDMENT IN FLOOR AND 3" EMBEDMENT IN WALL.

13 NOTE - WATER TIGHT CONSTRUCTION JOINT
5



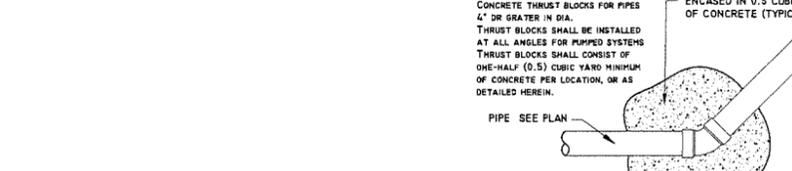
6 DETAIL - SCRAPE TRANSITION
5 N.T.S.

5 ENLARGED PLAN - MANURE LOADING AREA
5 SCALE - 1/8" = 1'

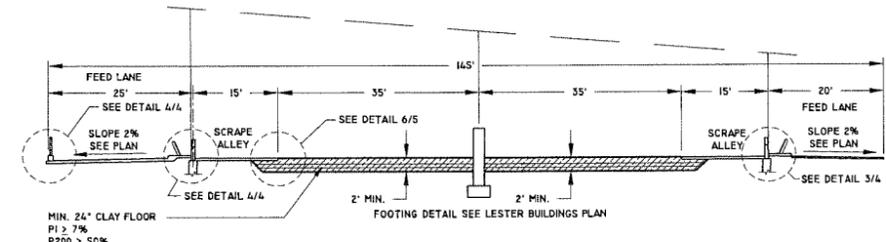
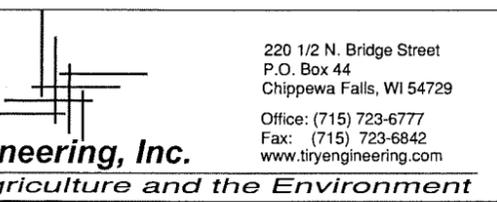


12 ENLARGED PLAN - LIQUID COLLECTION
5 SCALE - 1/8" = 1'

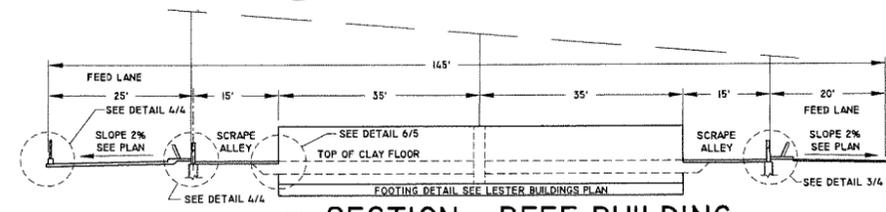
15 DETAIL - HUFFCUTT MANURE CHANNEL TANK
5 SCALE - 1/2" = 1'



16 THRUST BLOCK
5 SCALE - 1/4" = 1'



1 SECTION - BEEF BUILDING
5 N.T.S.



2 SECTION - BEEF BUILDING
5 N.T.S.

REV	DESCRIPTION OF REVISION	BY	DATE	APPROVED
A				

Scale in Feet
AS NOTED

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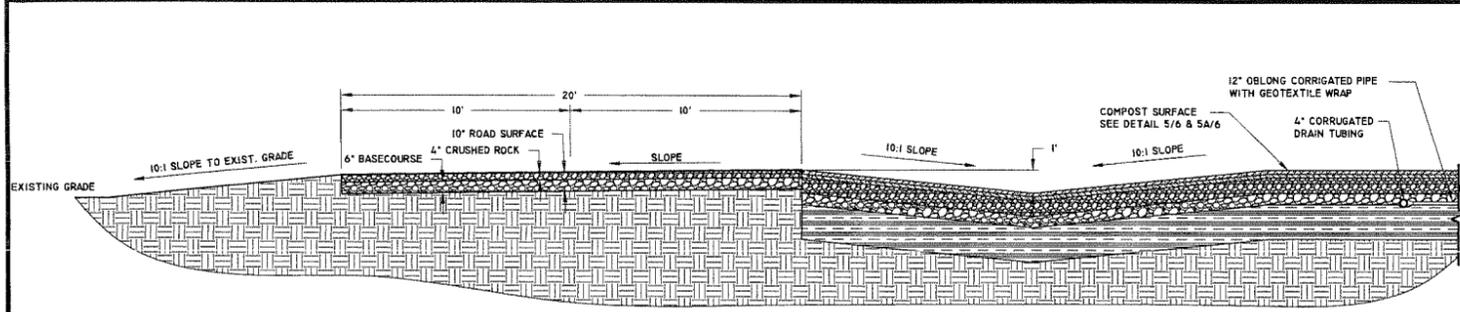
-ATTENTION-
0 1
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

