

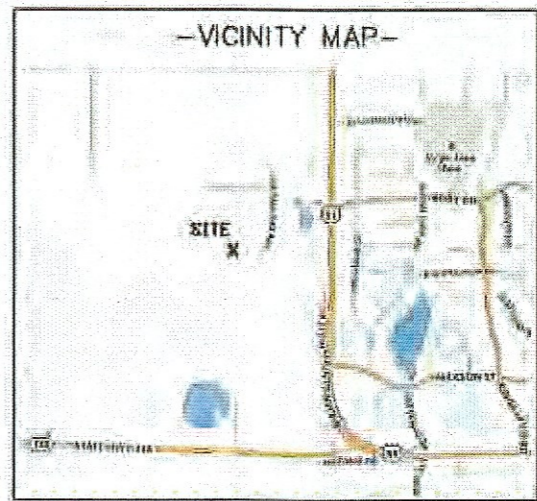
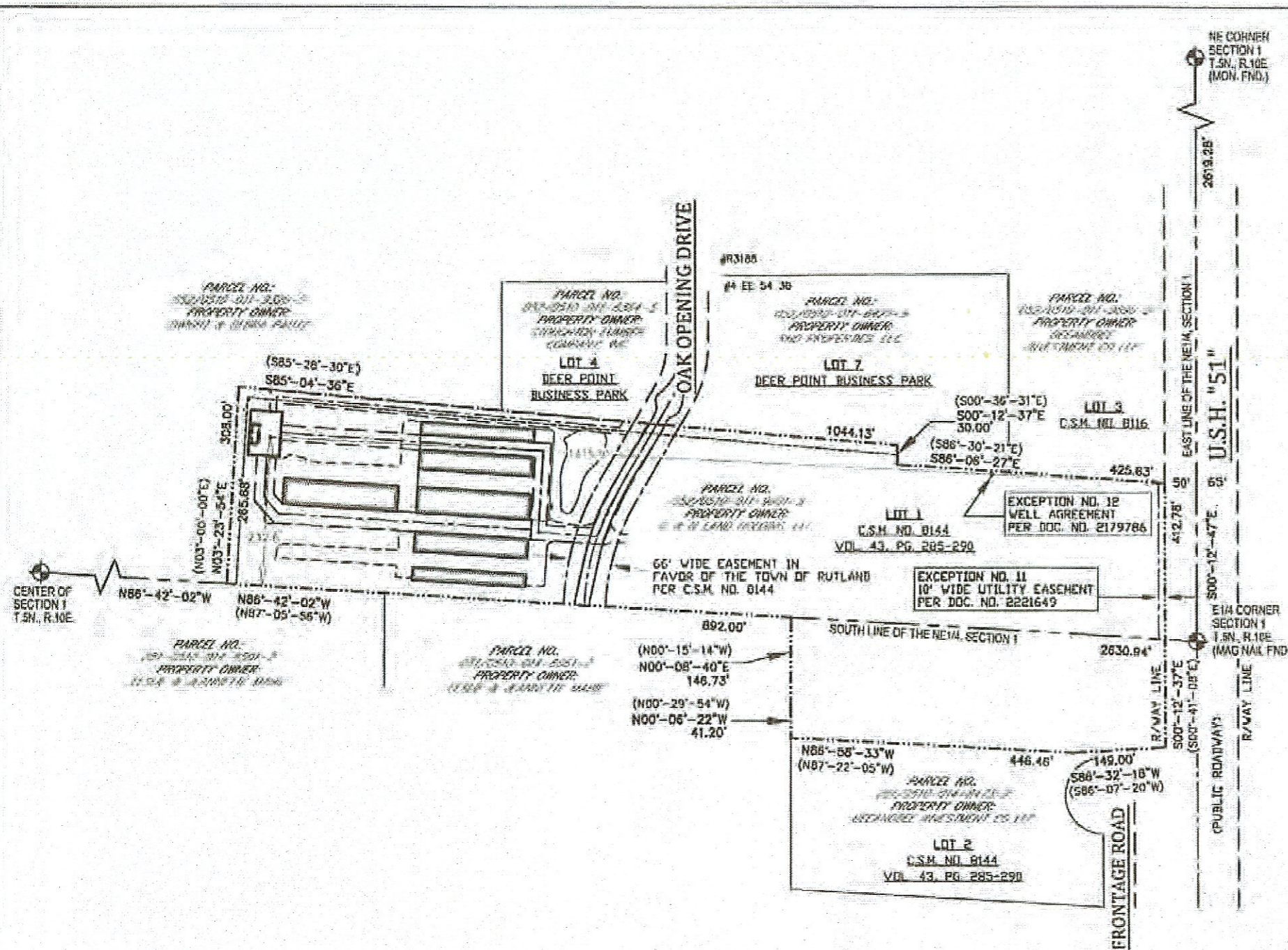
verizon



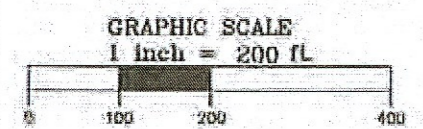
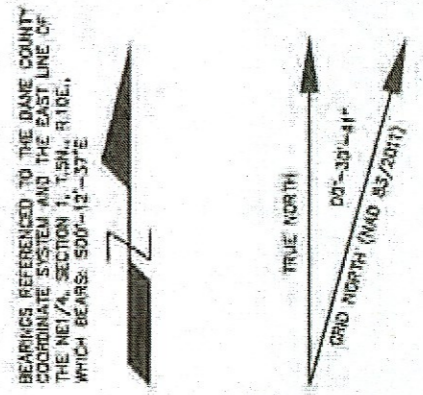
**STOUGHTON SW [278545]  
STOUGHTON, WISCONSIN  
CONSTRUCTION DRAWINGS  
100' MONOPOLE TOWER  
EXTENDABLE TO 150'**

