

Dane County Conditional Use Permit Application

Application Date	C.U.P Number
11/09/2021	DCPCUP-2021-02550
Public Hearing Date	
01/25/2022	

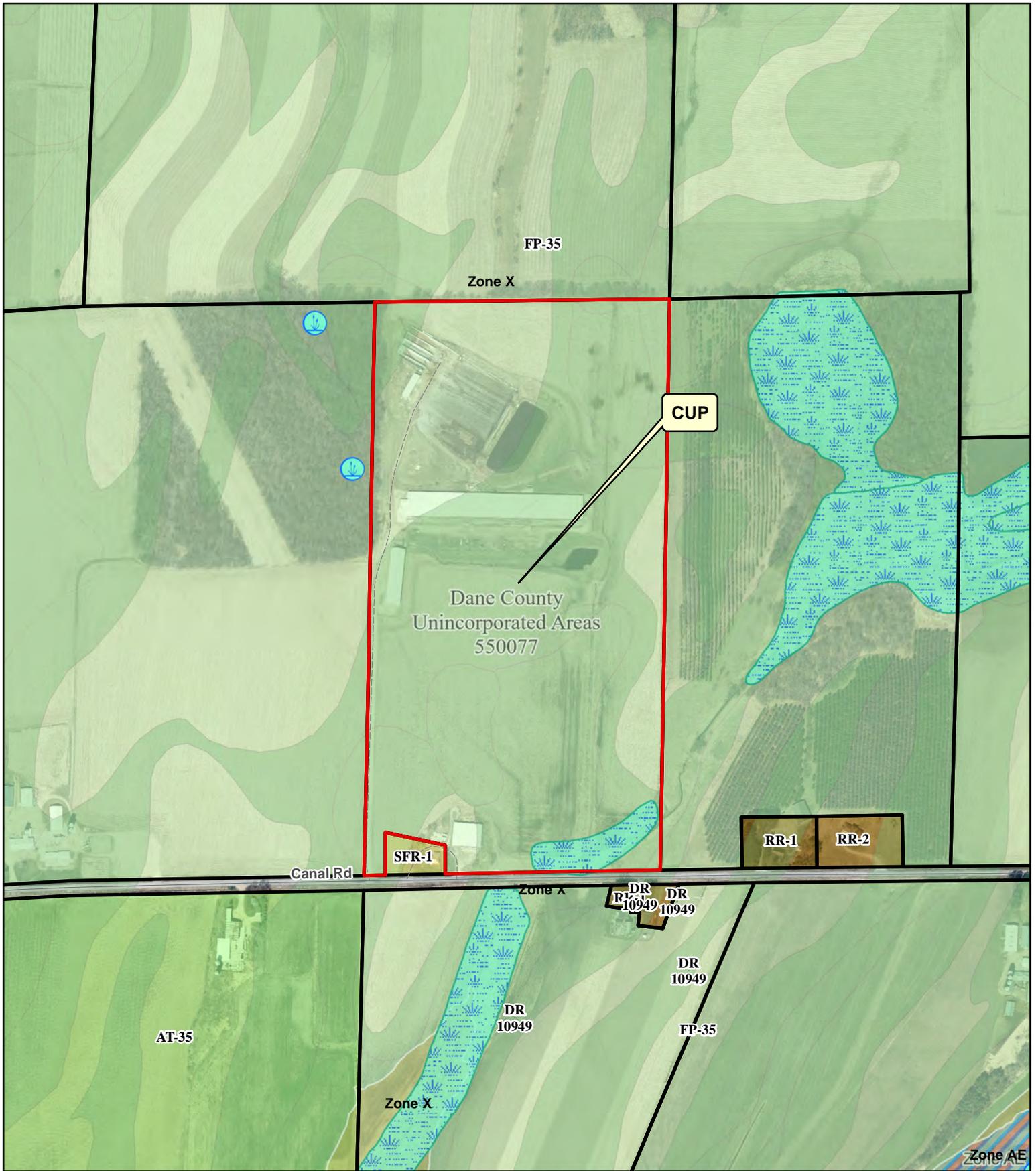
OWNER INFORMATION		AGENT INFORMATION	
OWNER NAME CARBON CYCLE CONSULTING LLC	Phone with Area Code	AGENT NAME JASON FULLER	Phone with Area Code (608) 370-4926
BILLING ADDRESS (Number, Street) 464 CANAL ROAD		ADDRESS (Number, Street) PO BOX 628455	
(City, State, Zip) MARSHALL, WI 53559		(City, State, Zip) Middleton, WI 53562	
E-MAIL ADDRESS		E-MAIL ADDRESS fuller.jason@yahoo.com	

ADDRESS/LOCATION 1		ADDRESS/LOCATION 2		ADDRESS/LOCATION 3	
ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP	
464 Canal Road				-	
TOWNSHIP MEDINA	SECTION 2	TOWNSHIP	SECTION	TOWNSHIP	SECTION
PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED	
0812-023-8000-6		---		0812-023-9500-9	

CUP DESCRIPTION
Composting facility / Manure processing facility

DANE COUNTY CODE OF ORDINANCE SECTION	ACRES
10.223(3)	78

DEED RESTRICTION REQUIRED? <input type="checkbox"/> Yes <input type="checkbox"/> No Applicant Initials _____	Inspectors Initials RWL1	SIGNATURE:(Owner or Agent) _____
		PRINT NAME: _____
		DATE: _____



Legend

- | | | |
|--|------------|---|
|  | Wetland | Significant Soils |
|  | Floodplain |  Class 1 |
| | |  Class 2 |



CUP 02550
CARBON CYCLE
CONSULTING LLC



Dane County
Department of Planning and Development
 Zoning Division
 Room 116, City-County Building
 210 Martin Luther King Jr. Blvd.
 Madison, Wisconsin 53703
 (608) 266-4266

Application Fees	
General:	\$495
Mineral Extraction:	\$1145
Communication Tower:	\$1145 (+\$3000 RF eng review fee)
PERMIT FEES DOUBLE FOR VIOLATIONS OR WHEN WORK HAS STARTED PRIOR TO ISSUANCE OF PERMIT	

CONDITIONAL USE PERMIT APPLICATION

APPLICANT INFORMATION

Property Owner Name:	Carbon Cycle Consulting	Agent Name:	Jason Fuller
Address (Number & Street):	464 Canal Rd	Address (Number & Street):	Po Box 628455
Address (City, State, Zip):	Marshall WZ 53559	Address (City, State, Zip):	Middleton WZ 53562
Email Address:	Fuller.Jason@yahoo.com	Email Address:	Fuller.Jason@yahoo.com
Phone#:	608-370-4926	Phone#:	608-370-4926

SITE INFORMATION

Township:	Medina	Parcel Number(s):	036/0812-091-8000-4
Section:	9	Property Address or Location:	464 Canal Rd Marshall WZ
Existing Zoning:		Proposed Zoning:	
		CUP Code Section(s):	

DESCRIPTION OF PROPOSED CONDITIONAL USE

Type of conditional use permit (for example: limited family business, animal boarding, mineral extraction, or any other listed conditional use):	Is this application being submitted to correct a violation? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
<p><i>Agricultural Composting mixing blending & granulation</i></p> <p>Provide a short but detailed description of the proposed conditional use: <i>We are receiving manure products from farms & digesters to process into soil amendments for farms through using an aerobic composting process. The previous farmer who owned the property also performed composting of manure and other agricultural by-products on the property.</i></p>	

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determined that all necessary information has been provided. **Only complete applications will be accepted.** All information from the checklist below must be included. Note that additional application submittal requirements apply for particular uses or as may be required by the Zoning Administrator. Applicants for significant and/or potentially controversial conditional uses are strongly encouraged to meet with staff prior to submittal.

<input type="checkbox"/> Complete attached information sheet for standards	<input type="checkbox"/> Site Plan drawn to scale	<input type="checkbox"/> Detailed operational plan	<input type="checkbox"/> Written legal description of boundaries	<input type="checkbox"/> Detailed written statement of intent	<input type="checkbox"/> Application fee (non-refundable), payable to Dane County Treasurer
--	---	--	--	---	--

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I hereby give permission for staff of the Dane County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the review of this application. I acknowledge that submittal of false or incorrect information may be grounds for denial of this application.

Owner/Agent Signature: *Jason Fuller*

Date: 10/13/21

STANDARDS FOR CONDITIONAL USE PERMITS

Applicants must provide adequate evidence demonstrating to the Town and Dane County Zoning & Land Regulation Committee that the proposed conditional use satisfies the following 8 standards for approval, along with any additional standards specific to the applicable zoning district or particular use found in sections 10.220(1) and 10.103 of the code.

Please explain how the proposed land use will meet the following standards (attach additional pages, if necessary):

1. The establishment maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare. *Composting is a safe and effective method to convert volatile manure products to stabilized plant available ~~plant~~ compounds with no odor or water contamination potential. We are working with Dane County Land & Water Resources and Wisconsin DNR to meet their requirements.*
2. The uses, values, and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by establishment, maintenance or operation of the conditional use. *This property sits far from any neighbors or road traffic and is shielded by Groves of trees and fields on all sides. The previous owner used the property to compost manure from cattle on the farm. The key difference with the proposed planned use is that the manure and other ag products will come from off-site.*
3. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. *Neighboring properties are free covered as farm fields.*
4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the conditional use. *The site was professionally engineered to meet regulations by previous owner. The owner is working with Dane County Land & Water Resources and Wisconsin DNR as well to meet their requirements for the planned use.*
5. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. *Minimal traffic to and from site is expected. We hope to employ the use of the railroad in the future to further reduce traffic flow. We will work with the Town if any improvements are needed.*
6. That the conditional use shall conform to all applicable regulations of the district in which it is located. *We plan to use the property for making agricultural value added products and serving the district's mandate to dispose of product complying to the regulations they are bound to. See note at bottom.*
7. The conditional use is consistent with the adopted town and county comprehensive plans. *We aim to maintain the agricultural focused activities. This supports the goal of promoting resource recovery by composting. It also reduces phosphorus loadings in the watershed.*
8. If the conditional use is located in a Farmland Preservation (FP) Zoning district, the conditional use is subject to the following additional standards found in section 10.220(1). Attach additional pages, if necessary.
 - Explain how the use and its location in the Farmland Preservation Zoning District are consistent with the purposes of the district: *We will be maintaining an agricultural product & services centered activities.*
 - Explain how the use and its location in the Farmland Preservation Zoning district are reasonable and appropriate, considering alternative locations: *no other sites are available currently and designed to compost manure product. It takes advantage of existing infrastructure designed for the same purpose.*
 - Explain how the use is reasonably designed to minimize the conversion of land from agricultural use or open space use: *We will be utilizing existing structures for compost production, mixing, screenings & storage. It supports agricultural use by providing a means to manage manure.*
 - Explain how the use does not substantially impair or limit the current or future agricultural use of surrounding parcels zoned for agricultural use: *agricultural producers could utilize the composted product for growing crops and benefit by it.*
 - Explain how construction damage to land remaining in agricultural use is minimized and repaired, to the extent feasible: *Construction was finished before we took possession. Proper storm water drainage was installed at that time to limit potential to erode farm fields.*

#6 Note: Pursuing the following: Composting Facility permit under NR 502 from WDNR and Manure Storage Certificate of Use from Dane County.

APPLICATION CHECKLIST FOR A CONDITIONAL USE PERMIT

A scaled site plan and detailed operations plan must be submitted with your Conditional Use Permit application. Please use the checklist below to ensure you are submitting all required information applicable to your request. Please attach to your application form the required maps and plans listed below, along with any additional pages.

SCALED SITE PLAN. Show sufficient detail on 11" x 17" paper. Include the following information, as applicable:

- Scale and north arrow.
- Date the site plan was created.
- Existing subject property lot lines and dimensions.
- Existing and proposed wastewater treatment systems and wells.
- All buildings and all outdoor use and/or storage areas, existing and proposed, including provisions for water and sewer.
- All dimension and required setbacks, side yards and rear yards.
- Location and width of all existing and proposed driveway entrances onto public and private roadways, and of all interior roads or driveways.
- Location and dimensions of any existing utilities, easements or rights-of-way.
- Parking lot layout in compliance with s. [10.102\(8\)](#).
- Proposed loading/unloading areas.
- Zoning district boundaries in the immediate area. All districts on the property and on all neighboring properties must be clearly labeled.
- All relevant natural features, including navigable and non-navigable waters, floodplain boundaries, delineated wetland areas, natural drainage patterns, archeological features, and slopes over 12% grade.
- Location and type of proposed screening, landscaping, berms or buffer areas if adjacent to a residential area.
- Any lighting, signs, refuse dumpsters, and possible future expansion areas.

NEIGHBORHOOD CHARACTERISTICS. Describe existing land uses on the subject and surrounding properties:

- Provide a brief written statement describing the current use(s) of the property on which the conditional use is proposed.
- Provide a brief written statement documenting the current uses of surrounding properties in the neighborhood.

OPERATIONS PLAN AND NARRATIVE. Describe in detail the following characteristics of the operation, as applicable:

- Hours of operation.
- Number of employees, including both full-time equivalents and maximum number of personnel to be on the premises at any time.
- Anticipated noise, odors, dust, soot, runoff or pollution and measures taken to mitigate impacts to neighboring properties.
- Descriptions of any materials stored outside and any activities, processing or other operations taking place outside an enclosed building.
- Compliance with county stormwater and erosion control standards under [Chapter 11](#) of [Chapter 14](#), Dane County Code.
- Sanitary facilities, including adequate private onsite wastewater treatment systems and any manure storage or management plans approved by the Madison and Dane County Public Health Agency and/or the Dane County Land and Water Resources Department.
- Facilities for managing and removal of trash, solid waste and recyclable materials.
- Anticipated daily traffic, types and weights of vehicles, and any provisions, intersection or road improvements or other measures proposed to accommodate increased traffic.
- A listing of hazardous, toxic or explosive materials stored on site, and any spill containment, safety or pollution prevention measures taken.
- Outdoor lighting and measures taken to mitigate light-pollution impacts to neighboring properties.
- Signage, consistent with section [10.800](#).