-SHEET DESCRIPTION-
DETAILS and SECTIONS

-CLIENT-
Ed Herman

DRAWING NO. HERM-02-09
DATE: 4-18-11
SHEET 5 OF 10

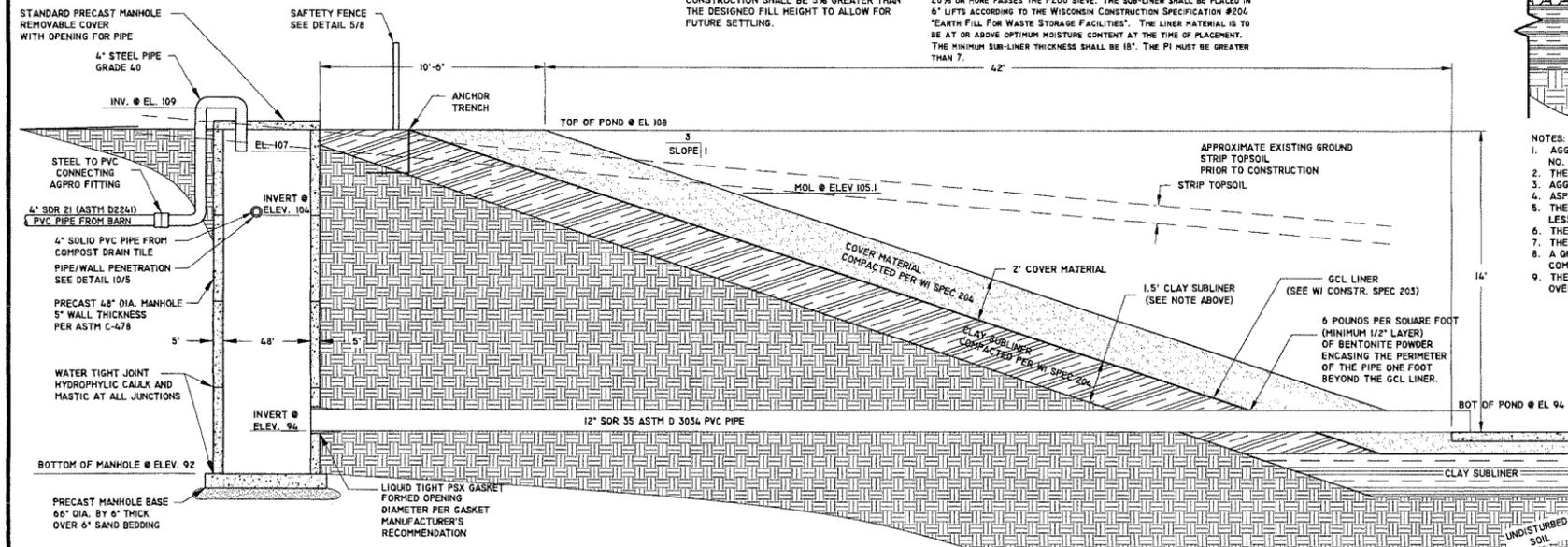
\\Tirynas\data\nas\2009\Jobs\Herman\AutoCad\Eng Drawings\25- As Built Entire Site.dwg, 4/20/2011 8:30:58 AM



1 SECTION - COMPOST ACCESS ROAD AND CHANNEL
SCALE - 1/4" = 1'

NOTE: ELEVATIONS SHOWN ARE FINAL SETTLED ELEVATIONS. CONSTRUCTED BERM HEIGHTS AFTER CONSTRUCTION SHALL BE 5% GREATER THAN THE DESIGNED FILL HEIGHT TO ALLOW FOR FUTURE SETTLING.

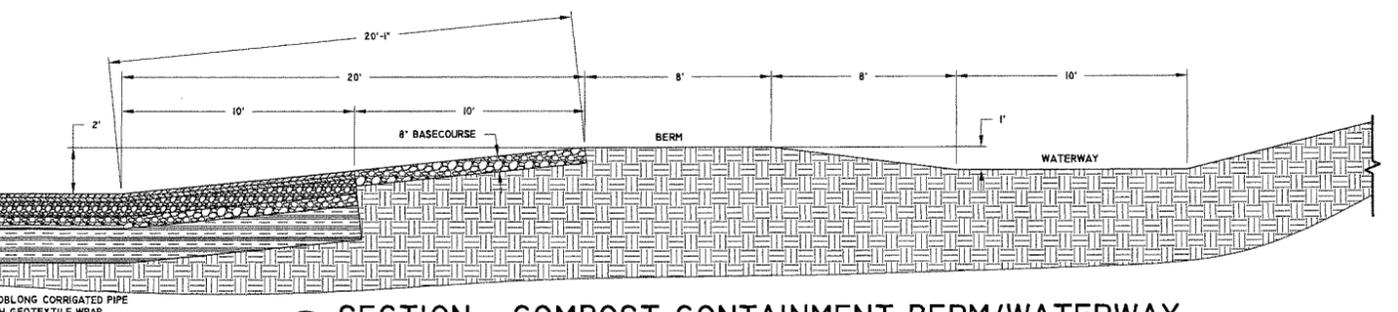
CLAY SUB-LINER: THIS GCL LINED WASTE STORAGE FACILITY SHALL BE CONSTRUCTED ACCORDING TO THE FOLLOWING. THE CONSTRUCTED CLAY SUB-LINER SHALL BE CONSTRUCTED OF COMPACTED CLAY MATERIAL OF WHICH 20% OR MORE PASSES THE #200 SIEVE. THE SUB-LINER SHALL BE PLACED IN 6" LIFTS ACCORDING TO THE WISCONSIN CONSTRUCTION SPECIFICATION #204 "EARTH FILL FOR WASTE STORAGE FACILITIES". THE LINER MATERIAL IS TO BE AT OR ABOVE OPTIMUM MOISTURE CONTENT AT THE TIME OF PLACEMENT. THE MINIMUM SUB-LINER THICKNESS SHALL BE 18". THE PI MUST BE GREATER THAN 7.