SITE LOCATION MAPS	SHEET INDEX	DIRECTORY	PROJECT INFO	SCOPE OF WORK																																																												
	<table border="1"> <thead> <tr> <th>NO:</th> <th>SHEET TITLE</th> </tr> </thead> <tbody> <tr><td>T-1</td><td>TITLE SHEET &amp; PROJECT DATA</td></tr> <tr><td>I-3</td><td>SURVEY *</td></tr> <tr><td>C-1</td><td>SITE PLAN</td></tr> <tr><td>C-2</td><td>COMPOUND PLAN</td></tr> <tr><td>C-3</td><td>ENLARGED COMPOUND PLAN</td></tr> <tr><td>C-4</td><td>FENCE DETAILS</td></tr> <tr><td>C-5</td><td>FENCE DETAILS</td></tr> <tr><td>C-6</td><td>GRADING PLAN</td></tr> <tr><td>C-7</td><td>CONSTRUCTION DETAILS</td></tr> <tr><td>S-1</td><td>EQUIPMENT DETAILS</td></tr> <tr><td>S-2</td><td>EQUIPMENT DETAILS</td></tr> <tr><td>S-3</td><td>FOUNDATION DETAILS</td></tr> <tr><td>S-4</td><td>SKID ELEVATIONS</td></tr> <tr><td>A-1</td><td>TOWER ELEVATION</td></tr> <tr><td>A-2</td><td>ANTENNA CONFIGURATION</td></tr> <tr><td>A-3</td><td>ANTENNA CONFIGURATION</td></tr> <tr><td>A-4</td><td>ICE BRIDGE DETAILS</td></tr> <tr><td>A-5</td><td>ANTENNA/EQUIP. MOUNTING</td></tr> <tr><td>E-1</td><td>ELECTRICAL PLAN</td></tr> <tr><td>E-2</td><td>METER AND TELCO RACK</td></tr> <tr><td>E-3</td><td>ELECTRICAL DETAILS</td></tr> <tr><td>E-4</td><td>GENERATOR DETAILS</td></tr> <tr><td>E-5</td><td>GENERATOR DETAILS</td></tr> <tr><td>G-1</td><td>GROUNDING PLAN</td></tr> <tr><td>G-2</td><td>GROUNDING DETAILS</td></tr> <tr><td>G-3</td><td>GROUNDING DETAILS</td></tr> <tr><td>SP-1</td><td>SPECIFICATIONS</td></tr> <tr><td>SP-2</td><td>SPECIFICATIONS</td></tr> <tr><td>P-1</td><td>SITE PHOTOS</td></tr> </tbody> </table>	NO:	SHEET TITLE	T-1	TITLE SHEET & PROJECT DATA	I-3	SURVEY *	C-1	SITE PLAN	C-2	COMPOUND PLAN	C-3	ENLARGED COMPOUND PLAN	C-4	FENCE DETAILS	C-5	FENCE DETAILS	C-6	GRADING PLAN	C-7	CONSTRUCTION DETAILS	S-1	EQUIPMENT DETAILS	S-2	EQUIPMENT DETAILS	S-3	FOUNDATION DETAILS	S-4	SKID ELEVATIONS	A-1	TOWER ELEVATION	A-2	ANTENNA CONFIGURATION	A-3	ANTENNA CONFIGURATION	A-4	ICE BRIDGE DETAILS	A-5	ANTENNA/EQUIP. MOUNTING	E-1	ELECTRICAL PLAN	E-2	METER AND TELCO RACK	E-3	ELECTRICAL DETAILS	E-4	GENERATOR DETAILS	E-5	GENERATOR DETAILS	G-1	GROUNDING PLAN	G-2	GROUNDING DETAILS	G-3	GROUNDING DETAILS	SP-1	SPECIFICATIONS	SP-2	SPECIFICATIONS	P-1	SITE PHOTOS	<p><b>CLIENT:</b> CHICAGO SMSA LIMITED PARTNERSHIP d/b/a VERIZON WIRELESS 1515 E. WOODFIELD ROAD 10TH FLOOR SCHAUMBURG, IL 60173 REAL ESTATE MANAGER: BRYAN LAZUKA PHONE: 847.833.1154</p> <p><b>ENGINEERING COMPANY:</b> EDGE CONSULTING ENGINEERS, INC. 624 WATER STREET PRAIRIE DU SAC, WI 53578 CONTACT: PAUL MOLITOR PHONE: 608.644.1449</p> <p><b>SITE ACQUISITION:</b> BUELL CONSULTING, INC. 1360 ENERGY PARK DRIVE SUITE 210 ST. PAUL, MN 55108 CONTACT: NATHAN WARD PHONE: 414.788.1327</p> <p><b>SURVEYOR:</b> MERIDIAN SURVEYING, LLC. N 8774 FIRELANE 1 MENASHA, WI 54952 CONTACT: CRAIG KEACH PHONE: 920.993.0881</p>	<p><b>SITE LOCATION:</b> 1471 US HIGHWAY 51 STOUGHTON, WI 53589</p> <p><b>PROPERTY OWNER:</b> G &amp; N LAND HOLDINGS, LLC GARY DVORAK PHONE #: 608.509.8904 1471 US HWY 51 STOUGHTON, WI 53589</p> <p><b>TOWER OWNER:</b> SBA 2012 TC ASSETS, LLC 8051 CONGRESS AVENUE BOCA RATON, FL 33487 CONTACT: ANDREA GOMEZ PHONE: 561.226.9207 SITE NAME: STOUGHTON SW SITE #: WI-16222-B</p> <p><b>1A INFORMATION (NAD 1983/2011)</b> -TOWER BASE- LAT: 42°-55'-33.54" LONG: 89°-15'-21.20" GROUND ELEVATION (NAVD 88): 930.2'</p> <p><b>PLSS INFORMATION:</b> PART OF SE1/4 OF THE NE1/4, SECTION 1, T.5N, R.10E, TOWN OF RUTLAND, DANE COUNTY WISCONSIN</p> <p><b>TAX PARCEL NUMBER:</b> 052/0510-077-9801-9</p> <p><b>ZONED:</b> C-2</p>	<p><b>PROJECT DESCRIPTION:</b> PROJECT TYPE: 100' MONOPOLE TOWER (EXTENDABLE TO 150') EQUIPMENT: 16'-0" x 9'-4" EQUIPMENT SKID GENERATOR: EXTERIOR DIESEL GENERATOR</p> <p><b>RF DESCRIPTION (VERIFY WITH ECR):</b> PRO: ANTENNA C/L: 95' ABOVE T.O.C. ANTENNAS: (3) AWS/LTE ANTENNAS (3) PCS/LTE ANTENNAS CABLES: (3) PRO. HYBRID LINES (12) PRO. 1 5/8" COAX LINES EQUIPMENT: (3) PRO. SURGE PROTECTORS (6) PRO. REMOTE RADIO UNITS</p> <p><b>NOTE:</b> FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT), PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.</p>
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	<p>* COMPLETED BY OTHERS</p> <p>CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS/CONDITIONS ON SITE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE FOR THE SAME.</p>	<p><b>UTILITY INFO</b></p> <p><b>ELECTRIC PROVIDER:</b> NAME: STOUGHTON ELECTRIC CONTACT: JOHN MCLAIN PHONE: 608.877.7414</p> <p><b>FIBER OPTIC PROVIDER:</b> NAME: TBD CONTACT: _____ PHONE: _____</p> <p>TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CALL DIGGER'S HOTLINE</p> <p>TOLL FREE 1-800-242-8511 FAX A LOCATE 1-800-338-3860</p> <p>WI STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE</p>	<p>ENGINEER SEAL:</p> <p><b>PRELIMINARY - NOT FOR CONSTRUCTION</b></p> <p>Signature: _____ Date: _____</p>	<p>I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.</p> <p>CHECKED BY: PCM PLOT DATE: 1/16/2017 PROJECT #: 12121 FILE NAME: T-1.dgn</p> <p>SHEET NUMBER: <b>T-1</b></p>																																																												

R:\12101\12121\CADD\Plot\CDs\shd\T-1.dgn



**PROPOSED TOWER BASE**  
 (SBA TOWERS VI, LLC.)  
 LATITUDE: 42°-55'-33.54"  
 LONGITUDE: 89°-15'-21.20"  
 (Per North American Datum of 83/2011)  
 Ground Elevation: 930.2'  
 (Per North American Vertical Datum of 1988)

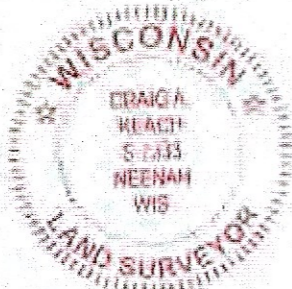


I, Craig A. Keach, hereby certify that none of the property described herein is within a flood plain as defined by FEMA.

**SURVEYOR'S CERTIFICATE**  
 I, Craig A. Keach, Professional Land Surveyor of Meridian Surveying, LLC, certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this 26th day of OCTOBER, 2016.

*Craig A. Keach*  
 WISCONSIN PROFESSIONAL LAND SURVEYOR  
 Craig A. Keach, 32333



- LEGEND-**
- = 1" X 18" IRON PIPE SET
  - = 1" IRON PIPE FOUND
  - ⊕ = COUNTY MONUMENT FOUND
  - ( ) = RECORDED INFORMATION
  - ☐ = TELEPHONE PEDESTAL
  - ☑ = CABLE BOX
  - ⊞ = ELECTRIC TRANSFORMER
  - ⊞ = STORM INLET (ROUND)
  - ⊙ = METAL POST
  - E- = BURIED ELECTRIC
  - P- = PROPERTY LINE
  - B.O.C. = BACK OF CURB
  - ⊙ = EXISTING BOULDER
  - ⊙ = EXISTING CEDAR TREE
  - ⊙ = EXISTING TREE

**WETLAND NOTE:**  
 -THE PRESENCE AND LOCATION OF WETLANDS HAS NOT BEEN DETERMINED ON THIS PROPERTY. WETLANDS SHOULD ONLY BE DETERMINED BY ACTUAL FIELD DELINEATION PERFORMED BY A QUALIFIED WETLAND SPECIALIST.

**SURVEY NOTES:**  
 -THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN.

-THIS IS NOT A BOUNDARY SURVEY OF THE PARENT PARCEL. THIS SURVEY REPRESENTS THE LEASE AREA AND EASEMENTS ONLY.