ADDITIONAL MATERIALS. Additional information is required for certain conditional uses listed in s. [10.103](#):

- Agricultural entertainment, special events, or outdoor assembly activities anticipating over 200 attendees must file an [event plan](#).
- [Domestic pet](#) or [large animal boarding](#) must provide additional information in site and operations plans.
- Communication towers must submit additional information as required in s. [10.103\(9\)](#).
- Farm residences proposed in the FP-35 district must submit additional information as required in s. [10.103\(11\)](#).
- Mineral extraction proposals must submit additional information as required in s. [10.103\(15\)](#).

WRITTEN STATEMENT OF INTENT AND OPERATIONS PLAN

Applicants must provide a detailed written statement of intent describing the proposed conditional use along with an operational plan that explains how the conditional use will be operated. Please use the form below and provide responses, as applicable, to your proposed conditional use. Attach additional pages, if necessary.

Describe in detail the proposed conditional use. Provide the specific location of the use(s), type of equipment used, planned property improvements, including description / size of existing or proposed new buildings to be used, and any other relevant information. For existing or proposed commercial operations, provide the name of the business and describe the nature and type of business activity.

We will employ the use of trucks, tractors, compost turners & wheel loaders, mixers, & screeners to make a composted finished product. We may amplify the office area in the future as needs determine. The site has existing infrastructure that will be used for the composting operations. Manure products from farms and digesters will be brought into the site, where it will be composted. Zero to 10 trucks per day are expected. Compost windrows will be turned as needed throughout the process. Liquid manure is added to windrows as a sustainable means to manage manure.

List the proposed days and hours of operation.

7 days a week if needed generally during the hours of 6:00 AM - 10:00 PM during peak season

List the number of employees, including both full-time equivalents and maximum number of personnel to be on the premises at any time.

Generally expect 4-5 employees once fully operational.

List any anticipated noise, odors, dust, soot, runoff or pollution associated with the conditional use, along with any proposed measures that will be taken to mitigate impacts to neighboring properties.

Generally low odor due to the aerobic nature of composting. Open areas are designed to collect the rain water runoff. We have been composting manure at other facilities and the rain water runoff successfully controlling odors, dust and noise. A lagoon will store runoff from the compost pad and separate storm water basins manage surrounding runoff.

Describe any materials proposed to be stored outside and any activities, processing or other operations taking place outside an enclosed building.

Compost rows will be contained to the active composting area. Finished products will be in the storage sheds. Manure will be stored in the existing manure lagoon. These features have been designed to meet NRCS standards.

For proposals involving construction of new facilities and/or infrastructure, describe, as applicable, any measures being taken to ensure compliance with county stormwater and erosion control standards under Chapter 11 of Chapter 14, Dane County Code.

No construction expected. Existing storm water basins manage clean runoff from not at this time. areas surrounding the composting area.

List and describe existing or proposed sanitary facilities, including adequate private onsite wastewater treatment systems, associated with the proposed conditional use. For uses involving domestic pets or livestock, list and describe measures taken to address manure storage or management.

There is an existing toilet on site in the office.

List and describe any existing or proposed facilities for managing and removal of trash, solid waste and recyclable materials.

We will utilize a dumpster service by a vendor once operational.

Describe anticipated daily traffic, types and weights of vehicles, and any provisions, intersection or road improvements or other measures proposed to accommodate increased traffic.

We will work with the town if improvements are needed. there could be truck traffic to be from 0 to 10 trucks a day during peak season

Provide a listing of any hazardous, toxic or explosive materials to be stored on site, and any spill containment, safety or pollution prevention measures.

Diesel fuel and L.P will be stored in their proper tanks that are already on site.

Describe any existing or proposed outdoor lighting along with any measures that will be taken to mitigate light-pollution impacts to neighboring properties. The Zoning Administrator may require submittal of a photometric plan for outdoor lighting if deemed necessary to determine potential impacts to neighbors.

Plan to use current lighting - about 6-8 outdoor dusk to dawn lights

Describe any existing or proposed signage, including size, location, and materials, consistent with the county's sign ordinance found in s. 10.800.

Potentially may install a sign by the road that will comply with S. 10-800

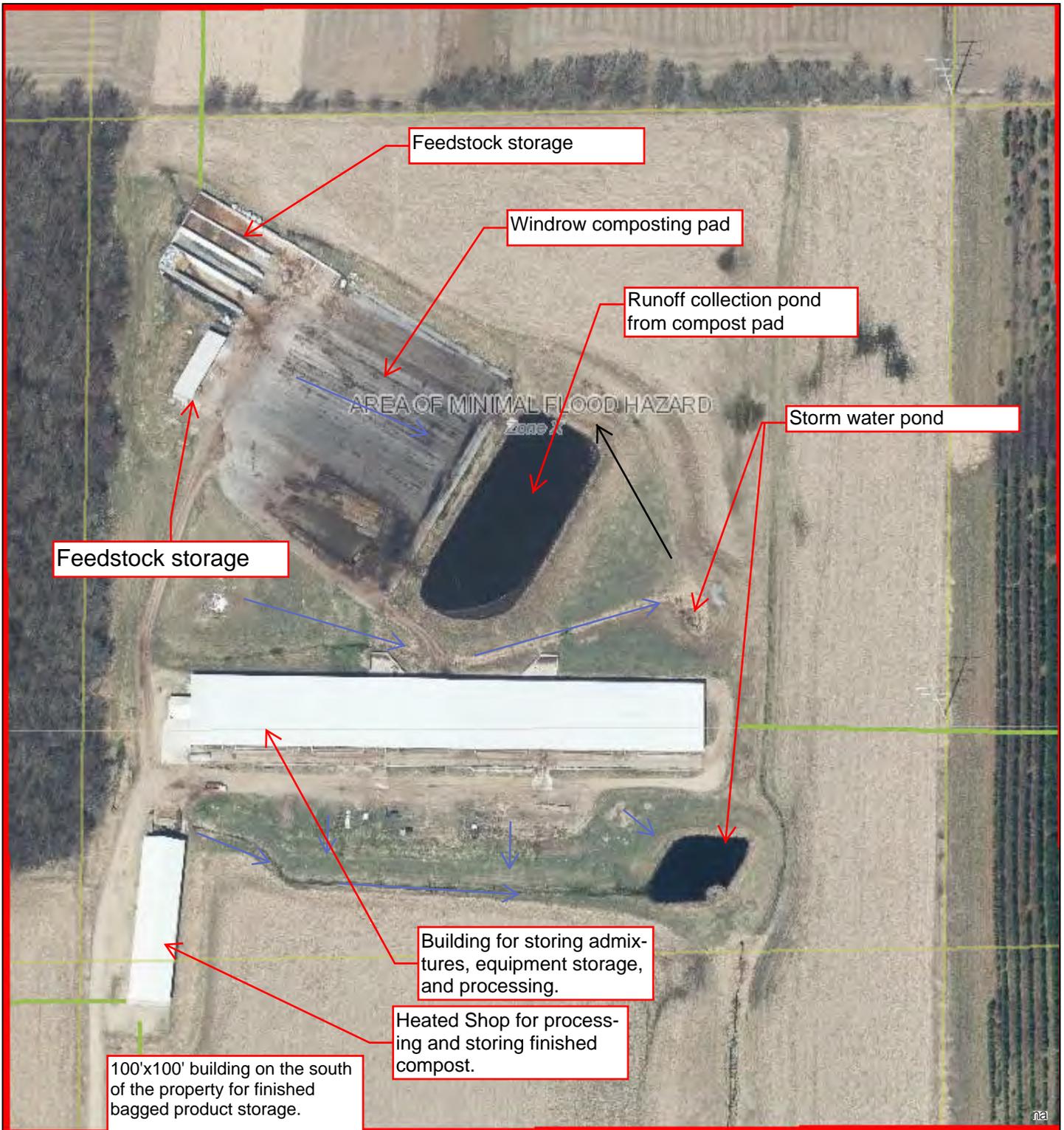
Briefly describe the current use(s) of the property on which the conditional use is proposed.

composting manure products

Briefly describe the current uses of surrounding properties in the neighborhood.

farm fields in current production & a grove of trees to the west.

Dane County Map



May 4, 2021

Dane County Mask

□ Dane County Mask

Dane County Parks

■ Recreation Park

■ Natural Resource Area

■ Wildlife Area

■ Historical or Cultural Site

■ Forest

■ Trails

Municipal Parks

■ Park

■ Natural Area

■ Other Public Lands

■ Parcels

Paved Airfields-Heliports

■ Runway

■ Helipad

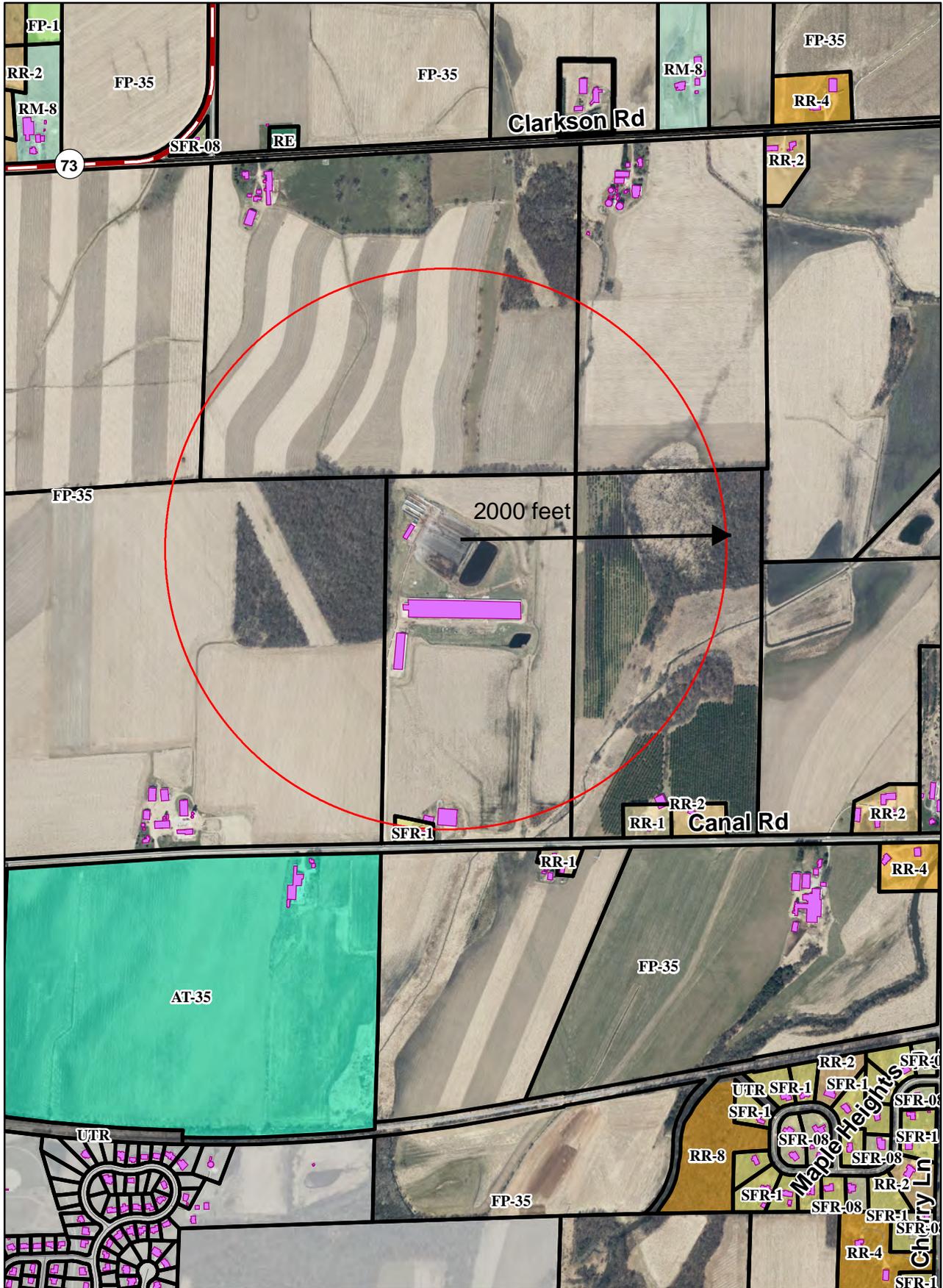
■ Taxiway

■ Apron

0 140 280 560 Feet



Legal Description: East 1/2 of the Southwest 1/4 of Section 2, T08N, R12E, Town of Medina, Dane County, WI, Except for Lot 1 of Certified Survey Map 4814.