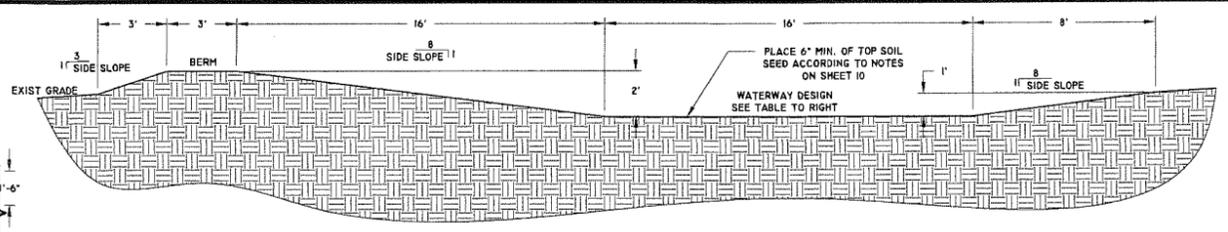
3 SECTION - POND
SCALE - 1/4" = 1'

#0 GRADE REINFORCEMENT STEEL	MAX. SPACING BETWEEN CONTROL JTS.
#3 @ 18" O.C.	65'
#3 @ 15" O.C.	78'
#4 @ 18" O.C.	117'
#4 @ 15" O.C.	140'
#4 @ 14" O.C.	154'
#4 @ 12" O.C.	175'

NOTE - CONCRETE/REINFORCEMENT



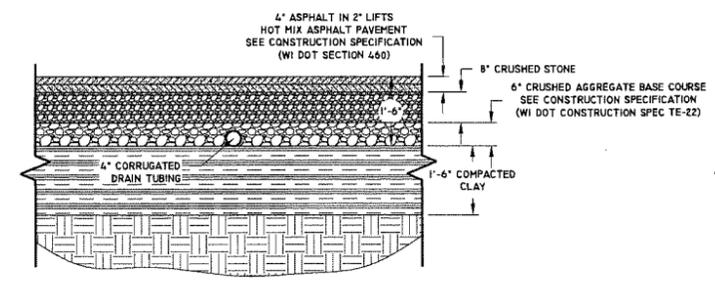
4 SECTION - COMPOST CONTAINMENT BERM/WATERWAY
SCALE - 1/4" = 1'



2 SECTION - WATERWAY
SCALE - 1/4" = 1'

WATERWAY DESIGN TABLE

WATERWAY DIVERSION DESIGN	
0+00 TO 2+20	B = 16' Z = 8.1 D = 1.7%
2+68 TO 9+00	B = 10' Z = 8.1 D = .7%



5 SECTION - COMPOST SURFACE
SCALE - 1/2" = 1'

NOTE: THIS FACILITY SHALL BE CONSTRUCTED FOLLOWING THE WISCONSIN CONSTRUCTION SPECIFICATION PACKET INCLUDED IN THE CONSTRUCTION PLAN PACKET. THIS FACILITY SHALL BE MADE LIQUID TIGHT ACCORDING TO THE NRCS 313 CODE. CONCRETE QUALITY AND PLACEMENT AS WELL AS REINFORCEMENT STEEL SHALL BE PLACED TO MEET LINES AND GRADES FOLLOWING THIS PLAN PACKET.

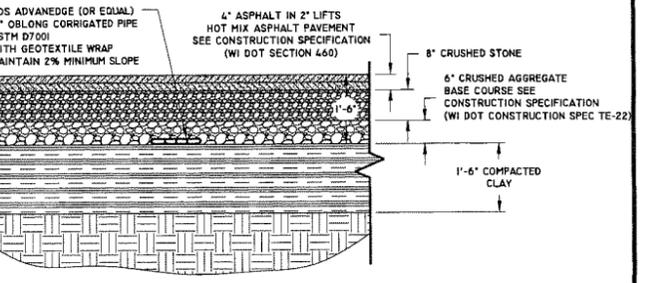
NOTE: CONCRETE SHALL MEET SCS/NRCS 6 BAG MIX, 3500 PSI MINIMUM REQUIREMENTS. SEE WI CONSTRUCTION SPECIFICATION #4 FOR MORE INFORMATION.

NOTE: REINFORCEMENT STEEL SHALL BE GRADE 60 DEFORMED BARS. TIRY ENGINEERING WILL INSPECT THE STEEL PRIOR TO POURING CONCRETE. THE CONTRACTOR WILL BE RESPONSIBLE TO NOTIFY TIRY ENGINEERING AT LEAST TWO DAYS PRIOR TO EACH POUR.

NOTE: ALL WALLS SHALL BE FORMED WITH TIES THAT WILL BREAK BACK 1/2" BELOW THE CONCRETE SURFACE. THE TIE HOLES SHALL THEN BE GROUTED OR EPOXIED ACCORDING TO WI CONST. SPEC. #4. WALLS SHALL NOT BE BACKFILLED UNTIL THE CONCRETE HAS CURED FOR SEVEN DAYS ACCORDING TO NRCS WI CONSTRUCTION SPEC #4. WALLS SHALL NOT BE BACKFILLED MORE THAN THREE FEET UNLESS TOP OF WALL IS SUPPORTED AND APPROVED BY AN ENGINEER.

VERTICAL REINFORCEMENT STEEL SHALL HAVE 2" OF CONCRETE COVER. SEE WI CONSTRUCTION SPECIFICATION #4 FOR MORE INFORMATION. THE HORIZONTAL REINFORCEMENT STEEL SHALL BE TIED TO THE VERTICAL STEEL TOWARD THE CENTER OF THE WALL. STEEL SHALL BE SHIMMED DURING CONCRETE PLACEMENT WITH REMOVABLE SHIMS TO ENSURE PROPER ALIGNMENT. SEE WI CONSTRUCTION SPECIFICATION #4 FOR MORE INFORMATION.

NOTE: THIS PLAN DOES NOT CONTAIN ANY CONSTRUCTION JOINTS. IF CONTRACTOR USES CONSTRUCTION JOINTS, EVERY JOINT SHALL HAVE A NON-METALLIC WATER STOP TO MAKE THE PIT LIQUID TIGHT. ANY JOINTS IN THE WALLS AND FLOOR SHALL COINCIDE WITH A JOINT IN THE FLOOR AND WALL RESPECTIVELY. FOOTING/WALL JOINTS SHALL HAVE A NON-METALLIC WATERSTOP.