SURVEYED FOR:

**Edge**  
 Consulting Engineers, Inc.  
 624 Water Street  
 P.O. Box 100, Stoughton, WI 53578  
 608.644.1449 voice  
 608.644.1549 fax  
 www.edgeengineers.com

SURVEYED FOR:

**verizon**

1515 WOODFIELD ROAD  
 SUITE 1400  
 SCHAUMBURG, IL 60173

**MERIDIAN**  
 SURVEYING, LLC

88774 Firlane 1 Office: 920-893-0881  
 Menasha, WI 54952 Fax: 920-273-8037

SITE NAME: STOUGHTON SW VERSION III

SITE NUMBER: 278545

SITE ADDRESS: 1471 US HIGHWAY 51  
 STOUGHTON, WI 53589

PROPERTY OWNER:  
 G & N LAND HOLDINGS, LLC  
 1471 U.S.H. #51  
 STOUGHTON, WI 53589

PARCEL NO.: 052/0510-011-9801-9

ZONED: C-2

DEED: DOCUMENT NO. 4406262

**LEASE EXHIBIT**  
 FOR  
 VERIZON WIRELESS PERSONAL  
 COMMUNICATIONS (P. v/h/n VERIZON WIRELESS)

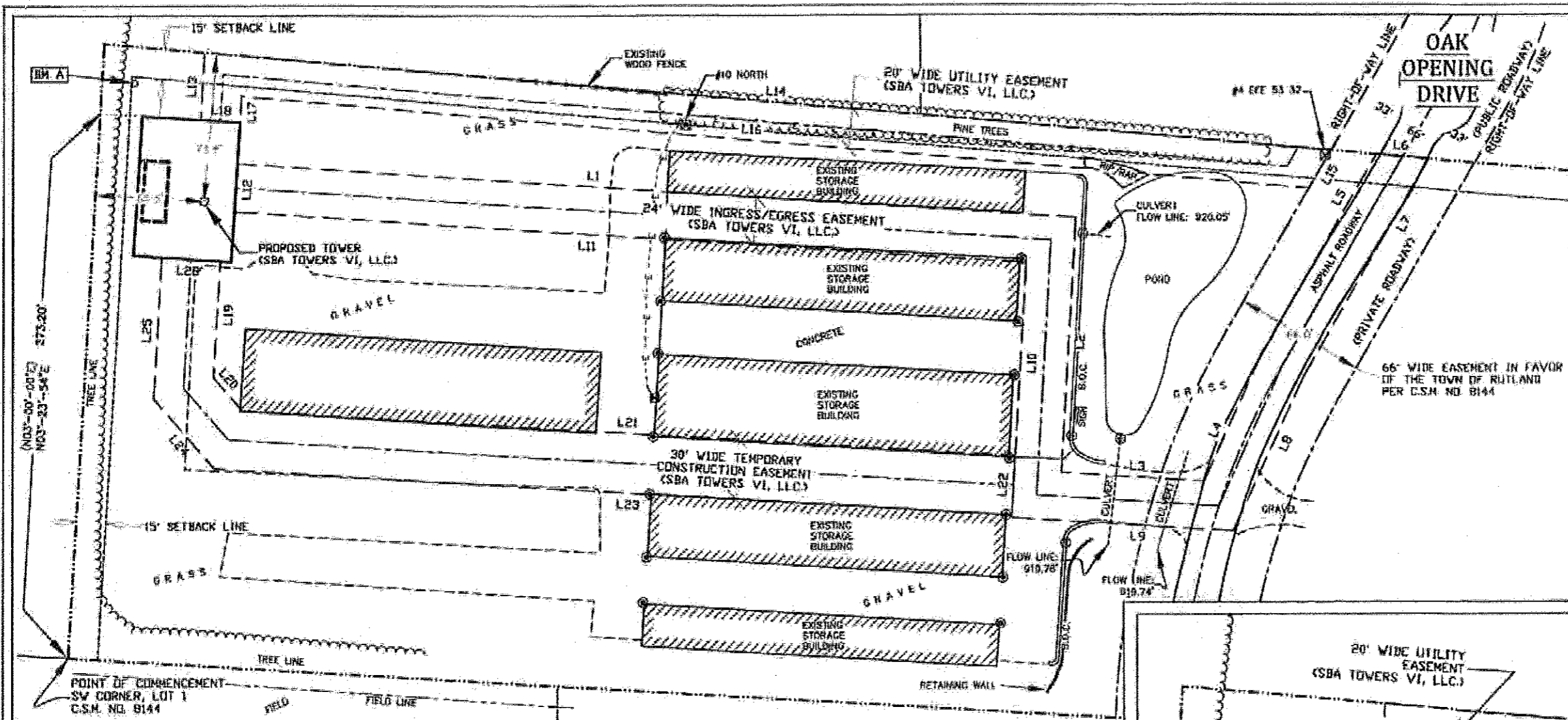
BEING A PART OF THE SE1/4 OF THE  
 NE1/4, SECTION 1, T.5N., R.10E.,  
 TOWN OF RUTLAND, DANE COUNTY,  
 WISCONSIN

NO.	DATE	DESCRIPTION	BY
5	10/26/16	Revised Title Report	J.D.
4	10/19/16	Revised Site Address	J.D.
3	9/3/15	Revised Lease & Easement	J.B.
2	8/24/15	Added Additional Locates	J.D.
1	3/27/15	Preliminary Survey	J.D.

DRAWN BY: J.B. FIELD WORK DATE: 3-11-15

CHECKED BY: C.A.K. FIELD BOOK: M-32, PG.45

JOB NO.: 8106 SHEET 1 OF 3



SURVEYED FOR:  
**Edge**  
 Consulting Engineers, Inc.  
 624 Water Street  
 Prairie du Sac, WI 53578  
 608.644.1449 ext  
 608.644.1849 fax  
 www.edgeconsult.com

SURVEYED FOR:  
**verizon**  
 1515 WOODFIELD ROAD  
 SUITE 1400  
 SCHAMBURG, IL 60173

**MERIDIAN**  
 SURVEYING, LLC  
 N8774 Firelane 1 Menasha, WI 54952  
 Office: 920-983-8881  
 Fax: 920-273-6037

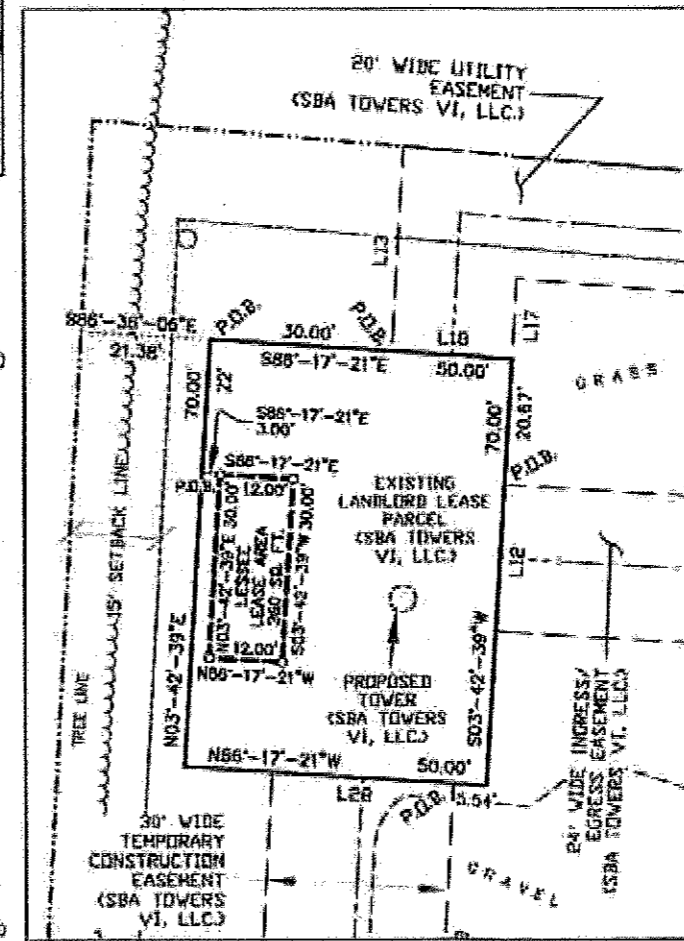
SITE NAME: STOUGHTON SW VERSION III  
 SITE NUMBER: 278545  
 SITE ADDRESS: 1471 US HIGHWAY 51  
 STOUGHTON, WI 53589

PROPERTY OWNER:  
 G & N LAND HOLDINGS, LLC.  
 1471 U.S.H. 51  
 STOUGHTON, WI 53589  
 PARCEL NO.: 052/0510-011-9801-9  
 ZONED: C-2  
 DEED: DOCUMENT NO. 4408262

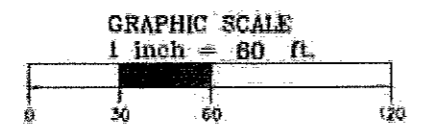
LEASE EXHIBIT  
 FOR  
 VERIZON WIRELESS PERSONAL  
 COMMUNICATIONS LP d/b/a VERIZON WIRELESS  
 BEING A PART OF THE SE1/4 OF THE  
 NE1/4, SECTION 1, T.5N., R.10E.,  
 TOWN OF RUTLAND, DANE COUNTY,  
 WISCONSIN

NO.	DATE	DESCRIPTION	BY
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4	10/19/16	Revised Site Address	J.D.
3	9/3/15	Revised Lease & Ease.	J.B.
2	8/24/15	Added Additional Locates	J.D.
1	3/22/13	Preliminary Survey	J.D.