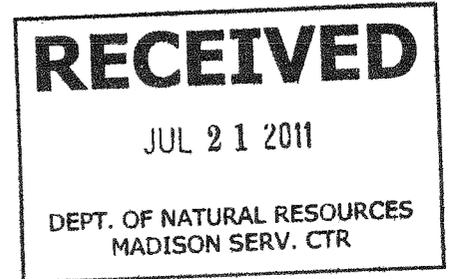


0 500 1,000 2,000 Feet



Neighborhood Plan
464 Canal Road

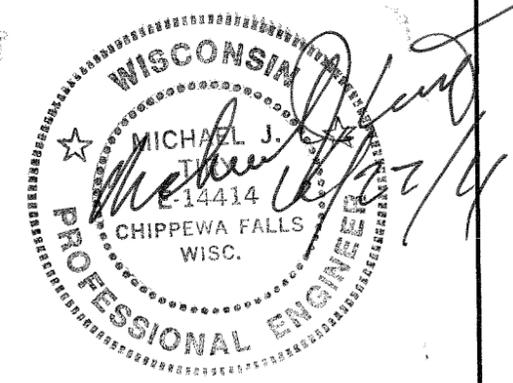
As Built Plans Red Line (11X17)



**AS BUILT
DRAWINGS**

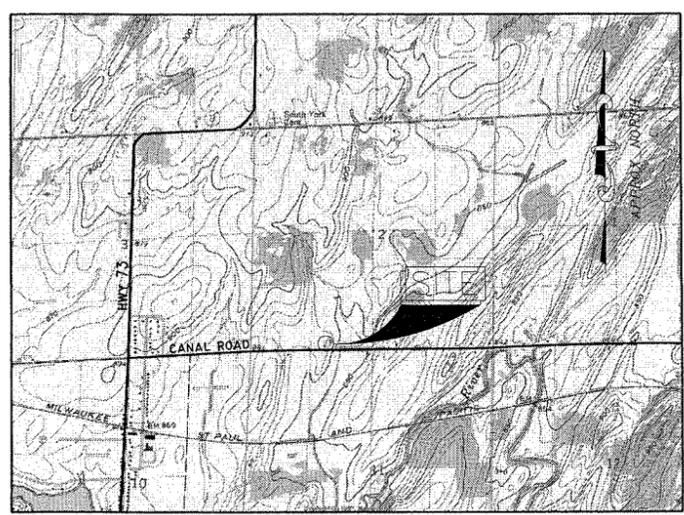
"STATE LAW AND NRCS POLICY REQUIRE THAT THE EXCAVATOR CONTACT DIGGERS HOTLINE AT (800) 242-8511 FOR UTILITY LOCATIONS 72 HOURS PRIOR TO THE START OF EXCAVATION WORK."

ED HERMAN
PROJECT SITE: Main FARM
 450 CANAL ROAD
 Marshall, WI 53599
 Phone: 608-345-1422
 NE1/4 of SW1/4, Sec. 2;
 T8N, R12E
 Township Of Medina
 Dane County



Construction Specifications:

Drawing Index



SITE LOCATION MAP
 SCALE: 1" = 2000'

- WI Constr. No. 2 "Excavation"
- WI Constr. No. 3 "Earthfill"
- WI Constr. No. 4 "Concrete"
- WI Constr. No. 8 "Drainfill"
- WI Constr. No. 10 "Fencing"
- WI Constr. No. 13 "Geotextiles"
- WI Constr. No. 15 "Plastic Pipe Conduits"
- WI Constr. No. 26 "Topsoiling"
- WI Constr. No. 44 "Corrugated Polyethylene Tubing"
- WI Constr. No. 203 "Geosynthetic Clay Liner"
- WI Constr. No. 204 "Earthfill for Waste Storage Facilities"
- WI DOT Section 460 "Hot Mix Asphalt Pavement"
- WI DOT Construction Spec. TE-22 "Crushed Aggregate Base Course"

- 1. As Built Cover Sheet
- 2. Exist Site Plan & As Built Structures
- 3. As Built Site Plan
- 4. As Built Enlarged Structure Plan
- 5. Details and Sections
- 6. Details and Sections
- 7. As Built Ramp Details and Sections
- 8. Road Profile and Sections
- 9. Stormwater and Erosion Plan
- 10. Seeding and Details
- 11. As Built Basin Pipe Detail

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, JUDGMENT, AND BELIEF, THIS DESIGN AND THESE CONSTRUCTION PLANS MEET WISCONSIN NRCS STANDARDS: 313 "WASTE STORAGE FACILITY", 634 "MANURE TRANSFER", AND 317 "COMPOSTING".

REV	DESCRIPTION OF REVISION	BY	DATE	APPROVED
A				

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THIS DESIGN AND CONSTRUCTION PLAN MEETS THE MINIMUM REQUIREMENTS OF THE NRCS STANDARD 313 "WASTE STORAGE FACILITY", 634 "MANURE TRANSFER", & 317 "COMPOSTING FACILITY".

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Tiry Engineering, Inc.
 For Agriculture and the Environment

220 1/2 N. Bridge Street
 P.O. Box 44
 Chippewa Falls, WI 54729

Office: (715) 723-6777
 Fax: (715) 723-6842
 www.tiryengineering.com

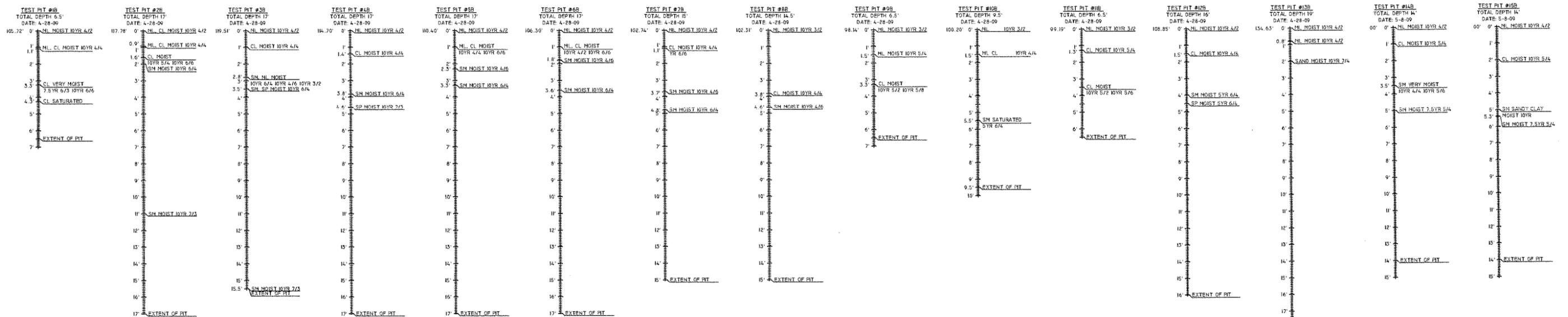
DESIGNED: Michael J. Tiry P.E.
 DRAWN: DGB/JCC
 PROJECT MANAGER: MJT

-ATTENTION-
 0 1
 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

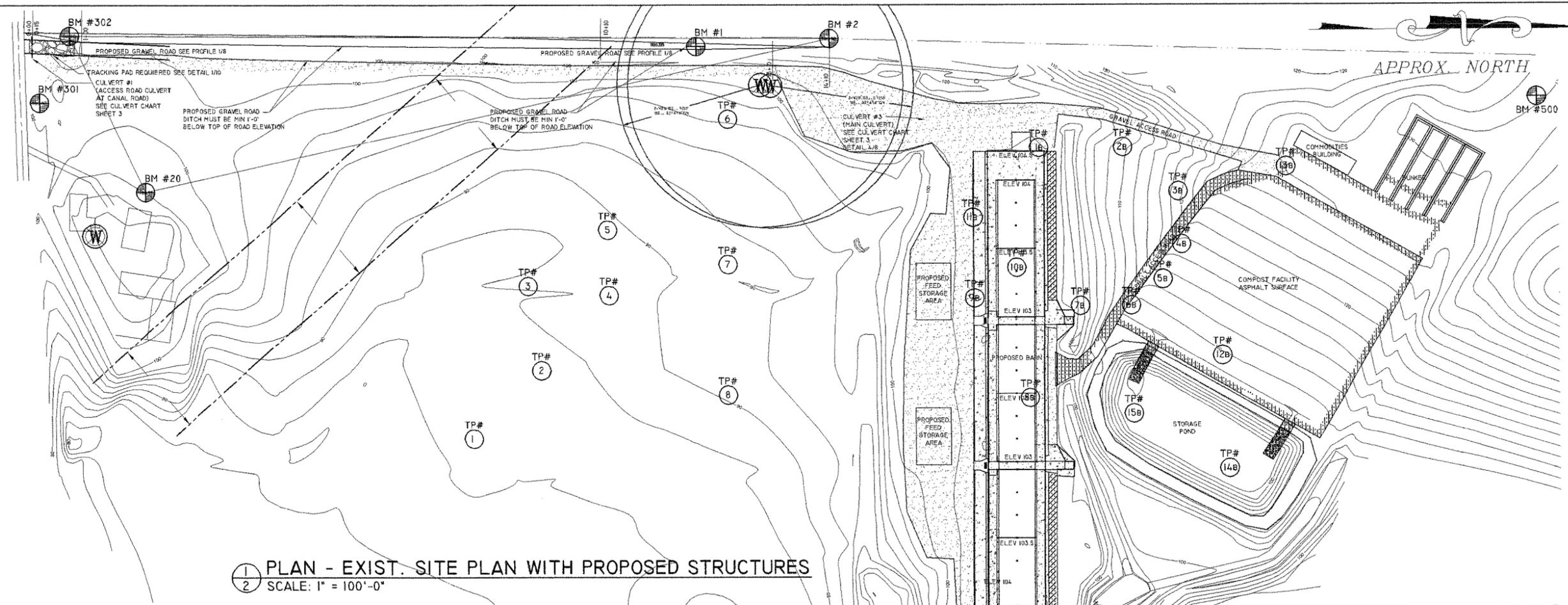
-SHEET DESCRIPTION-
AS BUILT COVER SHEET
 -CLIENT-
Ed Herman

DRAWING NO. HERM-02-09
 DATE: 04-18-11
 SHEET 1 OF 10

\\Tiry\as\data on nas\2009 Jobs\Herman\AutoCad\Eng Drawings 25- As Built Entire Site.dwg, 4/20/2011 8:24:01 AM



2 SUBSOIL INVESTIGATION - TEST PITS IB - 15B
 2 SCALE: AS NOTED
 NOTE: TEST PITS 1 - 8 ARE CONTAINED IN THE ENGINEERING REPORT



1 PLAN - EXIST. SITE PLAN WITH PROPOSED STRUCTURES
 2 SCALE: 1" = 100'-0"

BENCHMARK DESCRIPTION		
TBM #	DESCRIPTION	ELEVATION
TBM #1	SET SPIKE	ELEV. 100
TBM #2	SET SPIKE	ELEV. 100.75
TBM #20	SET SPIKE	ELEV. 102.51
TBM #302	SET SPIKE	ELEV. 98.08
TBM #301	SET SPIKE	ELEV. 100.07
TBM #504	NOT USED	
TBM #500	SET SPIKE	ELEV. 131.28

LEGEND	
	Asphalt Surface
	Concrete Surface
	GRAVEL SURFACE
	PROPERTY LINE
	CENTERLINE OF ROAD
	KETCHLINE (CUT & FILL LIMITS)
	WATERWAY
	FENCE
	POWER POLE
	BENCHMARK
	HUB (TEMP. SURVEY REFER.)
	SOIL BORING
	AS BUILT WELL LOCATION
	AS BUILT SURVEY

REV	DESCRIPTION OF REVISION	BY	DATE	APPROVED
A				

Scale in Feet

 AS NOTED

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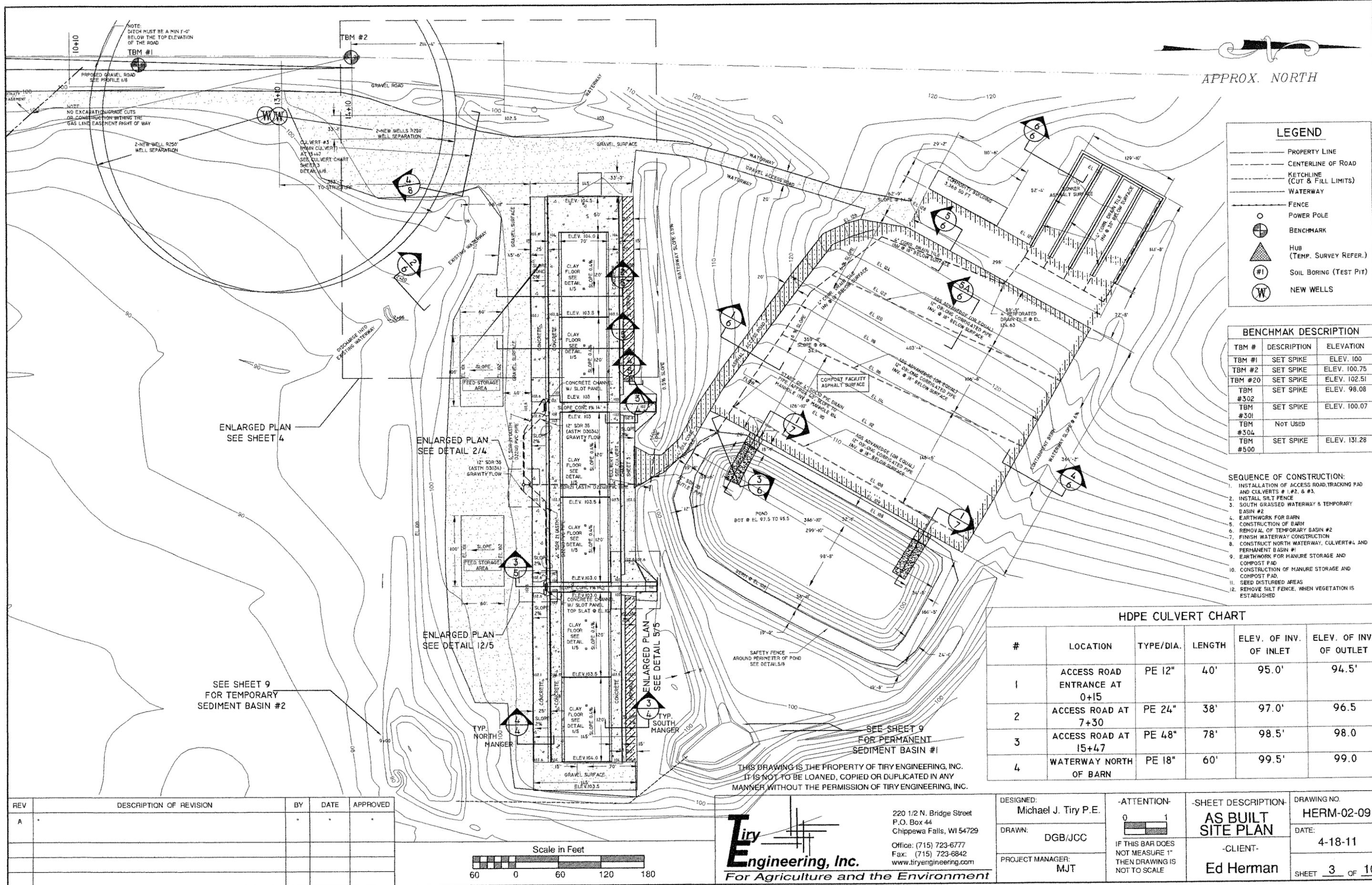
DESIGNED: Michael J. Tiry P.E.
 DRAWN: DGB/JCC
 PROJECT MANAGER: MJT