5A SECTION - COMPOST SURFACE
SCALE - 1/2" = 1'

-EXPANDING SEALANT MATERIALS FOR USE IN CONCRETE-

EXPANDING SEALANT MATERIALS CAN BE USED IN PROJECTS WHERE NEW CONCRETE IS BEING PLACED AGAINST CONCRETE OR FOR SEALING PIPE PENETRATIONS THROUGH CONCRETE WALLS OR SLABS. THE FOLLOWING MATERIALS HAVE BEEN TESTED AND EXPAND IN THE PRESENCE OF MANURE. ALL MATERIALS ARE TO BE APPLIED IN CONFORMANCE WITH THE MANUFACTURER'S REQUIREMENTS.

HYDROTITE BY GREENSTREAK

THE SEALANT IS SUPPLIED IN A PREFORMED STRIP. THE MINIMUM RECTANGULAR STRIP TO USE IS 3/4 INCHES WIDE BY 3/8 INCHES HIGH. NON-HORIZONTAL APPLICATIONS REQUIRE THE USE OF AN ADHESIVE PRIMER OR CONCRETE NAILS TO HOLD THE SEALANT STRIP IN PLACE.

ULTRA SEAL MC-2005T BY ADEKA

THE SEALANT IS SUPPLIED IN A PREFORMED STRIP WITH ADHESIVE BACK. THE MINIMUM RECTANGULAR STRIP TO USE IS 3/4 INCHES WIDE BY 1/4 INCH HIGH.

SIKA SWELL BY SIKA

THE SEALANT IS SUPPLIED IN A PREFORMED STRIP OR IN A MOISTURE-PROOF 'SAUSAGE' WHICH REQUIRES A SPECIAL GUN TO APPLY. THE MINIMUM RECTANGULAR STRIP TO USE IS 3/4 INCH WIDE BY 1/8 INCH HIGH. NON-HORIZONTAL APPLICATIONS REQUIRE THE USE OF AN ADHESIVE PRIMER OR CONCRETE NAILS TO HOLD THE SEALANT STRIP IN PLACE.

THE 'SAUSAGE' APPLIED MATERIAL IS STICKY AND STAYS IN PLACE ON ANY CLEAN SURFACE. THE MINIMUM APPLIED BEAD CROSS SECTION IS TO BE TRIANGULAR 5/8 INCHES BY 5/8 INCHES BY 5/8 INCHES.

LEAKMASTER BY C. I. KASEI

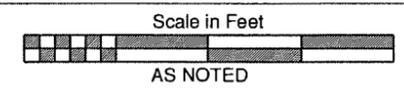
THE SEALANT IS SUPPLIED IN COMMONLY AVAILABLE SIZE CAULKING TUBES. THE APPLIED MATERIAL IS STICKY AND STAYS IN PLACE ON ANY CLEAN SURFACE. THE MATERIAL IS TO BE APPLIED TO OBTAIN A SEALANT CROSS SECTION OF 3/4 INCHES WIDE BY 1/4 INCH HIGH.

NOTE - EXPANDING SEALANT

BUNKER BUILT FALL 2009
DETAIL REMOVED

6 SECTION - BUNKER SURFACE
SCALE - 1/4" = 1'

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A				



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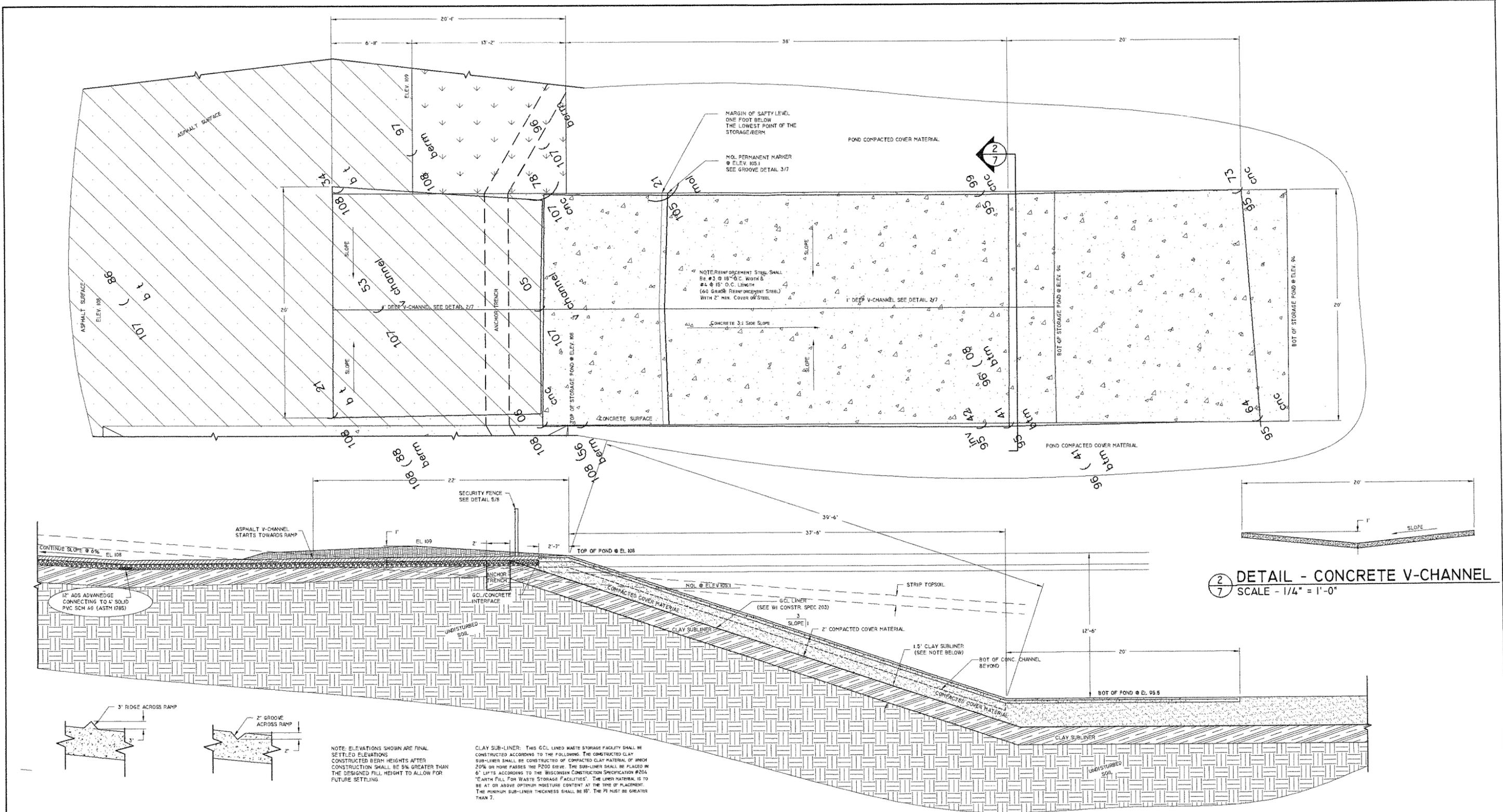
DESIGNED: Michael J. Tiry P.E.
DRAWN: DGB/JCC
PROJECT MANAGER: MJT