DRAWN BY: J.B. FIELD WORK DATE: 3-11-15  
 CHECKED BY: C.A.K. FIELD BOOK: M-32, PG.45  
 JOB NO.: 8106 SHEET 2 OF 3

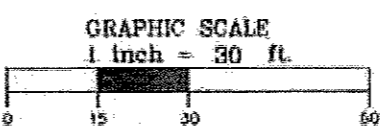


Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length
L1	S86°17'21"E	425.87'	L13	N03°23'54"E	33.59'	L19	S03°23'54"W	55.12'
L2	S03°23'54"W	127.78'	L14	S85°04'36"E	574.27'	L20	S41°35'04"E	22.04'
L3	S86°36'06"E	72.72'	L15	S30°23'54"W	22.15'	L21	S86°36'06"E	393.09'
L4	N24°32'59"E	70.44'	L16	N85°04'36"W	544.20'	L22	S03°23'54"W	30.00'
L5	N30°23'54"E	115.49'	L17	S03°23'54"W	13.16'	L23	N86°36'06"W	405.52'
L6	S85°04'36"E	26.58'	L18	N86°17'21"W	20.00'	L24	N41°35'04"W	46.90'
L7	S30°23'54"W	125.68'				L25	N03°23'54"E	70.70'
L8	S24°32'59"W	85.66'				L28	S86°17'21"E	30.00'
L9	N86°36'06"W	113.17'						
L10	N03°23'54"E	127.92'						
L11	N86°17'21"W	403.00'						
L12	N03°42'39"E	24.00'						



BENCHMARK INFORMATION  
 SITE BENCHMARK: (BM A)  
 SET RAILROAD SPIKE IN IRON PIPE, LOCATED ON HILL AT THE NW PROPERTY CORNER  
 ELEVATION: 833.98'

- LEGEND—
- o = 1" X 18" IRON PIPE SET
  - = 1" IRON PIPE FOUND
  - ⊙ = COUNTY MONUMENT FOUND
  - ( ) = RECORDED INFORMATION
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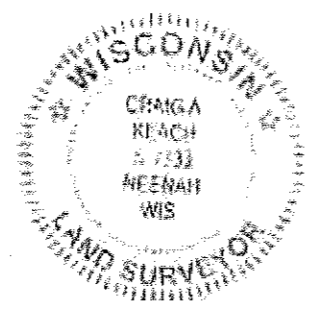


I, Craig A. Reach, hereby certify that each of the property described herein is within a flood plain as defined by FEMA.

SURVEYOR'S CERTIFICATE  
 I, Craig A. Reach, Professional Land Surveyor of Meridian Surveying, LLC, certify that I have surveyed the described property and that the map shown is a true and accurate representation inured to the best of my knowledge and belief.

Dated this 26th day of OCTOBER, 2016.

*Craig A. Reach*  
 WISCONSIN PROFESSIONAL LAND SURVEYOR  
 Craig A. Reach, 27333



BEARINGS REFERENCED TO THE DANE COUNTY COORDINATE SYSTEM AND THE EAST LINE OF THE NE1/4, SECTION 1, T.5N., R.10E., WHICH BEARS: S01°12'37"E.

LESSOR LEASE AREA

A part Lot One (1) of Certified Survey Map No. 8144, Volume 43, Pages 285-290 of Dane County Records as Document No. 2745975 and being located in the Southeast Quarter (SE1/4) of the Northeast Quarter (NE1/4) of Section One (1) Township Five (5) North, Range Ten (10) East, Town of Rutland, Dane County, Wisconsin containing 360 square feet (0.008 acres) of land and being described by:

Commencing at the Southwest Corner of said Lot 1; thence N03°-23'-54"E (Recorded as N03°-00'-00"E) 273.20 feet along the West line of said Lot 1; thence S86°-36'-06"E 21.38 feet; thence S03°-42'-39"W 22.00 feet to the point of beginning; thence thence S86°-17'-21"E 5.00 feet to the point of beginning; thence S86°-17'-21"E 12.00 feet; thence S03°-42'-39"W 30.00 feet; thence N86°-17'-21"W 12.00 feet; thence N03°-42'-39"E 30.00 feet to the point of beginning; being subject to any and all easements and restrictions of record.

LANDLORD LEASE PARCEL (SBA TOWERS VI, LLC)

A part Lot One (1) of Certified Survey Map No. 8144, Volume 43, Pages 285-290 of Dane County Records as Document No. 2745975 and being located in the Southeast Quarter (SE1/4) of the Northeast Quarter (NE1/4) of Section One (1) Township Five (5) North, Range Ten (10) East, Town of Rutland, Dane County, Wisconsin containing 3,500 square feet (0.080 acres) of land and being described by:

Commencing at the Southwest Corner of said Lot 1; thence N03°-23'-54"E (Recorded as N03°-00'-00"E) 273.20 feet along the West line of said Lot 1; thence S86°-36'-06"E 21.38 feet to the point of beginning; thence S86°-17'-21"E 30.00 feet; thence S03°-42'-39"W 70.00 feet; thence N86°-17'-21"W 30.00 feet; thence N03°-42'-39"E 70.00 feet to the point of beginning; being subject to any and all easements and restrictions of record.

LANDLORD 30 FOOT WIDE TEMPORARY CONSTRUCTION EASEMENT (SBA TOWERS VI, LLC)

A part Lot One (1) of Certified Survey Map No. 8144, Volume 43, Pages 285-290 of Dane County Records as Document No. 2745975 and being located in the Southeast Quarter (SE1/4) of the Northeast Quarter (NE1/4) of Section One (1) Township Five (5) North, Range Ten (10) East, Town of Rutland, Dane County, Wisconsin containing 14,845 square feet (0.341 acres) of land and being described by:

Commencing at the Southwest Corner of said Lot 1; thence N03°-23'-54"E (Recorded as N03°-00'-00"E) 273.20 feet along the West line of said Lot 1; thence S86°-36'-06"E 21.38 feet; thence S86°-17'-21"E 30.00 feet; thence S03°-42'-39"W 70.00 feet; thence N86°-17'-21"W 5.54 feet to the point of beginning; thence S03°-23'-54"W 52.12 feet; thence N41°-53'-04"E 22.04 feet; thence S86°-36'-06"E 393.09 feet; thence S03°-23'-54"W 30.00 feet; thence N86°-36'-06"W 405.52 feet; thence N41°-53'-04"W 46.90 feet; thence N03°-23'-54"E 70.76 feet; thence S86°-17'-21"E 30.00 feet to the point of beginning; being subject to any and all easements and restrictions of record.

LANDLORD 24 FOOT WIDE INGRESS/EGRESS EASEMENT (SBA TOWERS VI, LLC)

A part Lot One (1) of Certified Survey Map No. 8144, Volume 43, Pages 285-290 of Dane County Records as Document No. 2745975 and being located in the Southeast Quarter (SE1/4) of the Northeast Quarter (NE1/4) of Section One (1) Township Five (5) North, Range Ten (10) East, Town of Rutland, Dane County, Wisconsin containing 30,020 square feet (0.688 acres) of land and being described by:

Commencing at the Southwest Corner of said Lot 1; thence N03°-23'-54"E (Recorded as N03°-00'-00"E) 273.20 feet along the West line of said Lot 1; thence S86°-36'-06"E 21.38 feet; thence S86°-17'-21"E 30.00 feet; thence S03°-42'-39"W 20.67 feet to the point of beginning; thence S86°-17'-21"E 426.87 feet; thence S03°-23'-54"W 123.79 feet; thence S86°-36'-06"E 72.77 feet; thence N74°-32'-49"E 70.84 feet; thence N30°-23'-54"E 113.48 feet to a point on the North line of said Lot 1 (also being the South Right of Way Line of Oak Operating Drive); thence S83°-04'-36"E (Recorded as S85°-28'-30"E) 26.58 feet along said North line and South Right of Way line; thence S30°-23'-54"W 123.88 feet; thence S24°-32'-39"W 85.60 feet; thence N86°-36'-06"W 113.17 feet; thence N03°-23'-54"E 127.92 feet; thence N86°-17'-21"W 403.00 feet; thence N03°-42'-39"E 24.00 feet to the point of beginning; being subject to any and all easements and restrictions of record.