-ATTENTION-

 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

-SHEET DESCRIPTION-
EXIST SITE PLAN & AS BUILT STRUCTURE
 -CLIENT-
Ed Herman

DRAWING NO. **HERM-02-09**
 DATE: **4-18-11**
 SHEET **2** OF **10**



APPROX. NORTH

LEGEND

- PROPERTY LINE
- CENTERLINE OF ROAD
- - - KETCHLINE (CUT & FILL LIMITS)
- WATERWAY
- POWER POLE
- ⊕ BENCHMARK
- ▲ HUB (TEMP. SURVEY REFER.)
- ⊙ SOIL BORING (TEST PIT)
- ⊙ NEW WELLS

BENCHMARK DESCRIPTION

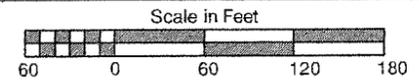
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TBM #302	SET SPIKE	ELEV. 98.08
TBM #301	SET SPIKE	ELEV. 100.07
TBM #304	NOT USED	
TBM #500	SET SPIKE	ELEV. 131.28

- SEQUENCE OF CONSTRUCTION:**
1. INSTALLATION OF ACCESS ROAD, TRACKING PAD AND CULVERTS # 1, #2, & #3.
 2. INSTALL SILT FENCE
 3. SOUTH GRASSSED WATERWAY & TEMPORARY BASIN #2
 4. EARTHWORK FOR BARN
 5. CONSTRUCTION OF BARN
 6. REMOVAL OF TEMPORARY BASIN #2
 7. FINISH WATERWAY CONSTRUCTION
 8. CONSTRUCT NORTH WATERWAY, CULVERT #4 AND PERMANENT BASIN #1
 9. EARTHWORK FOR MANURE STORAGE AND COMPOST PAD
 10. CONSTRUCTION OF MANURE STORAGE AND COMPOST PAD.
 11. SEED DISTURBED AREAS
 12. REMOVE SILT FENCE, WHEN VEGETATION IS ESTABLISHED

HDPE CULVERT CHART

#	LOCATION	TYPE/DIA.	LENGTH	ELEV. OF INV. OF INLET	ELEV. OF INV. OF OUTLET
1	ACCESS ROAD ENTRANCE AT 0+15	PE 12"	40'	95.0'	94.5'
2	ACCESS ROAD AT 7+30	PE 24"	38'	97.0'	96.5
3	ACCESS ROAD AT 15+47	PE 48"	78'	98.5'	98.0
4	WATERWAY NORTH OF BARN	PE 18"	60'	99.5'	99.0

REV	DESCRIPTION OF REVISION	BY	DATE	APPROVED
A				



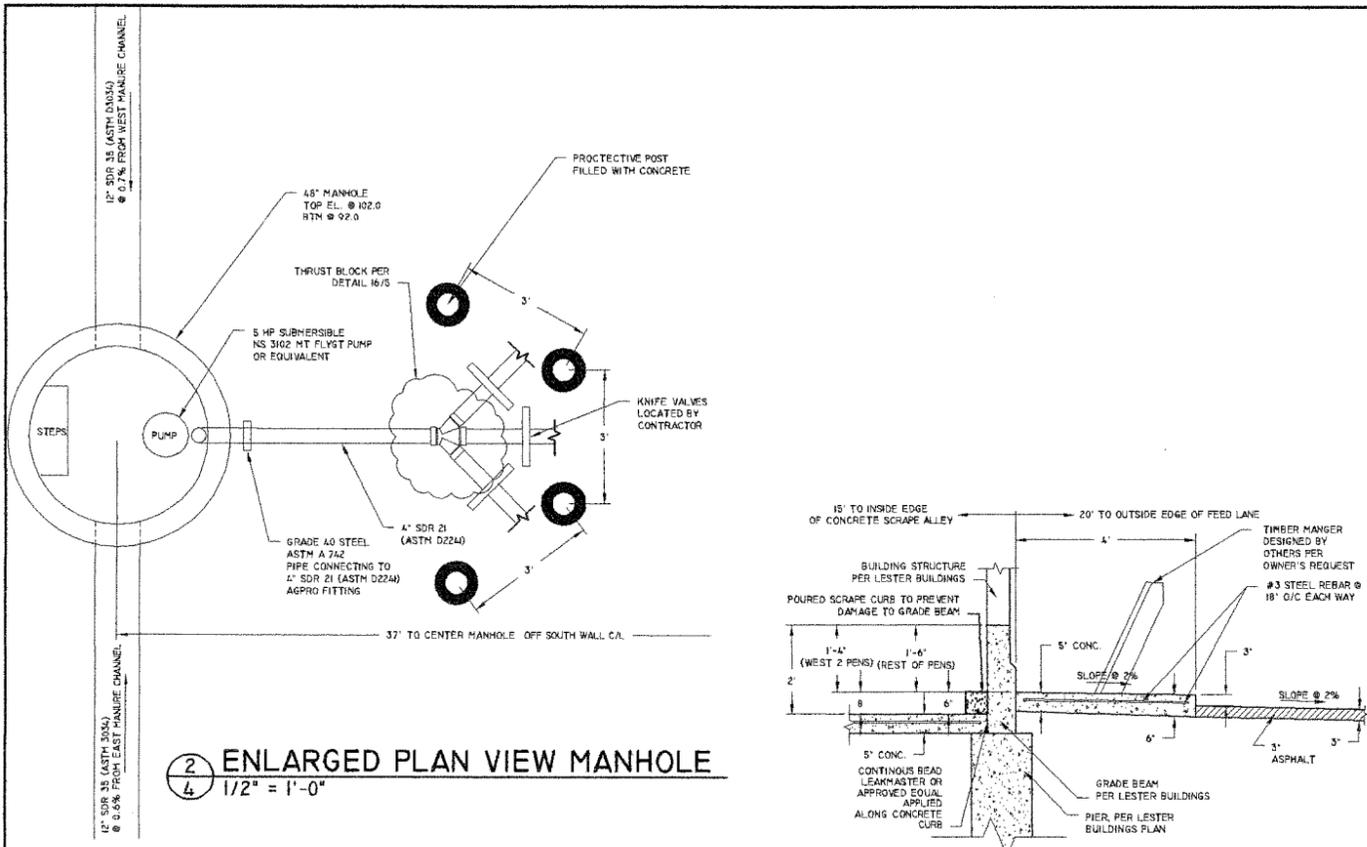
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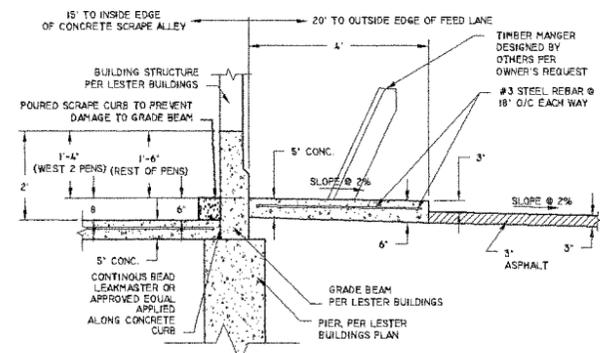
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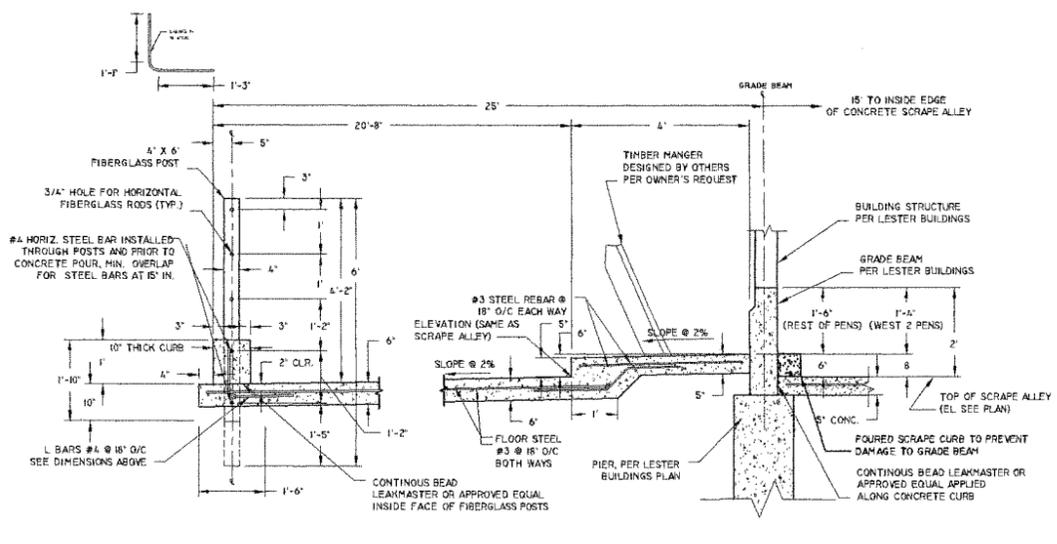
DESIGNED: Michael J. Tiry P.E.	-ATTENTION- 0 1	-SHEET DESCRIPTION- AS BUILT SITE PLAN	DRAWING NO. HERM-02-09
DRAWN: DGB/JCC	IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE	-CLIENT- Ed Herman	DATE: 4-18-11
PROJECT MANAGER: MJT			SHEET <u>3</u> OF <u>10</u>



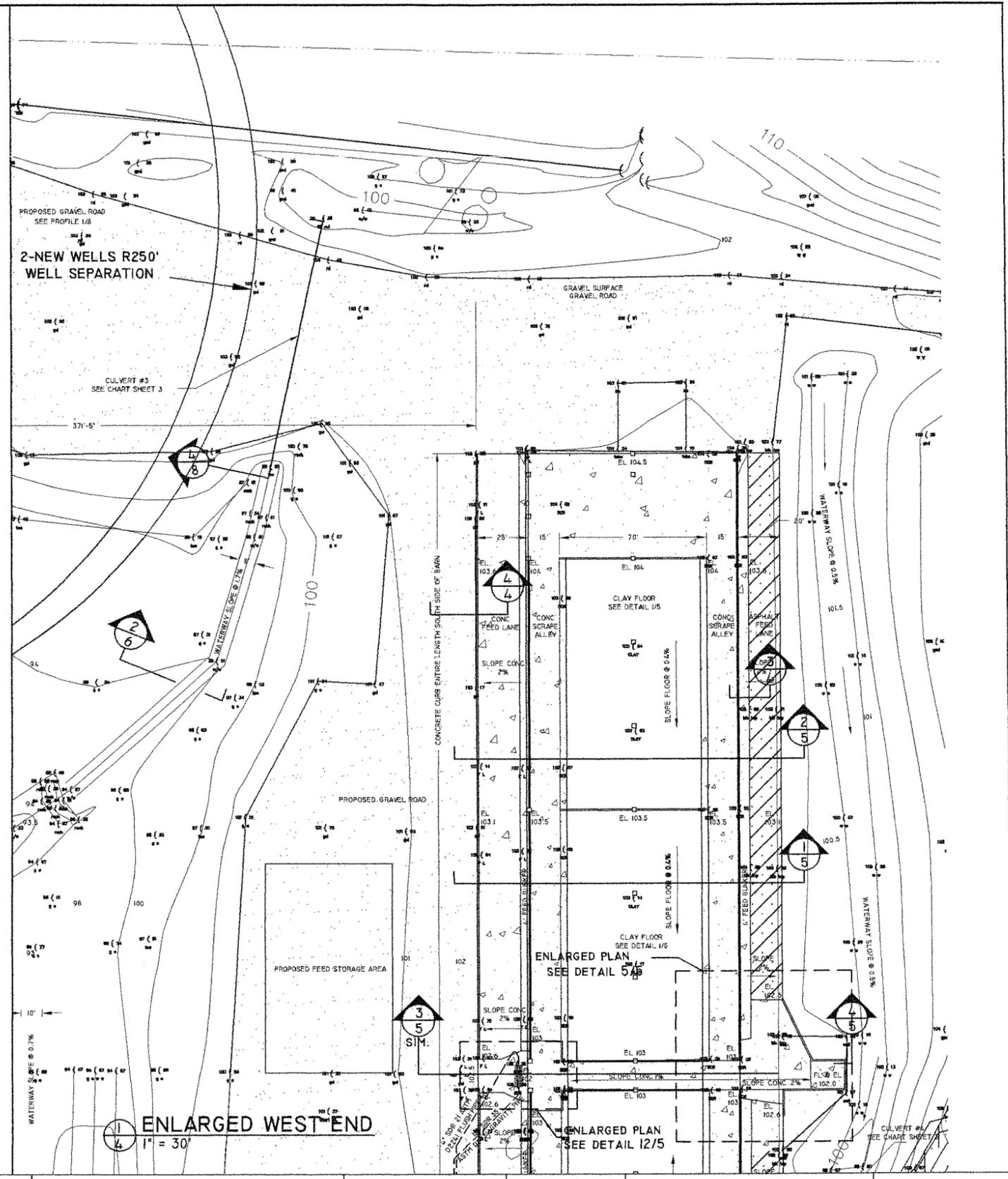
2 ENLARGED PLAN VIEW MANHOLE
 4 1/2" = 1'-0"