-ATTENTION-
0 1
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

-SHEET DESCRIPTION-
DETAILS and SECTIONS
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Ed Herman

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DATE: 4-18-11
SHEET 6 OF 10

\\tiry\es\data\nas\2009\jobs\herman\AutoCad\Eng Drawings\25- As Built Entire Site.dwg, 4/20/2011 8:32:04 AM



2
7 DETAIL - CONCRETE V-CHANNEL
SCALE - 1/4" = 1'-0"

3
7 SECTION - MOL MARKER OPTIONS
SCALE - N.T.S.

1
7 SECTION - POND CONCRETE LINER
SCALE - 1/4" = 1'-0"

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Scale in Feet
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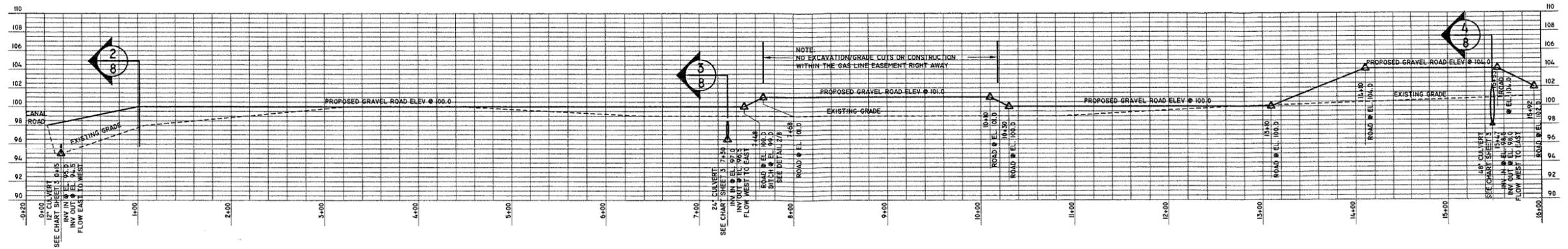
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**AS BUILT RAMP
DETAILS and SECTIONS**

-CLIENT-
Ed Herman

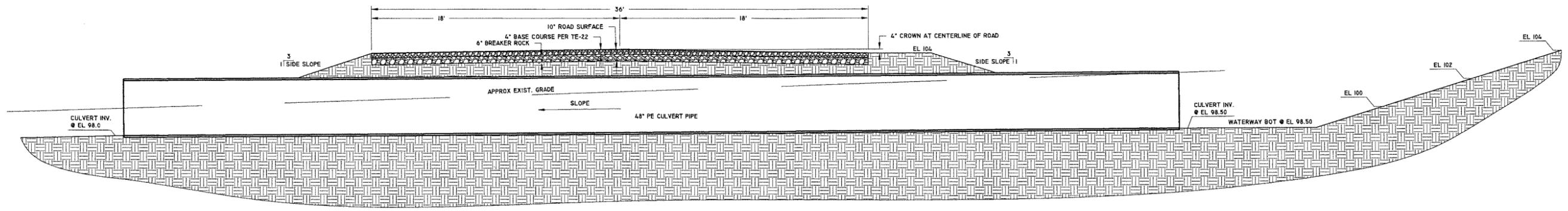
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DATE:
4-18-11