LANDLORD 20' WIDE UTILITY EASEMENT (SBA TOWERS VI, LLC)

A part Lot One (1) of Certified Survey Map No. 8144, Volume 43, Pages 285-290 of Dane County Records as Document No. 2745975 and being located in the Southeast Quarter (SE1/4) of the Northeast Quarter (NE1/4) of Section One (1) Township Five (5) North, Range Ten (10) East, Town of Rutland, Dane County, Wisconsin containing 1,620 square feet (0.037 acres) of land and being described by:

Commencing at the Southwest Corner of said Lot 1; thence N03°-23'-54"E (Recorded as N03°-00'-00"E) 273.20 feet along the West line of said Lot 1; thence S86°-36'-06"E 21.38 feet; thence S86°-17'-21"E 30.00 feet to the point of beginning; thence N03°-23'-54"E 33.29 feet to a point on the North line of said Lot 1; thence S85°-04'-36"E (Recorded as S83°-32'-39"E) 374.27 feet along said North line; thence S30°-23'-54"W 22.15 feet; thence N85°-04'-36"W 544.20 feet; thence S03°-23'-54"W 43.16 feet; thence N86°-17'-21"W 70.00 feet to the point of beginning; being subject to any and all easements and restrictions of record.

PARENT PARCEL

SITUATED IN THE COUNTY OF DANE, STATE OF WISCONSIN, DESCRIBED AS FOLLOWS:

PARENT PARCEL:  
PARCEL 1, LOT THREE (3), CERTIFIED SURVEY MAP NO. 8086, RECORDED IN THE DANE COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 59 OF CERTIFIED SURVEY MAPS, PAGE 75 AND 76 AS DOCUMENT NO. 2154448, TOWN OF RUTLAND

PARCEL 2, LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 1023 RECORDED IN THE DANE COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 4 OF CERTIFIED SURVEY MAPS, PAGE 296, AS DOCUMENT NO. 1331531, IN THE TOWN OF RUTLAND, DANE COUNTY, WISCONSIN

ALSO A PIECE OF LAND IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 5 NORTH, RANGE 10 EAST, TOWN OF RUTLAND, DANE COUNTY, WISCONSIN, AND DESCRIBED MORE FULLY AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION, 72 FEET SOUTH OF THE NORTHEAST CORNER OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4; THENCE SOUTH 86 DEGREES 52 MINUTES WEST, 122.4 FEET TO AN IRON PIPE; THENCE SOUTH PARALLEL WITH THE EAST LINE, 21 FEET TO AN IRON PIPE; THENCE SOUTH 86 DEGREES 52 MINUTES WEST, 76.9 FEET TO AN IRON PIPE; THENCE SOUTH PARALLEL WITH THE EAST LINE, 69 FEET TO AN IRON PIPE; THENCE NORTH 86 DEGREES 52 MINUTES EAST, 199.3 FEET TO THE EAST LINE OF SAID SECTION; THENCE NORTH ALONG SAID EAST LINE 90 FEET TO THE POINT OF BEGINNING.

PARCEL 3, THE NORTH 41.22 FEET OF LOT 4, CSM 3430 RECORDED IN VOLUME 1687 OF CERTIFIED SURVEY MAPS AT PAGE 41, TOGETHER WITH A RIGHT-OF-WAY EASEMENT FOR ROADWAY PURPOSES NOT LESS THAN 20 FEET IN WIDTH ACROSS THE NORTHEAST CORNER OF THE SAID LOT 4 AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE MOST EASTERLY NORTHEASTERN CORNER OF LOT 4, CSM 3430; THENCE WEST FOR A DISTANCE OF 20' ALONG THE NORTH PROPERTY LINE OF LOT 4, CSM 3430; THENCE SOUTH TO THE EDGE OF THE CUL-DE-SAC; THENCE NORTH AND EAST ALONG THE CUL-DE-SAC TO THE EASTERN PROPERTY LINE OF LOT 4, CSM 3430; THENCE NORTH ALONG SAID EASTERN PROPERTY LINE A DISTANCE OF APPROXIMATELY TEN FEET TO THE POINT OF BEGINNING. SAID EASEMENT SHALL BE PERMANENT, SHALL RUN WITH THE LAND AND GRANTEE SHALL HAVE THE RIGHT TO PAVE AND THE OBLIGATION TO MAINTAIN THE SAME. SAID EASEMENT AREA WILL BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.

ALSO DESCRIBED OF RECORD AS LOT 1, CERTIFIED SURVEY MAP 8144, RECORDED IN VOLUME 43 OF CERTIFIED SURVEY MAPS, PAGE 285, AS DOCUMENT NO. 2745975, IN THE TOWN OF RUTLAND, DANE COUNTY, WISCONSIN.

TAX I.D. NUMBER: 0520510-011-9001-9

HAVING THE SAME PROPERTY CONVEYED TO G & N LAND HOLDINGS, LLC, GRANTEE, FROM GARY J. DVORAK AND NANCY DVORAK, HUSBAND AND WIFE, AS SUBVENDORSHIP MARITAL PROPERTY, GRANTEE, BY DEED RECORDED 03/10/2009, AS INSTRUMENT NO. 446362 OF THE COUNTY RECORDS.

TITLE REPORT REVIEW

TITLE REPORT: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

COMMITMENT NO. 01-15013501-011

EFFECTIVE DATE: MAY 21, 2016

FEE SIMPLE TITLE VESTED IN: G & N LAND HOLDINGS, LLC

NOTE: THE STATEMENT OF APPLICABILITY REFERS TO THE LEASE SITE AND ANY EASEMENTS PERTINENT THEREUNTO WHERE SPECIFIC ENCUMBRANCES AFFECT THE LEASE SITE AND/OR A PERTINENT EASEMENT, THEY ARE IDENTIFIED AS SUCH.

SCHEDULE B-H

[1-6] THESE ARE GENERAL STATEMENTS AND NOT SPECIFIC ENCUMBRANCES

(1) SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, AND RIGHTS OF WAY AND BUILDING SETBACKS AS SHOWN ON THE CERTIFIED SURVEY MAP NO. 1023 FOR MR. CARL SMILAN RECORDED IN INSTRUMENT NO. 1331531 OF DANE COUNTY RECORDS. ALL ITEMS, IF ANY, ARE PLOTTED AND SHOWN.

(2) SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, AND RIGHTS OF WAY AND BUILDING SETBACKS AS SHOWN ON THE DANE COUNTY CERTIFIED SURVEY MAP NO. 1132 AS RECORDED IN INSTRUMENT NO. 1616379 OF DANE COUNTY RECORDS. ALL ITEMS, IF ANY, ARE PLOTTED AND SHOWN.

(3) SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, AND RIGHTS OF WAY AND BUILDING SETBACKS AS SHOWN ON THE CERTIFIED SURVEY MAP NO. 390 FOR GARY DVORAK, AS RECORDED IN PLAT INSTRUMENT NO. 3144448 OF DANE COUNTY RECORDS. ALL ITEMS, IF ANY, ARE PLOTTED AND SHOWN.

(4) SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, AND RIGHTS OF WAY AND BUILDING SETBACKS AS SHOWN ON THE CERTIFIED SURVEY MAP NO. 8144 FOR GARY DVORAK, AS RECORDED IN INSTRUMENT NO. 2745975 OF DANE COUNTY RECORDS. ALL ITEMS, IF ANY, ARE PLOTTED AND SHOWN.

(5) EASEMENT IN FAVOR OF WISCONSIN POWER AND LIGHT COMPANY, RECORDED INSTRUMENT NO. 221649 OF THE DANE COUNTY RECORDS. DOES APPLY AND IS PLOTTED AND SHOWN.

(6) WELL AGREEMENT, BY AND BETWEEN ROBERT H. DVORAK, AND GARY J. DVORAK, RECORDED INSTRUMENT NO. 2745976 OF THE DANE COUNTY RECORDS. THE APPROXIMATE LOCATION IS SHOWN. DOES APPLY.

(7) THIS ITEM HAS BEEN INTENTIONALLY OMITTED.

(8) THIS ITEM HAS BEEN INTENTIONALLY OMITTED.

(9) THIS ITEM HAS BEEN INTENTIONALLY OMITTED.