3 SECTION - FEED NORTH MANGER
 4 1/2" = 1'-0"



4 SOUTH CURB FEED LANE
 4 1/2" = 1'-0"



1 ENLARGED WEST END
 4 1" = 30'

3 ENLARGED PLAN
 SEE DETAIL 12/5

4 ENLARGED PLAN
 SEE DETAIL 5/4

REV	DESCRIPTION OF REVISION	BY	DATE	APPROVED
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Scale in Feet

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 Chippewa Falls, WI 54729

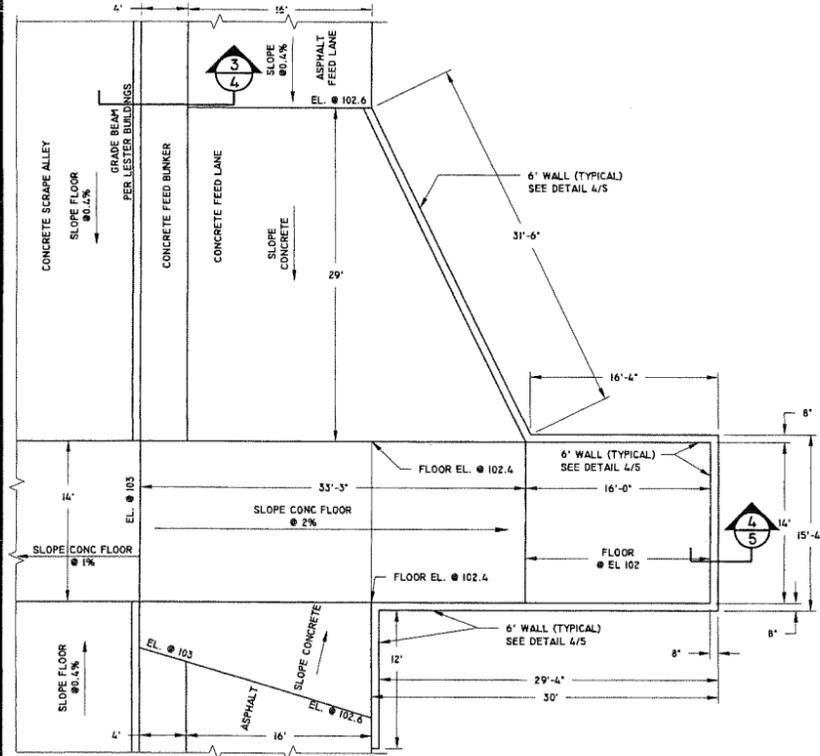
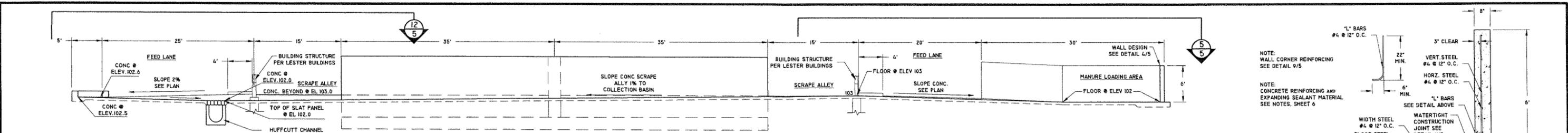
Office: (715) 723-6777
 Fax: (715) 723-6842
 www.tiryengineering.com

DESIGNED: Michael J. Tiry P.E.
 DRAWN: DGB
 PROJECT MANAGER: MJT

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-SHEET DESCRIPTION-
AS BUILT ENLARGED STRUCTURE
 -CLIENT-
Ed Herman

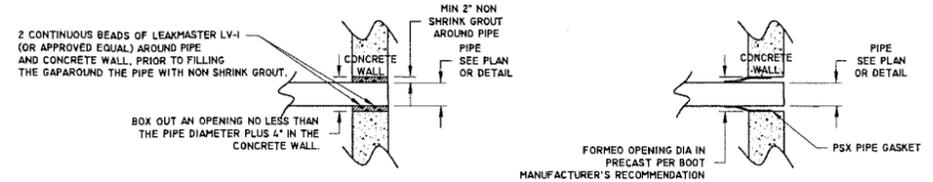
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 DATE: **4-18-11**
 SHEET **4** OF **10**



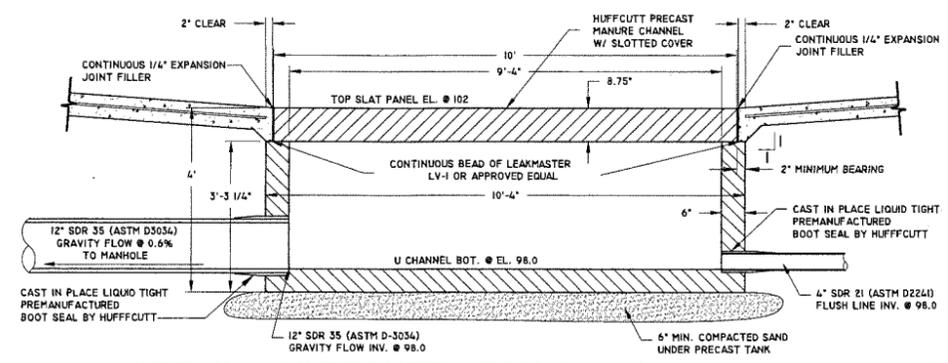
3 SECTION - BEEF BUILDING
5 N.T.S.

8 DETAIL - NOT USED
5 SCALE - 1/2" = 1'

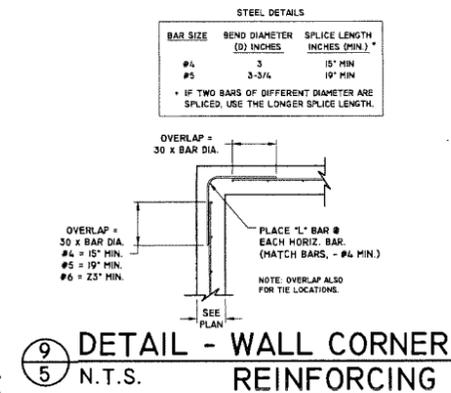
11 DETAIL - NOT USED
5 N.T.S.



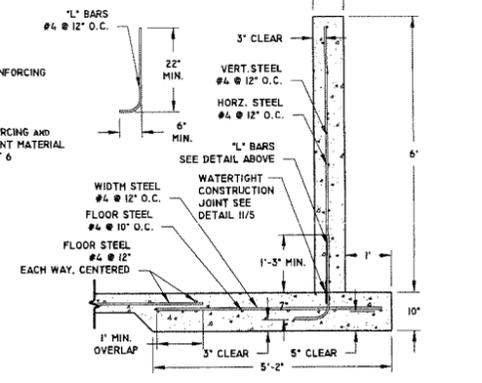
10 DETAIL - LIQUID TIGHT
PIPE/WALL PENETRATION
5 SCALE - 3/8" = 1'



14 DETAIL - HUFFCUTT SECTION MANURE CHANNEL TANK
5 SCALE - 1/2" = 1'



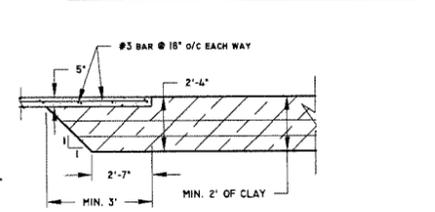
9 DETAIL - WALL CORNER
REINFORCING
5 N.T.S.



4 DETAIL - WALL
5 SCALE - 1/2" = 1'

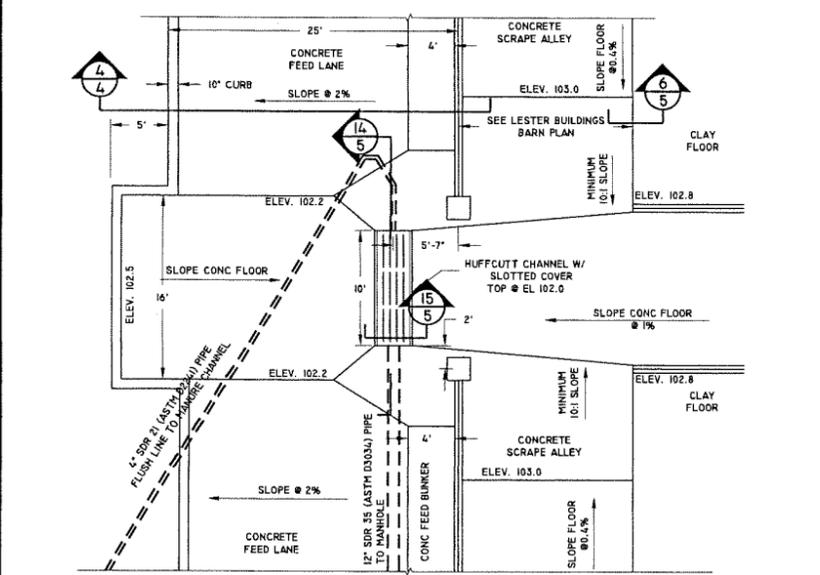
- WATERTIGHT CONSTRUCTION JOINT:
1. STRENGTH STEEL MUST BE TIED IN PLACE BEFORE POURING THE WALL FOOTING.
 2. CURING COMPOUND MUST NOT BE APPLIED TO JOINT SURFACE.
 3. CLEAN THE CONCRETE JOINT SURFACE TO REMOVE LAITANCE AND OTHER RESIDUAL MATERIAL USING WIRE BRUSHING, HIGH PRESSURE WATER BLASTING, OR SAND BLASTING.
 4. APPLY FORM RELEASE AGENT - NO DIESEL OIL OR SIMILAR PRODUCTS THAT MIGHT RUN DOWN ONTO THE JOINT.
 5. THIS JOINT IS CONSIDERED MONOLITHIC IF CONSTRUCTED IN ACCORDANCE WITH I-4 AND WITH CONST SPEC 4. IT MEETS THE REQUIREMENTS OF TABLE 5 IN NRCS STANDARD 315
 6. WATERTIGHT CONSTRUCTION JOINT CAN ALSO BE CONSTRUCTED USING CONTINUOUS 6" VINYL GREENSTREAK 705 OR EQUAL WITH 3" EMBEDMENT IN FLOOR AND 3" EMBEDMENT IN WALL.

13 NOTE - WATER TIGHT
CONSTRUCTION JOINT
5



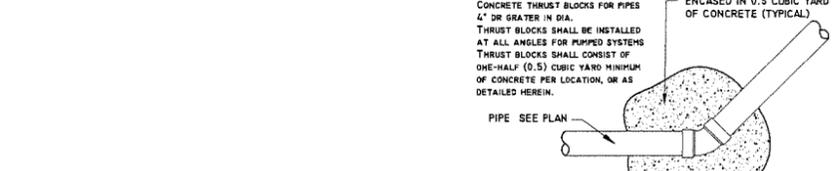
6 DETAIL - SCRAPE TRANSITION
5 N.T.S.

5 ENLARGED PLAN - MANURE LOADING AREA
5 SCALE - 1/8" = 1'

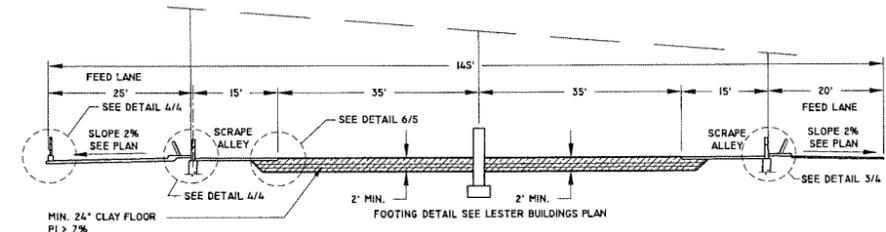
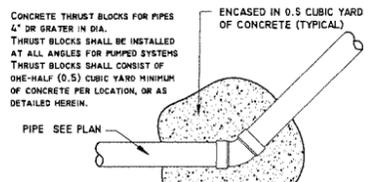


12 ENLARGED PLAN - LIQUID COLLECTION
5 SCALE - 1/8" = 1'

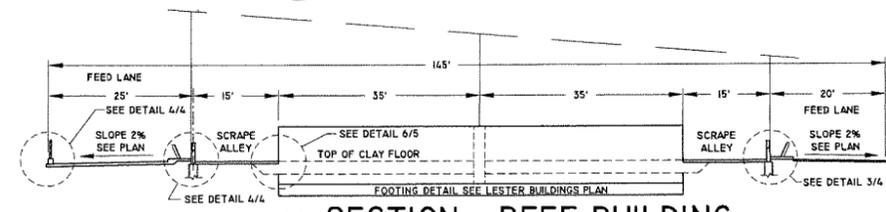
15 DETAIL - HUFFCUTT MANURE CHANNEL TANK
5 SCALE - 1/2" = 1'



16 THRUST BLOCK
5 SCALE - 1/4" = 1'



1 SECTION - BEEF BUILDING
5 N.T.S.



2 SECTION - BEEF BUILDING
5 N.T.S.

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Scale in Feet
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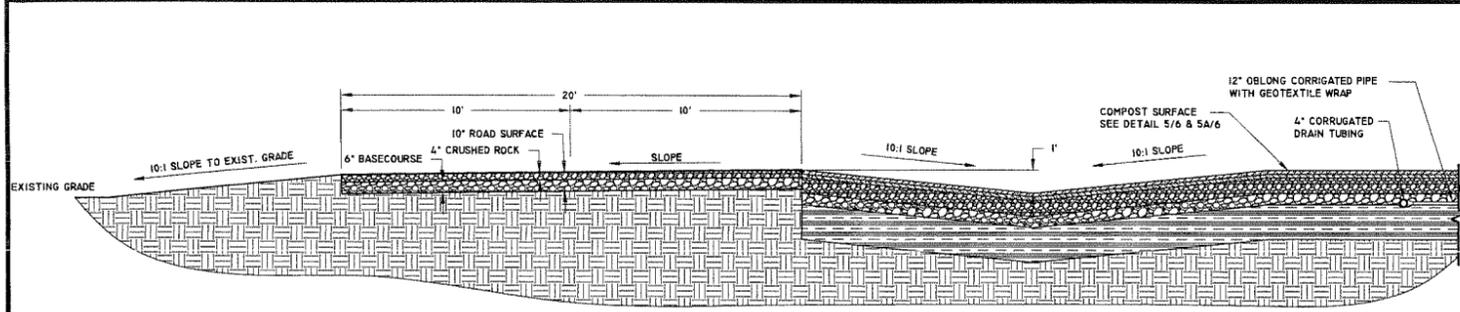
DESIGNED: Michael J. Tiry P.E.
DRAWN: DGB/JCC
PROJECT MANAGER: MJT