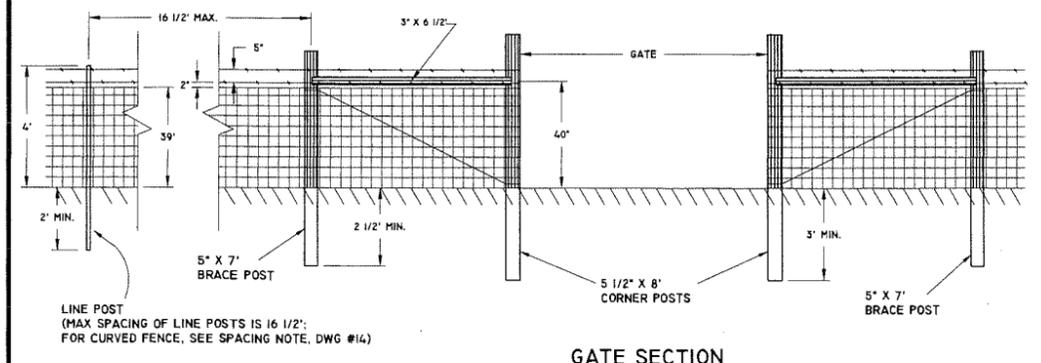
SHEET **7** OF **10**



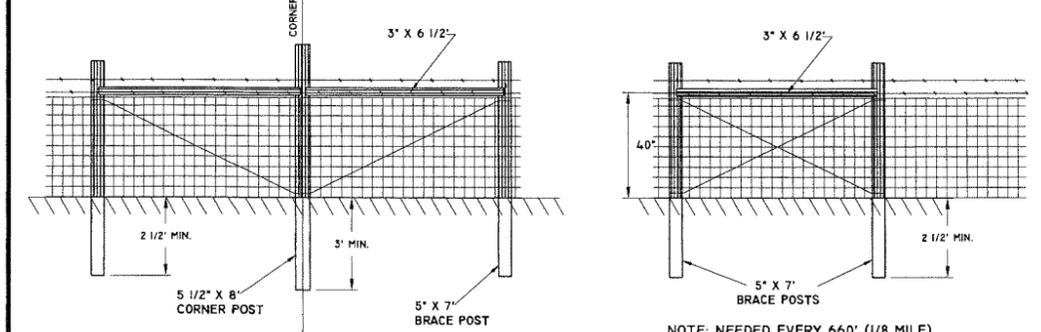
1
8 PROFILE - GRAVEL ACCESS ROAD (CANAL ROAD TO SITE)
SCALE - AS NOTED



4
8 SECTION - GRAVEL ACCESS ROAD W/ CULVERT
SCALE - 1/4" = 1'-0"



GATE SECTION

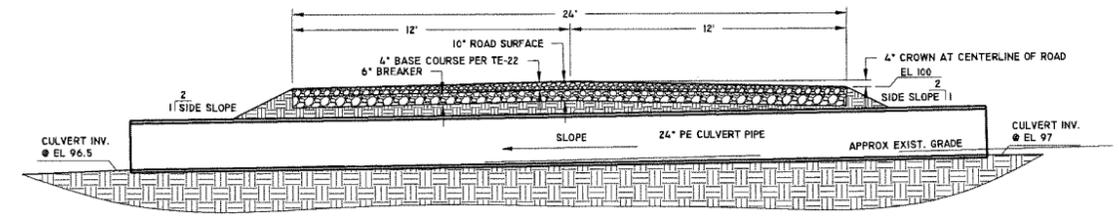


NOTE: NEEDED EVERY 660' (1/8 MILE)

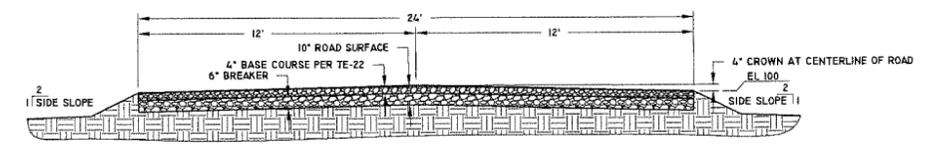
PULL POST ASSEMBLY

- NOTE:
1. STANDARDIZED DESIGN: MUST BE ADAPTED TO THE SPECIFIC SITE.
 2. USE POST, PRESSURE TREATED TIMBER, OR STEEL COLUMN APPROXIMATELY 6'-6" LONG FOR DIAGONAL OR HORIZONTAL BRACE.
 3. SECURELY FASTEN BRACE.
 4. STAPLE BRACE WIRE TO GATE, BRACE, AND CORNER POSTS.
 5. USE POSTS FOR GATE BARS. STAPLE EACH WIRE TO THE GATE BAR.
 6. USE 2" X 2" STAY(S). SINGLE STAPLE EACH WIRE TO THE STAY(S).
 7. USE 1 PULL OR CENTER POST AND ONLY ONE BRACE POST FOR LOCATIONS WHERE A PULL POST ASSEMBLY IS INSTALLED ON EACH SIDE OF A DRAW.
 8. IF WOVEN WIRE IS USED WITH BARBED WIRE, STAYS SHALL BE INSTALLED AT THE 1/3 POINTS OF THE GATE.

5
8 DETAIL - SECURITY FENCE
N.T.S.



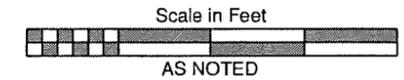
3
8 SECTION - GRAVEL ACCESS ROAD W/ CULVERT
SCALE - 1/4" = 1'-0"



2
8 SECTION - GRAVEL ACCESS ROAD
SCALE - 1/4" = 1'-0"