(10) EASEMENT AGREEMENT, BY AND BETWEEN GARY J. DVORAK AND NANCY J. DVORAK, AND TOWN OF RUTLAND, RECORDED INSTRUMENT NO. 4326691 OF THE DANE COUNTY RECORDS. THE EXHIBIT "A" DOCUMENT WAS NOT PROVIDED, THE SURVEYOR IS UNABLE TO LOCATE AND PLOT THIS EASEMENT.

(11) THIS ITEM HAS BEEN INTENTIONALLY OMITTED.

(12) THIS ITEM HAS BEEN INTENTIONALLY OMITTED.

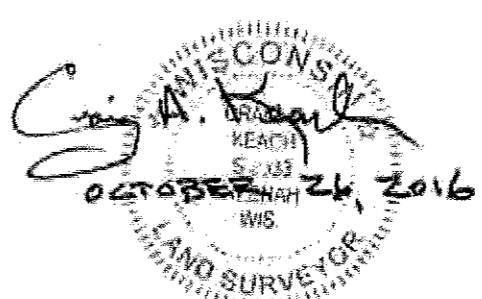
(13) THIS ITEM HAS BEEN INTENTIONALLY OMITTED.

(14) A MORTGAGE TO SECURE AN INDEBTEDNESS OF THE AMOUNT STATED ABOVE ANY OTHER AMOUNT PAYABLE UNDER THE TERMS THEREOF AMOUNT: \$1,000,000.00 MORTGAGEE: G & N LAND HOLDINGS, LLC MORTGAGEE: RIVER VALLEY BANK DATED: 06/03/15 RECORDED: 04/02/15 BOOK/BOOK PAGE: 414169

(15) NOTE ASSIGNMENT OF RIGHTS, RECORDED INSTRUMENT NO. 3144448 OF THE DANE COUNTY RECORDS

(16) A MORTGAGE TO SECURE AN INDEBTEDNESS OF THE AMOUNT STATED ABOVE ANY OTHER AMOUNT PAYABLE UNDER THE TERMS THEREOF AMOUNT: \$50,000.00 MORTGAGEE: G & N LAND HOLDINGS, LLC MORTGAGEE: RIVER VALLEY BANK DATED: 04/17/15 RECORDED: 05/06/15 BOOK/BOOK PAGE: 317149

(17) MEMORANDUM IN OPTION AND LEASE, BY AND BETWEEN G & N LAND HOLDINGS, LLC, Lessor, AND SBA TOWERS VI, LLC, LESSEE, RECORDED INSTRUMENT NO. 3194210 OF THE DANE COUNTY RECORDS. THIS DOCUMENT IS BLANKET IN NATURE. APPLIES TO PARENT PARCEL, BUT CANNOT BE ACCURATELY MAPPED.



SURVEYED FOR:  
**Edge**  
Consulting Engineers, Inc.  
404 Water Street  
Prairie du Sac, WI 53578  
608.644.1449 voice  
608.644.1549 fax  
www.edgeconsulting.com

SURVEYED FOR:  
**verizon**  
1515 WOODFIELD ROAD  
SUITE 1400  
SCHAUMBURG, IL 60173

**MERIDIAN**  
SURVEYING, LLC  
NB774 Firstana 1  
Menasha, WI 54952  
Office: 920-993-0881  
Fax: 920-273-8037

SITE NAME: STOUGHTON SW VERSION III  
SITE NUMBER: 278545  
SITE ADDRESS: 1471 US HIGHWAY 51  
STOUGHTON, WI 53589

PROPERTY OWNER:  
G & N LAND HOLDINGS, LLC  
1471 U.S. 1, "51"  
STOUGHTON, WI 53589  
PARCEL NO.: 052/0510-011-9801-9  
ZONED: C-2  
DEED: DOCUMENT NO. 4406262

LEASE EXHIBIT  
FOR  
VERIZON WIRELESS PERSONAL  
COMMUNICATIONS LP d/b/a VERIZON WIRELESS  
BEING A PART OF THE SE1/4 OF THE  
NE1/4, SECTION 1, T.5N., R.10E.,  
TOWN OF RUTLAND, DANE COUNTY,  
WISCONSIN

NO.	DATE	DESCRIPTION	BY
5	10/26/16	Revised Title Report	J.D.
4	10/19/16	Revised Site Address	J.D.
3	8/3/15	Revised Lease & Eas.	J.B.
2	8/24/15	Added Additional Locales	J.D.
1	3/27/15	Preliminary Survey	J.D.

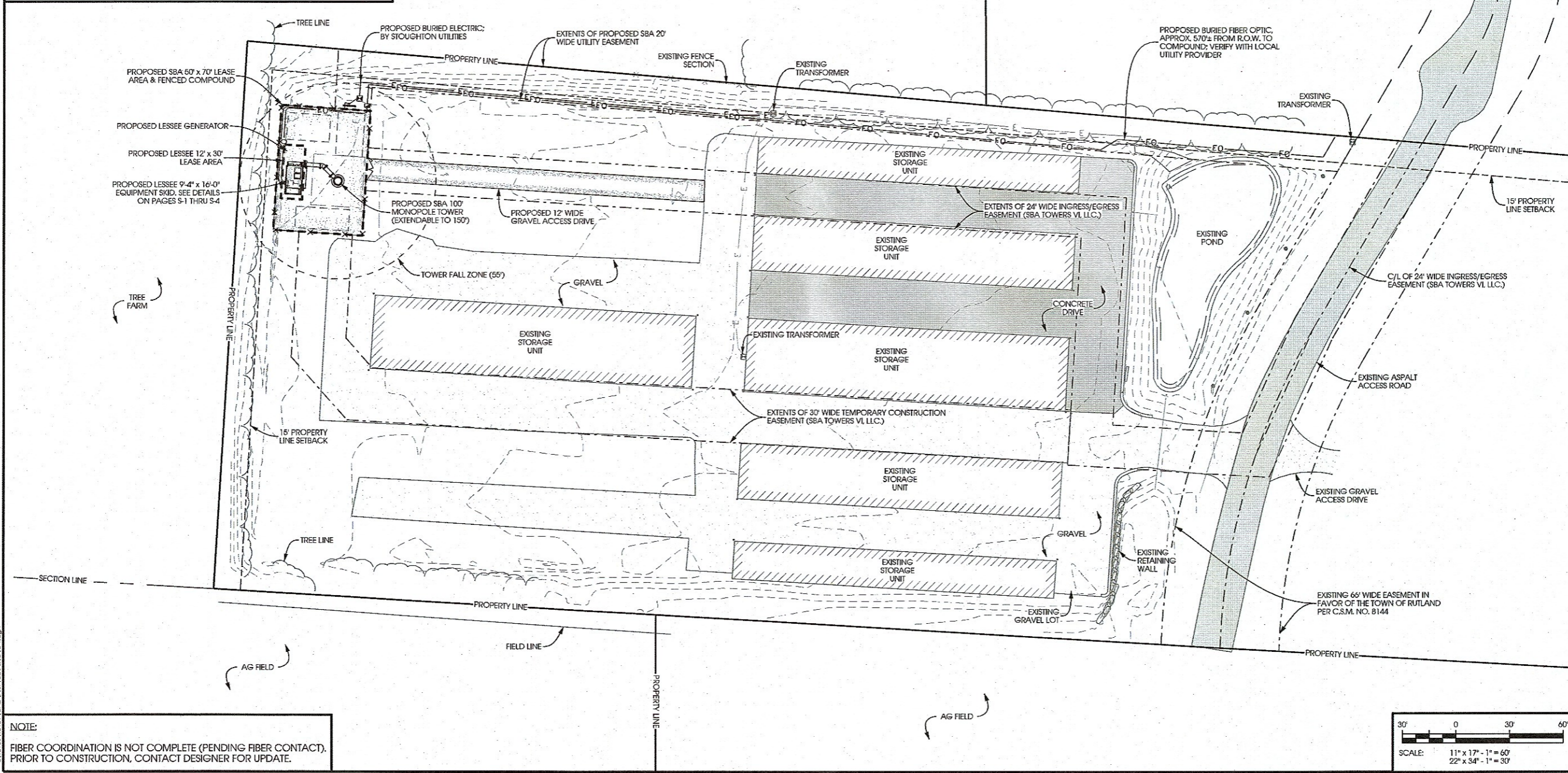
DRAWN BY: J.B.	FIELD WORK DATE: 3-17-15
CHECKED BY: C.A.K.	FIELD BOOK: M-52, PG.45
JOB NO.: 0106	SHEET 3 OF 3



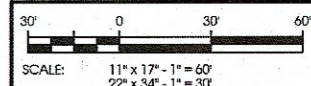
**AERIAL OVERVIEW OF SITE**



NORTH



**NOTE:**  
 FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT).  
 PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.