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SHEET 5 OF 10

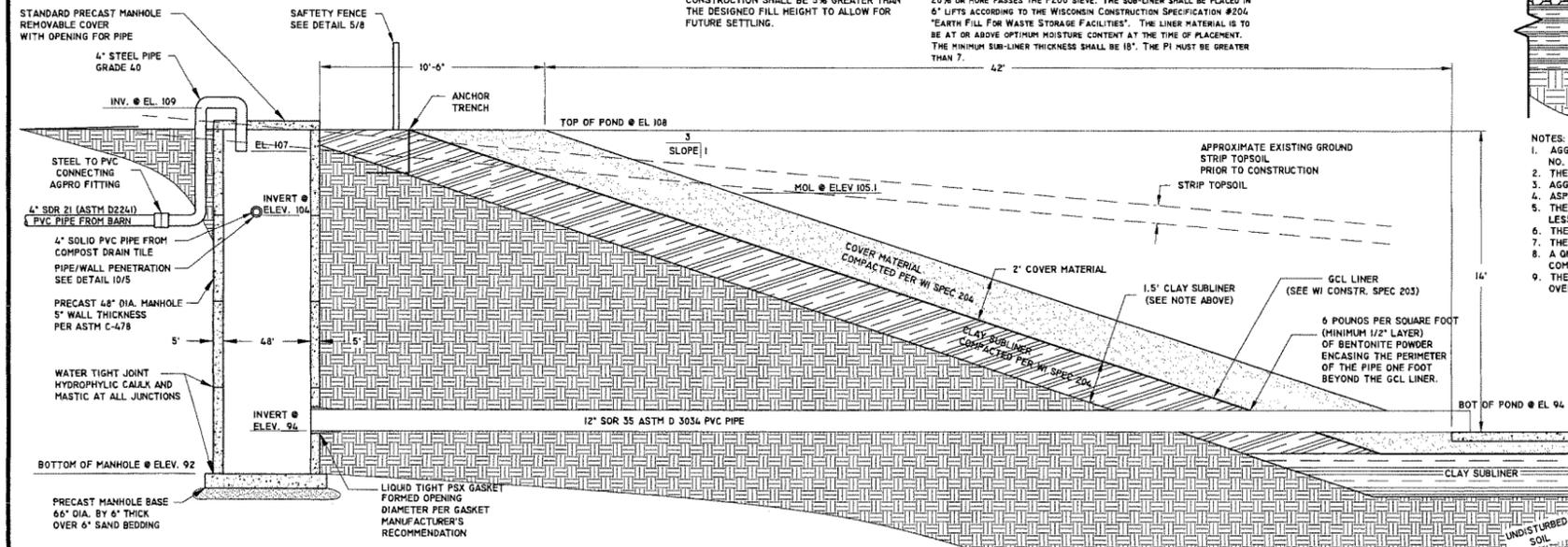
\\Tirynas\data\nas\2009\Jobs\Herman\AutoCad\Eng Drawings\25- As Built Entire Site.dwg, 4/20/2011 8:30:58 AM



1 SECTION - COMPOST ACCESS ROAD AND CHANNEL
SCALE - 1/4" = 1'

NOTE: ELEVATIONS SHOWN ARE FINAL SETTLED ELEVATIONS. CONSTRUCTED BERM HEIGHTS AFTER CONSTRUCTION SHALL BE 5% GREATER THAN THE DESIGNED FILL HEIGHT TO ALLOW FOR FUTURE SETTLING.

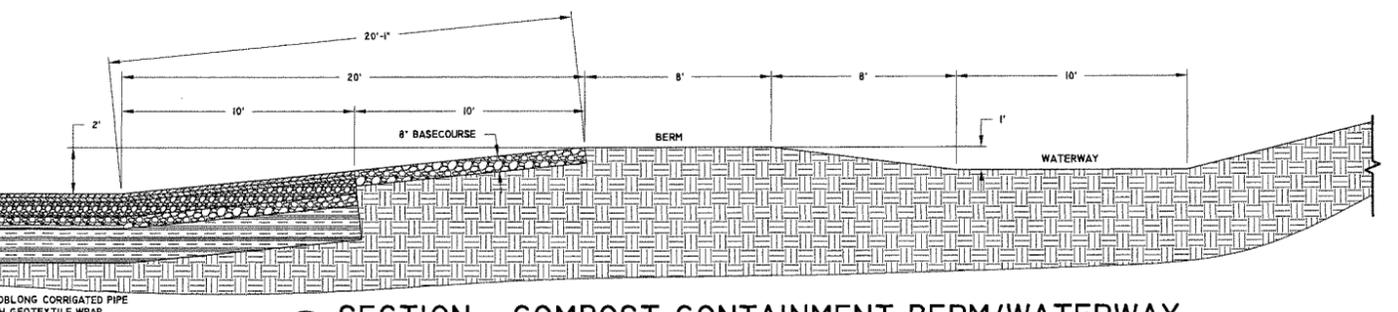
CLAY SUB-LINER: THIS GCL LINED WASTE STORAGE FACILITY SHALL BE CONSTRUCTED ACCORDING TO THE FOLLOWING. THE CONSTRUCTED CLAY SUB-LINER SHALL BE CONSTRUCTED OF COMPACTED CLAY MATERIAL OF WHICH 20% OR MORE PASSES THE #20 SIEVE. THE SUB-LINER SHALL BE PLACED IN 6" LIFTS ACCORDING TO THE WISCONSIN CONSTRUCTION SPECIFICATION #204 "EARTH FILL FOR WASTE STORAGE FACILITIES". THE LINER MATERIAL IS TO BE AT OR ABOVE OPTIMUM MOISTURE CONTENT AT THE TIME OF PLACEMENT. THE MINIMUM SUB-LINER THICKNESS SHALL BE 18". THE PI MUST BE GREATER THAN 7.



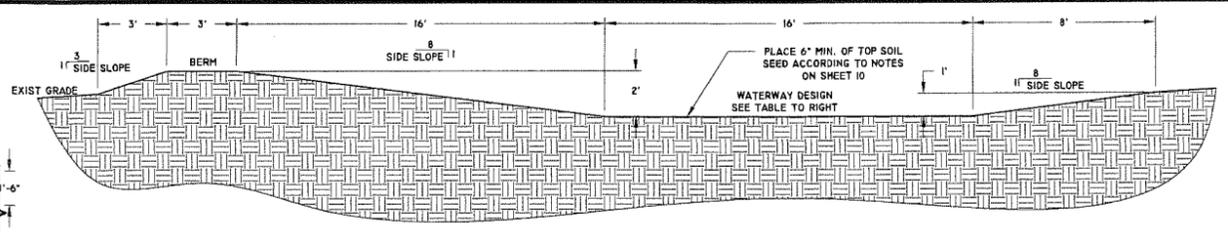
3 SECTION - POND
SCALE - 1/4" = 1'

#0 GRADE REINFORCEMENT STEEL	MAX. SPACING BETWEEN CONTROL JTS.
#3 @ 18" O.C.	65'
#3 @ 15" O.C.	78'
#4 @ 18" O.C.	117'
#4 @ 15" O.C.	140'
#4 @ 14" O.C.	154'
#4 @ 12" O.C.	175'

NOTE - CONCRETE/REINFORCEMENT



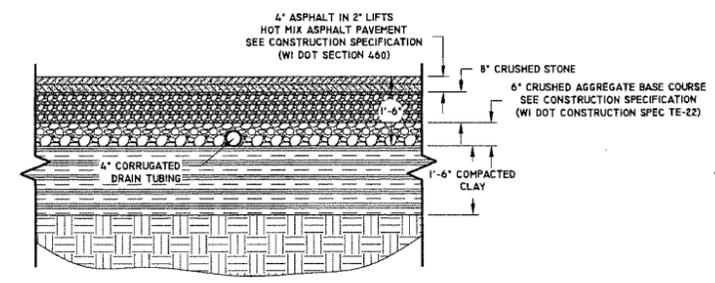
4 SECTION - COMPOST CONTAINMENT BERM/WATERWAY
SCALE - 1/4" = 1'



2 SECTION - WATERWAY
SCALE - 1/4" = 1'

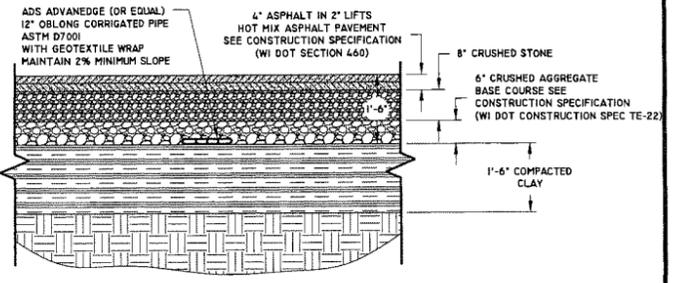
WATERWAY DESIGN TABLE

WATERWAY DIVERSION DESIGN	B	Z	D
0+00 TO 2+20	B = 16'	Z = 8:1	D = 1.7%
2+68 TO 9+00	B = 10'	Z = 8:1	D = .7%



5 SECTION - COMPOST SURFACE
SCALE - 1/2" = 1'

NOTES:
1. AGGREGATES IN THE BASE COURSE SHALL CONFORM TO THE GRADATION REQUIREMENTS FOR GRADATION NO. 2 IN ACCORDANCE WITH SEC. 304.2.6 WDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION.
2. THE BITUMINOUS BINDER COURSE AGGREGATES SHALL CONFORM TO GRADATION NO. 2 REQUIREMENTS.
3. AGGREGATES IN THE SURFACE COURSE SHALL CONFORM TO GRADATION NO. 3 REQUIREMENTS.
4. ASPHALT SHALL MEET THE 120-150 PENETRATION GRADE IN ACCORDANCE WITH AASHTO T49.
5. THE DESIGN MIX OF ASPHALT CEMENT AND AGGREGATES SHALL YIELD A MARSHALL STABILITY OF NO LESS THAN 1000 WITH AN AIR VOID OF THE COMPACTED MIXTURE OF NO MORE THAN 2%.
6. THE BINDER COURSE SHALL BE COMPACTED TO AT LEAST 93% 50 BLOW MARSHALL.
7. THE SURFACE COURSE SHALL BE COMPACTED TO AT LEAST 93% 50 BLOW MARSHALL.
8. A QUALIFIED INSPECTOR MUST BE ON SITE DURING PLACEMENT OF ASPHALT TO DOCUMENT COMPACTION MEASUREMENTS.
9. THE SURFACE COURSE SHALL BE APPLIED SUCH THAT A MINIMUM 2-FOOT OVERLAP IS TO BE PROVIDED OVER THE BINDER COURSE JOINTS.



5A SECTION - COMPOST SURFACE
SCALE - 1/2" = 1'

NOTES:
1. AGGREGATES IN THE BASE COURSE SHALL CONFORM TO THE GRADATION REQUIREMENTS FOR GRADATION NO. 2 IN ACCORDANCE WITH SEC. 304.2.6 WDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION.
2. THE BITUMINOUS BINDER COURSE AGGREGATES SHALL CONFORM TO GRADATION NO. 2 REQUIREMENTS.
3. AGGREGATES IN THE SURFACE COURSE SHALL CONFORM TO GRADATION NO. 3 REQUIREMENTS.
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8. A QUALIFIED INSPECTOR MUST BE ON SITE DURING PLACEMENT OF ASPHALT TO DOCUMENT COMPACTION MEASUREMENTS.
9. THE SURFACE COURSE SHALL BE APPLIED SUCH THAT A MINIMUM 2-FOOT OVERLAP IS TO BE PROVIDED OVER THE BINDER COURSE JOINTS.

-EXPANDING SEALANT MATERIALS FOR USE IN CONCRETE-

EXPANDING SEALANT MATERIALS CAN BE USED IN PROJECTS WHERE NEW CONCRETE IS BEING PLACED AGAINST CONCRETE OR FOR SEALING PIPE PENETRATIONS THROUGH CONCRETE WALLS OR SLABS. THE FOLLOWING MATERIALS HAVE BEEN TESTED AND EXPAND IN THE PRESENCE OF MANURE. ALL MATERIALS ARE TO BE APPLIED IN CONFORMANCE WITH THE MANUFACTURER'S REQUIREMENTS.

HYDROTITE BY GREENSTREAK
THE SEALANT IS SUPPLIED IN A PREFORMED STRIP. THE MINIMUM RECTANGULAR STRIP TO USE IS 3/4 INCHES WIDE BY 3/8 INCHES HIGH. NON-HORIZONTAL APPLICATIONS REQUIRE THE USE OF AN ADHESIVE PRIMER OR CONCRETE NAILS TO HOLD THE SEALANT STRIP IN PLACE.

ULTRA SEAL MC-2005T BY ADEKA
THE SEALANT IS SUPPLIED IN A PREFORMED STRIP WITH ADHESIVE BACK. THE MINIMUM RECTANGULAR STRIP TO USE IS 3/4 INCHES WIDE BY 1/4 INCH HIGH.