CORNER POST ASSEMBLY

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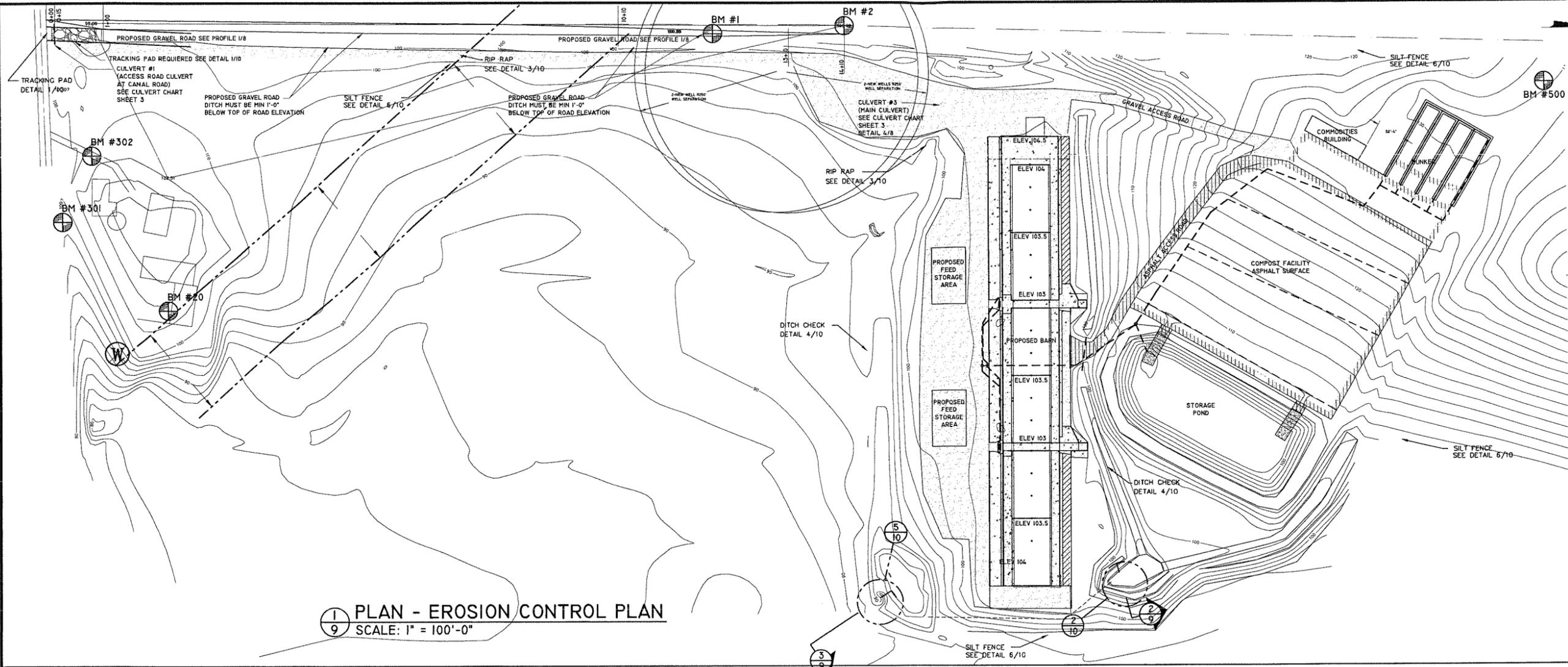
DESIGNED:
Michael J. Tiry P.E.
DRAWN:
DGB/JCC
PROJECT MANAGER:
MJT

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ROAD PROFILE and
SECTIONS
-CLIENT-
Ed Herman

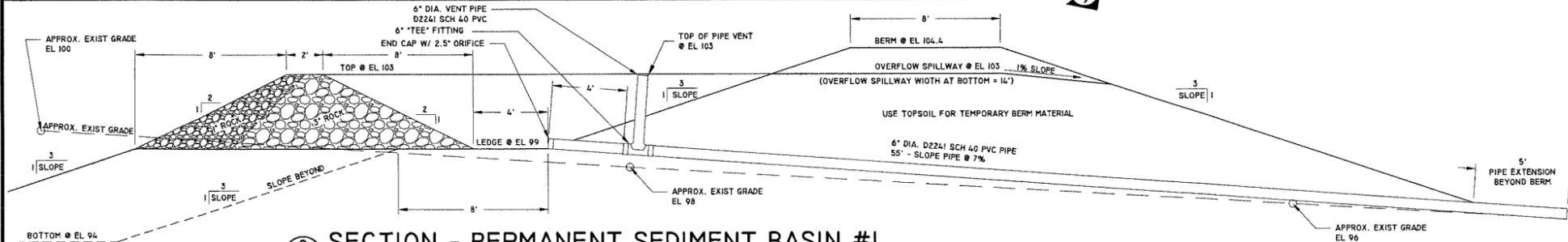
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4-18-11
SHEET 8 OF 10

APPROX. NORTH

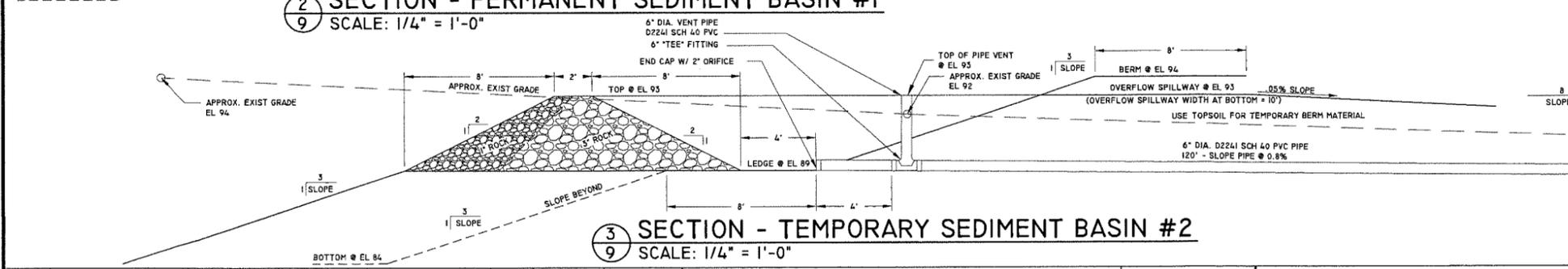


1 PLAN - EROSION CONTROL PLAN
9 SCALE: 1" = 100'-0"

LEGEND	
GRADING/EROSION CONTROL	
SILT FENCE - TO BE INSTALLED PRIOR TO ANY CONSTRUCTION SEE DETAIL 6/10	
RIP RAP SEE DETAIL 3/10	
DITCH CHECK DETAIL 4/10	
TRACKING PAD DETAIL 1/10	
MULCHING AND SEEDING NOTES SEE SHEET 10	
CULVERT CHART SEE SHEET 3	
6" PVC PIPE	