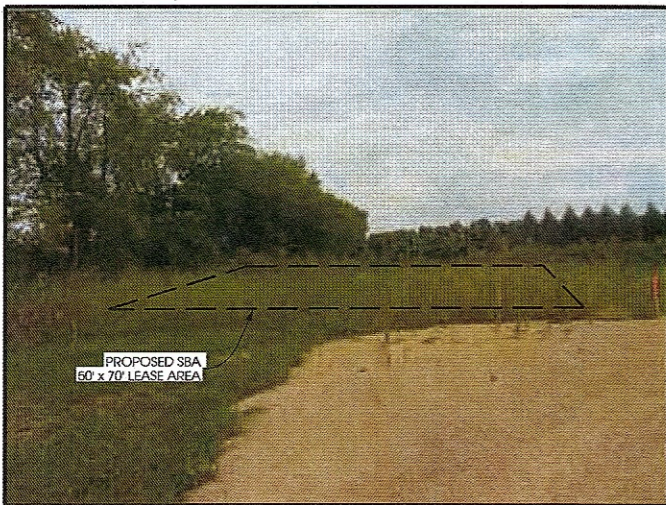
**Edge**  
 Consulting Engineers, Inc.  
 624 Water Street  
 Profile du Soc. WI 53578  
 608.644.1449 voice  
 608.644.1549 fax  
 www.edgeconsulting.com

**SITE PLAN**  
**STOUGHTON SW (278545)**  
**STOUGHTON, WISCONSIN**

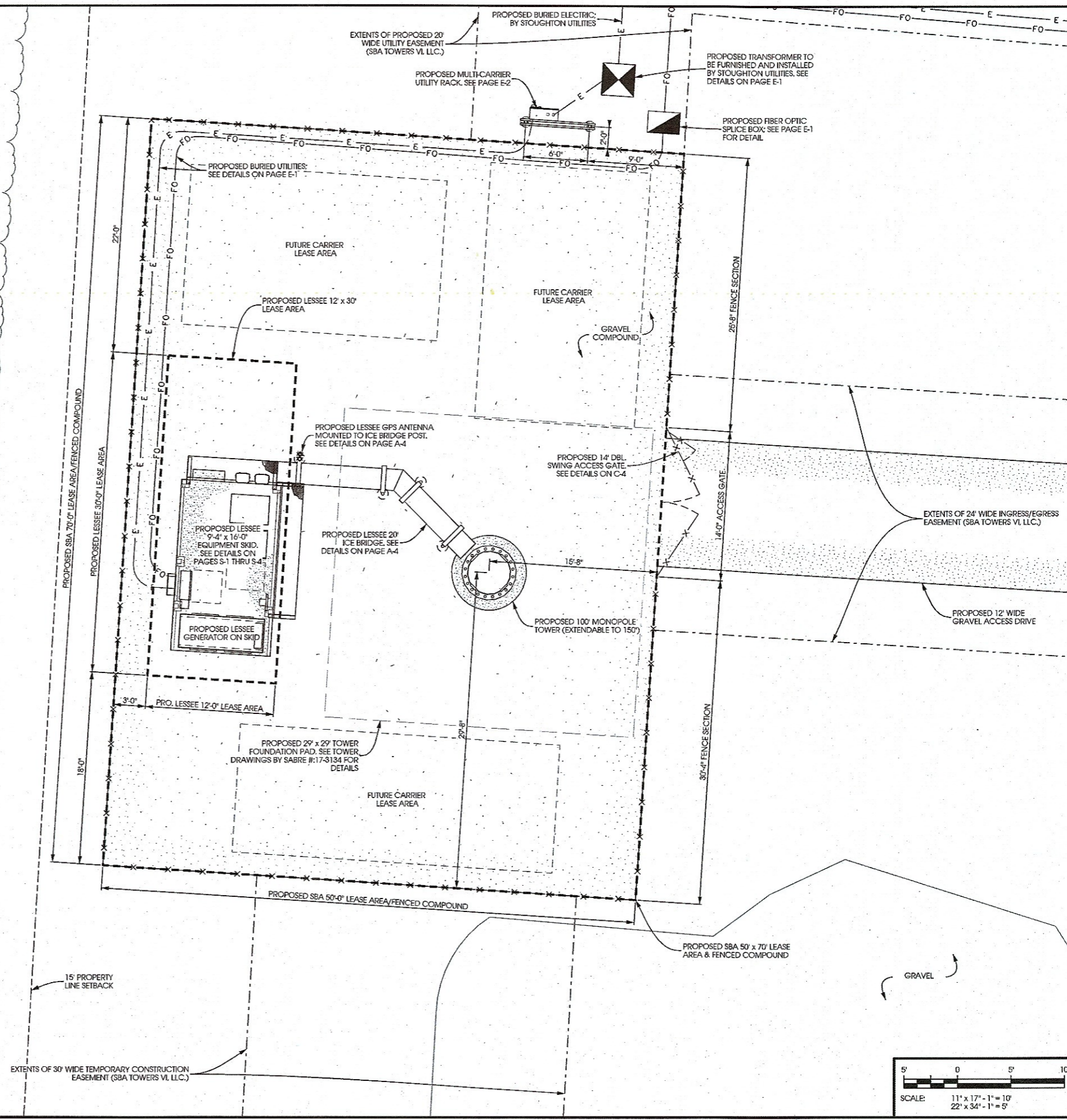
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CD 90s REV.1 - 10/05/2016	NAT
CD 90s REV.2 - 10/28/2016	NAT
CD 90s REV.3 - 01/19/2017	CV
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
CHECKED BY:	PCM
PLOT DATE:	1/16/2017
PROJECT #:	12121
FILE NAME:	C-1.dgn
SHEET NUMBER:	<b>C-1</b>



**SITE OVERVIEW (LOOKING WEST)**



**PROPOSED LEASE AREA (LOOKING NORTH)**



**Edge Consulting Engineers, Inc.**  
 624 Water Street  
 P.O. Box 1449  
 53578  
 608.644.1449  
 608.644.1449 fax  
 www.edgeconsult.com

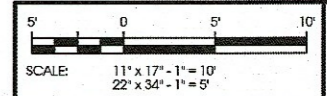
**COMPOUND PLAN  
 STOUGHTON SW (278545)  
 STOUGHTON, WISCONSIN**

SHEET TITLE:

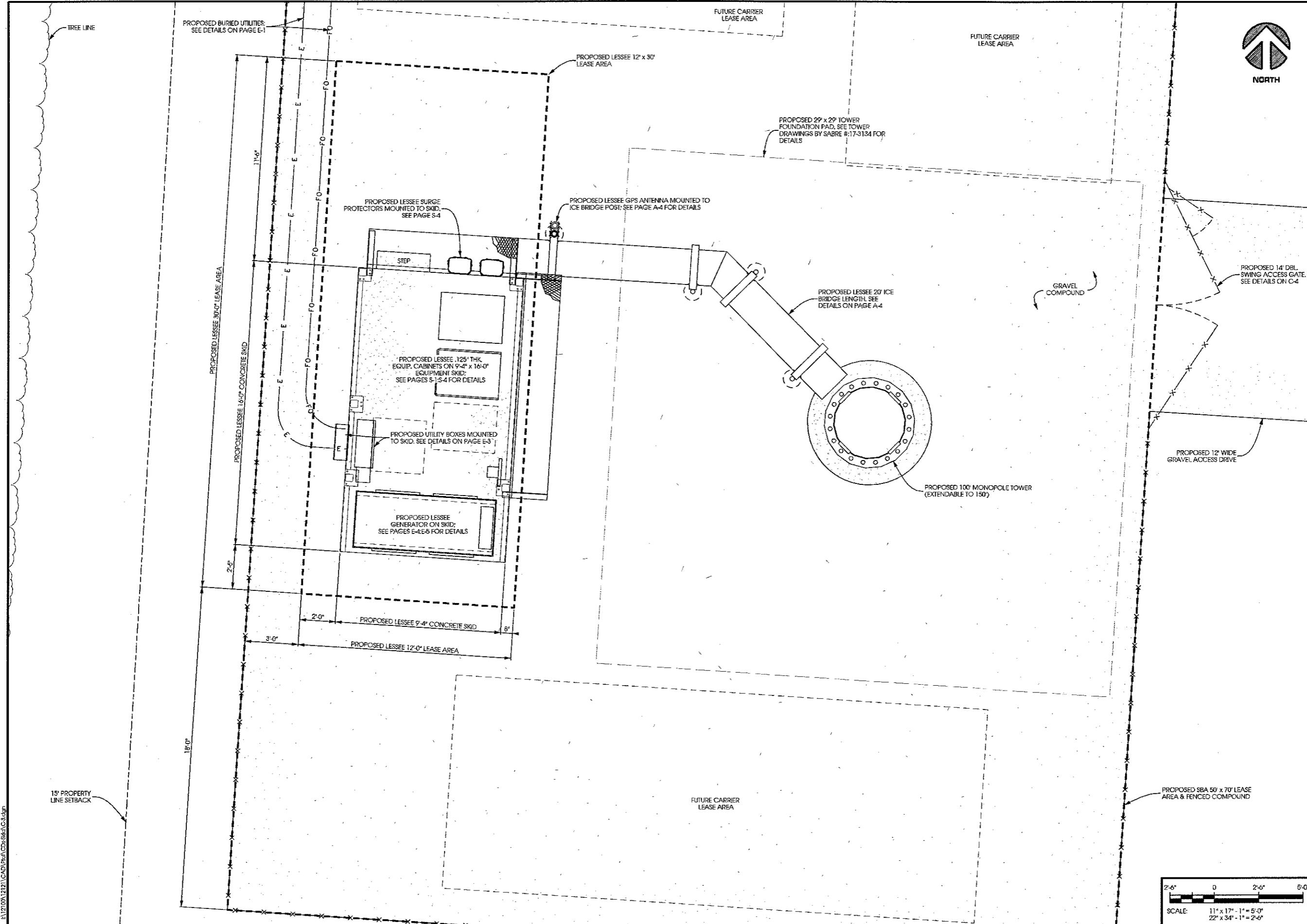
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CD 90% REV.1 - 10/05/2016	NAT
CD 90% REV.2 - 10/28/2016	NAT
CD 90% REV.3 - 01/16/2017	CV
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	