SIKA SWELL BY SIKA
THE SEALANT IS SUPPLIED IN A PREFORMED STRIP OR IN A MOISTURE-PROOF 'SAUSAGE' WHICH REQUIRES A SPECIAL GUN TO APPLY. THE MINIMUM RECTANGULAR STRIP TO USE IS 3/4 INCH WIDE BY 1/8 INCH HIGH. NON-HORIZONTAL APPLICATIONS REQUIRE THE USE OF AN ADHESIVE PRIMER OR CONCRETE NAILS TO HOLD THE SEALANT STRIP IN PLACE.

THE 'SAUSAGE' APPLIED MATERIAL IS STICKY AND STAYS IN PLACE ON ANY CLEAN SURFACE. THE MINIMUM APPLIED BEAD CROSS SECTION IS TO BE TRIANGULAR 5/8 INCHES BY 5/8 INCHES BY 5/8 INCHES.

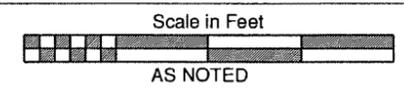
LEAKMASTER BY C. I. KASEI
THE SEALANT IS SUPPLIED IN COMMONLY AVAILABLE SIZE CAULKING TUBES. THE APPLIED MATERIAL IS STICKY AND STAYS IN PLACE ON ANY CLEAN SURFACE. THE MATERIAL IS TO BE APPLIED TO OBTAIN A SEALANT CROSS SECTION OF 3/4 INCHES WIDE BY 1/4 INCH HIGH.

NOTE - EXPANDING SEALANT

BUNKER BUILT FALL 2009
DETAIL REMOVED

6 SECTION - BUNKER SURFACE
SCALE - 1/4" = 1'

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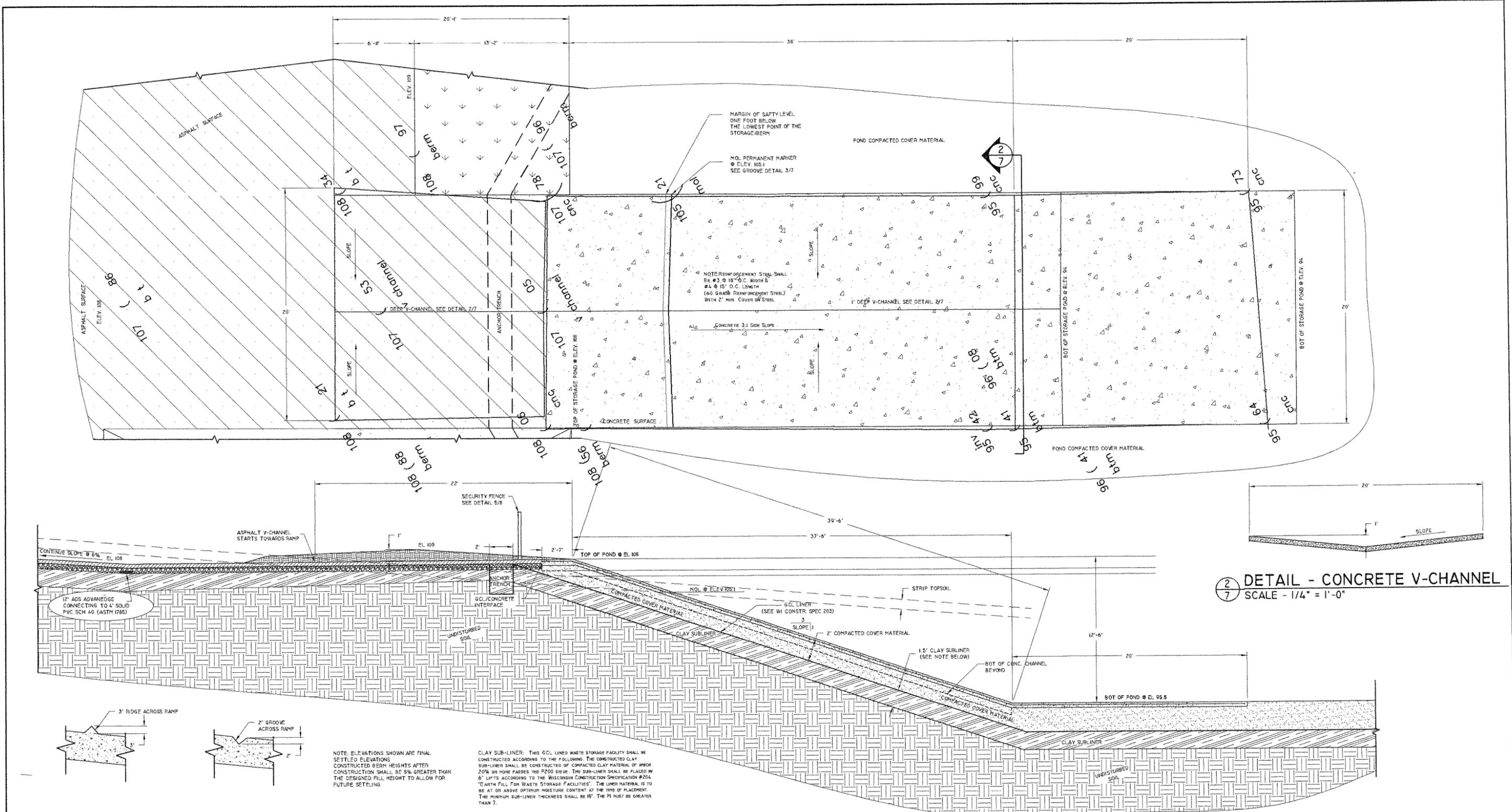
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SHEET 6 OF 10



2
7 DETAIL - CONCRETE V-CHANNEL
SCALE - 1/4" = 1'-0"

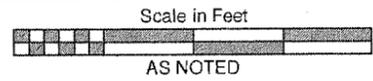
3
7 SECTION - MOL MARKER OPTIONS
SCALE - N.T.S.

1
7 SECTION - POND CONCRETE LINER
SCALE - 1/4" = 1'-0"

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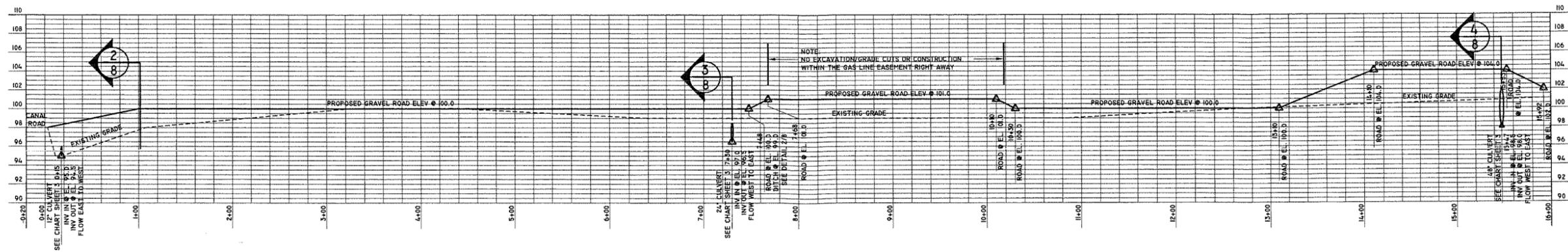
-SHEET DESCRIPTION-
**AS BUILT RAMP
DETAILS and SECTIONS**

-CLIENT-
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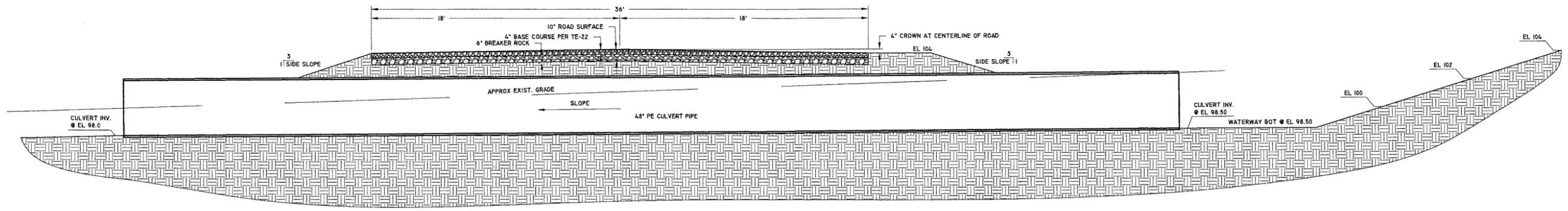
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HERM-02-09

DATE:
4-18-11

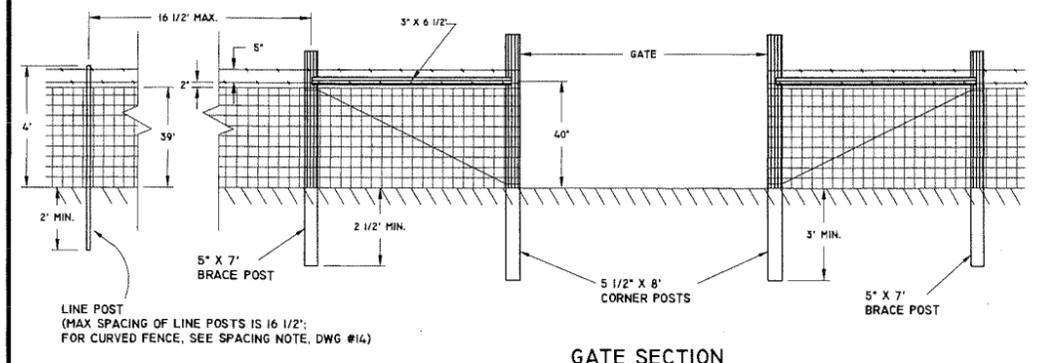
SHEET **7** OF **10**



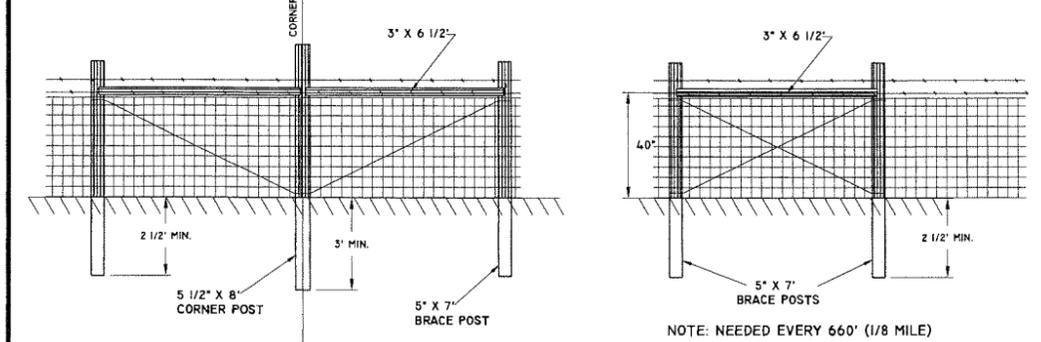
1
8 PROFILE - GRAVEL ACCESS ROAD (CANAL ROAD TO SITE)
SCALE - AS NOTED



4
8 SECTION - GRAVEL ACCESS ROAD W/ CULVERT
SCALE - 1/4" = 1'-0"



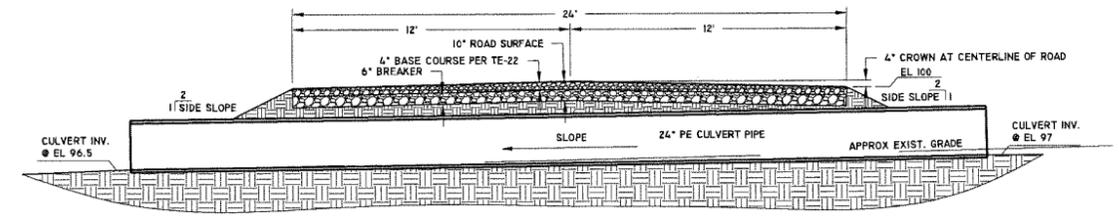
GATE SECTION



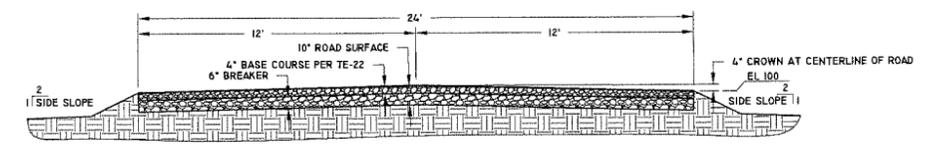
NOTE: NEEDED EVERY 660' (1/8 MILE)
PULL POST ASSEMBLY

- NOTE:
1. STANDARDIZED DESIGN: MUST BE ADAPTED TO THE SPECIFIC SITE.
 2. USE POST, PRESSURE TREATED TIMBER, OR STEEL COLUMN APPROXIMATELY 6'-6" LONG FOR DIAGONAL OR HORIZONTAL BRACE.
 3. SECURELY FASTEN BRACE.
 4. STAPLE BRACE WIRE TO GATE, BRACE, AND CORNER POSTS.
 5. USE POSTS FOR GATE BARS. STAPLE EACH WIRE TO THE GATE BAR.
 6. USE 2" X 2" STAY(S). SINGLE STAPLE EACH WIRE TO THE STAY(S).
 7. USE 1 PULL OR CENTER POST AND ONLY ONE BRACE POST FOR LOCATIONS WHERE A PULL POST ASSEMBLY IS INSTALLED ON EACH SIDE OF A DRAW.
 8. IF WOVEN WIRE IS USED WITH BARBED WIRE, STAYS SHALL BE INSTALLED AT THE 1/3 POINTS OF THE GATE.

5
8 DETAIL - SECURITY FENCE
N.T.S.