2 SECTION - PERMANENT SEDIMENT BASIN #1
9 SCALE: 1/4" = 1'-0"



3 SECTION - TEMPORARY SEDIMENT BASIN #2
9 SCALE: 1/4" = 1'-0"

- EROSION CONTROL NOTES-**
- NOTE: TO TAKE FULL ADVANTAGE OF THE EROSION CONTROL MEASURES ON THE SITE, FOLLOW THE EROSION CONTROL SCHEDULE BELOW:
- 1.) CONSTRUCT CULVERTS #1, #2, & #3, AND THE MAIN ACCESS ROAD TO THE EXISTING CULVERT PRIOR TO SITE CONSTRUCTION.
 - 2.) CONSTRUCT THE PROPOSED WATERWAY TO CULVERT #3 AND ESTABLISH SOD COVER BEFORE REMOVING THE EXISTING CULVERT. LEAVE THE EXISTING STRUCTURE AND CATCH BASIN TO THE WEST OF THE PROPERTY INTACT.
 - 3.) CONSTRUCT THE TEMPORARY SEDIMENT BASINS.
 - 4.) CONSTRUCT CULVERT #4 AND THE ADJACENT PROPOSED WATERWAYS AND THE PROPOSED WATERWAY TO THE SOUTH OF THE BARN.
 - 5.) AFTER CONSTRUCTION IS COMPLETE, REMOVE THE TEMPORARY SEDIMENT BASINS, FINISH WATERWAY CONSTRUCTION AND ESTABLISH SOD COVER.

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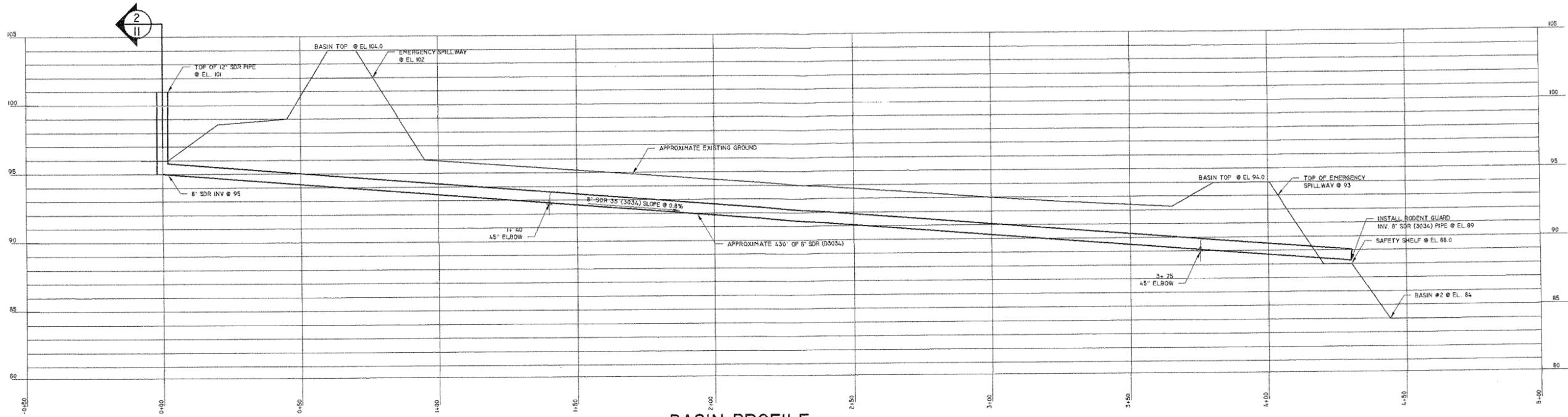
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PROJECT MANAGER: MJT

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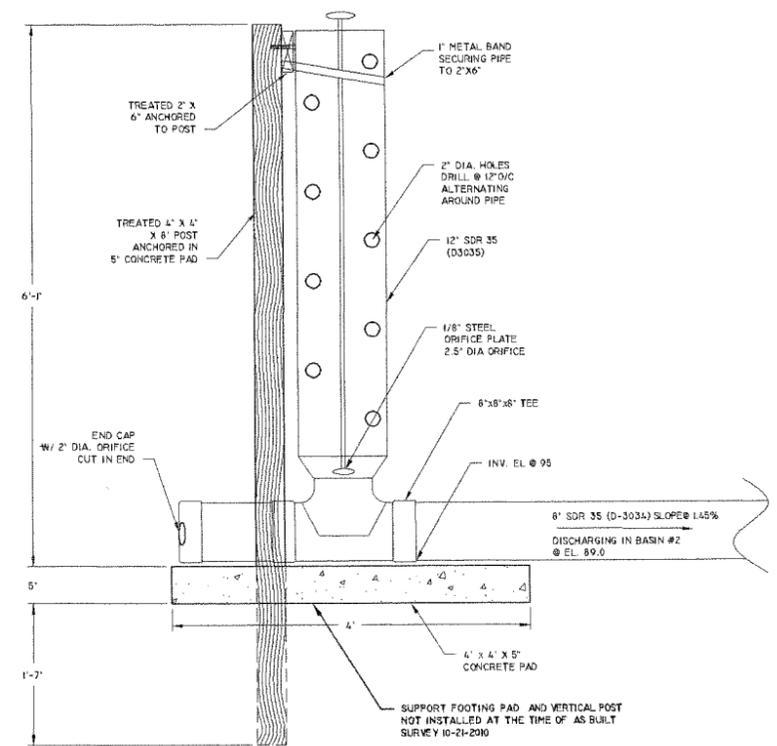
-SHEET DESCRIPTION-
STORMWATER and EROSION PLAN

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Ed Herman

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SHEET 9 OF 10



1
II **BASIN PROFILE**
SCALE - 1" = 20'



2
II **SECTION - PIPE INLET FOR BASIN #1**
SCALE - 1/4" = 1'-0"

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PROJECT MANAGER:
MJT

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-SHEET DESCRIPTION-
As Built Basin Pipe Detail

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4-18-11

SHEET **11** OF **11**