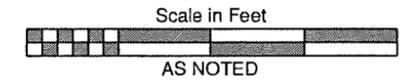
3
8 SECTION - GRAVEL ACCESS ROAD W/ CULVERT
SCALE - 1/4" = 1'-0"



2
8 SECTION - GRAVEL ACCESS ROAD
SCALE - 1/4" = 1'-0"

CORNER POST ASSEMBLY

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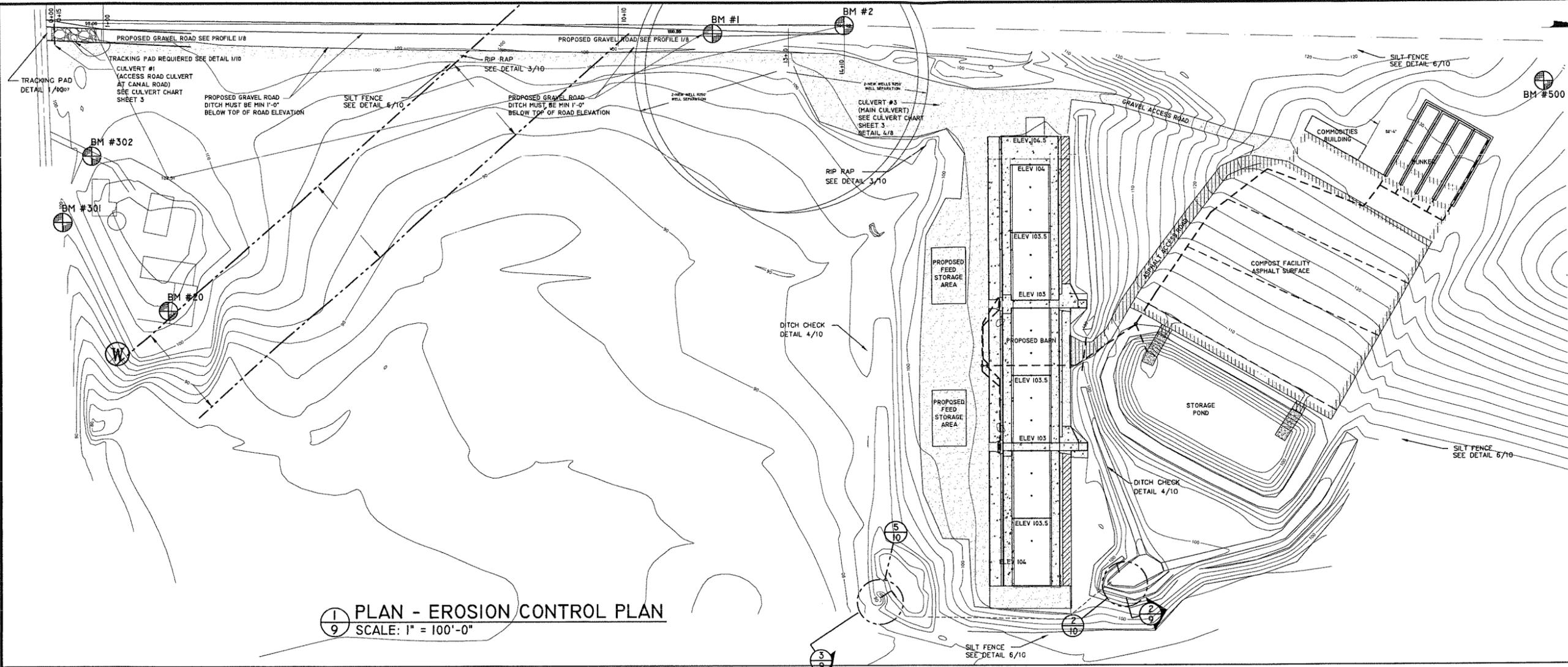
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DRAWN:
DGB/JCC
PROJECT MANAGER:
MJT

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SHEET DESCRIPTION -
ROAD PROFILE and
SECTIONS
-CLIENT-
Ed Herman

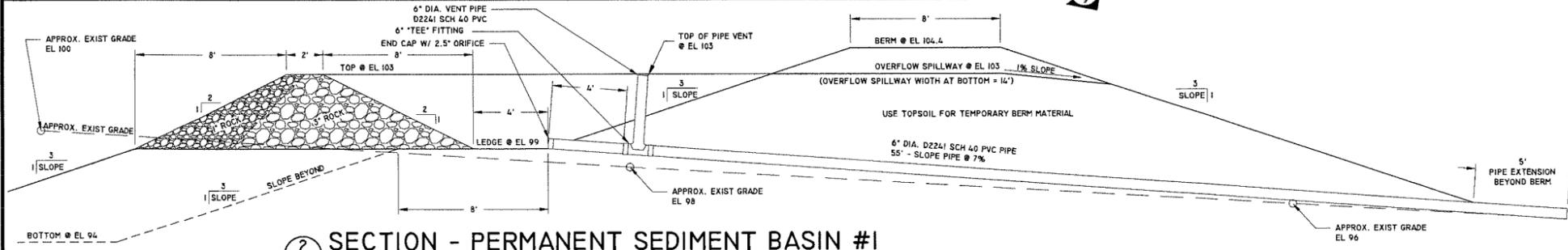
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DATE:
4-18-11
SHEET 8 OF 10

APPROX. NORTH

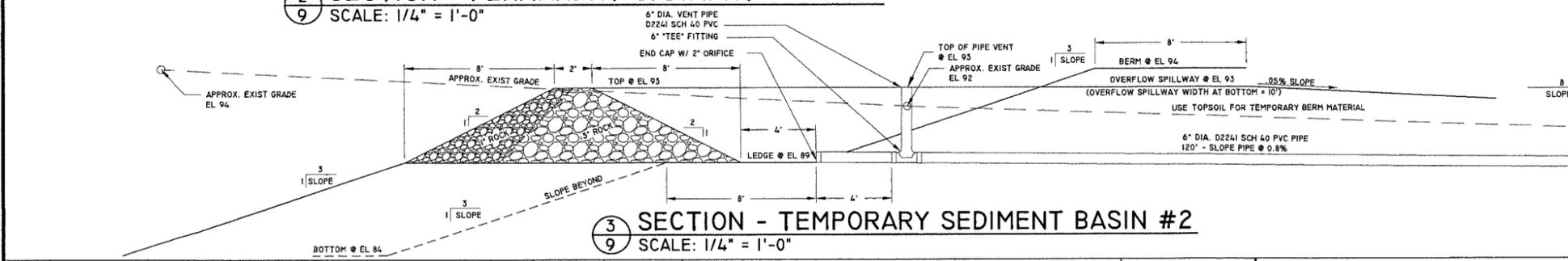


1 PLAN - EROSION CONTROL PLAN
9 SCALE: 1" = 100'-0"

LEGEND	
GRADING/EROSION CONTROL	
	SILT FENCE - TO BE INSTALLED PRIOR TO ANY CONSTRUCTION SEE DETAIL 6/10
	RIP RAP SEE DETAIL 3/10
	DITCH CHECK DETAIL 4/10
	TRACKING PAD DETAIL 1/10
MULCHING AND SEEDING NOTES SEE SHEET 10	
CULVERT CHART SEE SHEET 3	
6" PVC PIPE	



2 SECTION - PERMANENT SEDIMENT BASIN #1
9 SCALE: 1/4" = 1'-0"

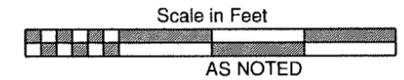


3 SECTION - TEMPORARY SEDIMENT BASIN #2
9 SCALE: 1/4" = 1'-0"

-EROSION CONTROL NOTES-

- NOTE: TO TAKE FULL ADVANTAGE OF THE EROSION CONTROL MEASURES ON THE SITE, FOLLOW THE EROSION CONTROL SCHEDULE BELOW:
- 1.) CONSTRUCT CULVERTS #1, #2, & #3, AND THE MAIN ACCESS ROAD TO THE EXISTING CULVERT PRIOR TO SITE CONSTRUCTION.
 - 2.) CONSTRUCT THE PROPOSED WATERWAY TO CULVERT #3 AND ESTABLISH SOD COVER BEFORE REMOVING THE EXISTING CULVERT. LEAVE THE EXISTING STRUCTURE AND CATCH BASIN TO THE WEST OF THE PROPERTY INTACT.
 - 3.) CONSTRUCT THE TEMPORARY SEDIMENT BASINS.
 - 4.) CONSTRUCT CULVERT #4 AND THE ADJACENT PROPOSED WATERWAYS AND THE PROPOSED WATERWAY TO THE SOUTH OF THE BARN.
 - 5.) AFTER CONSTRUCTION IS COMPLETE, REMOVE THE TEMPORARY SEDIMENT BASINS, FINISH WATERWAY CONSTRUCTION AND ESTABLISH SOD COVER.

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Tiry Engineering, Inc.
For Agriculture and the Environment

220 1/2 N. Bridge Street
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Chippewa Falls, WI 54729

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Fax: (715) 723-6842
www.tiryengineering.com

DESIGNED: Michael J. Tiry P.E.
DRAWN: DGB
PROJECT MANAGER: MJT

-ATTENTION-

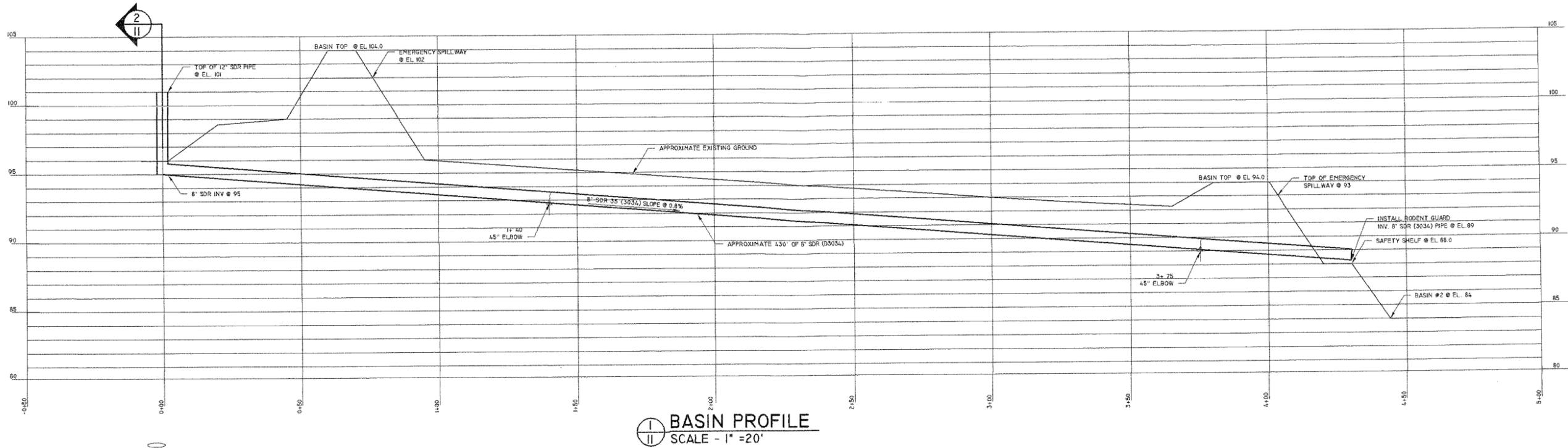
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

-SHEET DESCRIPTION-
STORMWATER and EROSION PLAN

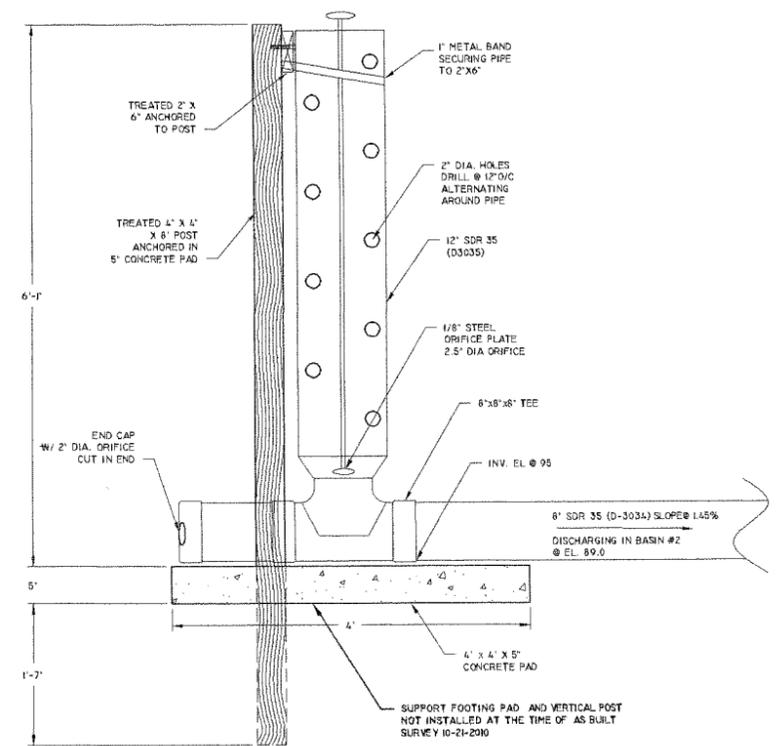
-CLIENT-
Ed Herman

DRAWING NO. **HERM-02-09**
DATE: **4-18-11**
SHEET **9** OF **10**

\\Tiry\es\data\nas\2009\Jobs\Herman\AutoCad\Eng Drawings 25- As Built Entire Site.dwg, 4/20/2011 8:34:54 AM



1
II **BASIN PROFILE**
SCALE - 1" = 20'



2
II **SECTION - PIPE INLET FOR BASIN #1**
SCALE - 1/4" = 1'-0"

REV	DESCRIPTION OF REVISION	BY	DATE	APPROVED

Scale in Feet

AS NOTED

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Michael J. Tiry P.E.

DRAWN:
DGB/JCC

PROJECT MANAGER:
MJT

-ATTENTION-
0 1
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

-SHEET DESCRIPTION-
As Built Basin Pipe Detail

-CLIENT-
Ed Herman

DRAWING NO.
HERM-02-09

DATE:
4-18-11

SHEET **11** OF **11**