CHECKED BY:  
PCM  
 PLOT DATE:  
1/16/2017  
 PROJECT #:  
12121  
 FILE NAME:  
C-2.dgn

SHEET NUMBER:  
**C-2**



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**Edge**  
 Consulting Engineers, Inc.  
 624 Water Street  
 Prairie du Sac, WI 53578  
 608.644.1499 voice  
 608.644.1549 fax  
 www.edgecons.com

**ENLARGED COMPOUND PLAN**  
**STOUGHTON SW (278545)**  
**STOUGHTON, WISCONSIN**

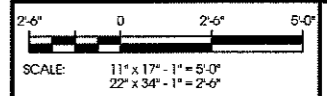
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CD 90s REV.2 - 10/28/2016	NAT
CD 90s REV.3 - 01/16/2017	CV

STAMPED PERMIT DWGS:

STAMPED FINAL DWGS:

CHECKED BY:  
 PCM  
 PLOT DATE:  
 1/16/2017  
 PROJECT #:  
 12121  
 FILE NAME:  
 C3.dgn

SHEET NUMBER:  
**C-3**



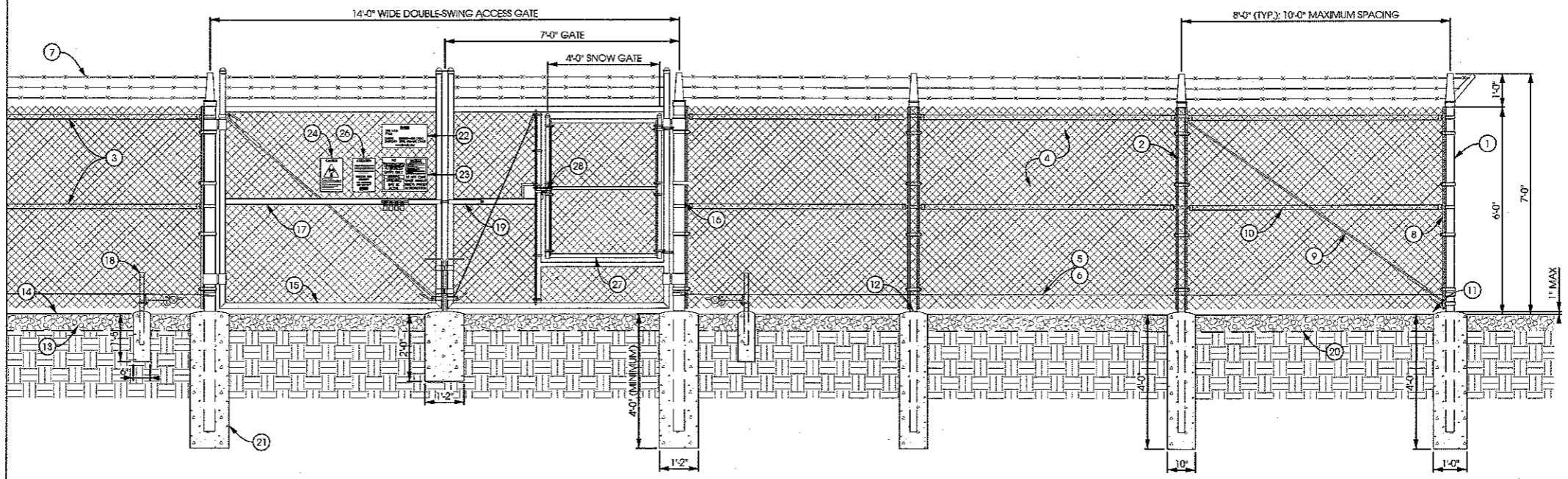
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**FENCE DETAILS**  
**STOUGHTON SW (278545)**  
**STOUGHTON, WISCONSIN**

**REFERENCE NOTES:**

- 1 3.5" O.D. GALVANIZED STEEL SCHEDULE 40 CORNER POSTS (PER ASTM-F1083).
- 2 2.375" O.D. GALVANIZED STEEL SCHEDULE 40 INTERMEDIARY LINE POSTS (PER ASTM-F1083). LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" O.C.
- 3 1.66" O.D. ROUND TOP RAIL & BRACE RAIL PIPE (PER ASTM-F1083).
- 4 9 GAUGE FABRIC CORE WIRE WITH 2" MESH (TO CONFORM TO ASTM-A392).
- 5 9 GAUGE ALUMINUM TIE WIRE. PROVIDE HOG RING FABRIC TIES SPACED 12" O.C. FOR POSTS AND GATES AND 24" O.C. FOR RAILS AND WIRE.
- 6 9 GAUGE ALUMINUM TENSION WIRE.
- 7 3 STRANDS 14 GAUGE BARBED WIRE WITH 4 POINT BARBS. SPACE BARBS APPROXIMATELY 5' O.C.
- 8 3/16" x 3/4" STRETCHER BAR. TO EXTEND FULL HEIGHT OF FENCE.
- 9 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- 10 1.66" O.D. CORNER POST BRACE (PER ASTM-F1083).
- 11 MAINTAIN A 1" MAXIMUM CLEARANCE FROM FINISHED GRADE.
- 12 PROVIDE CROWNED / PITCHED FINISH FOR FENCE POST PIER FOUNDATIONS. TO EXTEND 1" ABOVE GRADE.
- 13 6" CRUSHED STONE (TYP.).
- 14 FINISH GRADE SHALL BE UNIFORM AND LEVEL.
- 15 1.9" O.D. GALVANIZED STEEL SCHEDULE 40 WELDED GATE FRAME (PER ASTM-F1083).
- 16 4" O.D. GALVANIZED STEEL SCHEDULE 40 GATE POSTS (PER ASTM-F1083).
- 17 1.66" O.D. PIPE FOR GATE FRAME BRACE RAIL, PER ASTM-F1083.
- 18 DUCK BILL OPEN GATE HOLDER. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO INSTALLATION.
- 19 STYMIE MULTI-TENANT LOCKING DEVICE.
- 20 PROPOSED GEOTEXTILE FABRIC.
- 21 CONCRETE PIER FOUNDATION. TO ACHIEVE A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DEPTH TO BE A MINIMUM OF 6" BELOW FROST LINE (48" MINIMUM, TYP.). SEE DETAIL FOR PROPOSED DIAMETER.
- 22 12" x 24" SBA SITE INFORMATION SIGN.
- 23 18" x 24" NO TRESPASSING SIGN.
- 24 18" x 12" RF CAUTION SIGN.

- REFERENCE NOTES (CONTINUED)**
- 25 18" x 12" KEEP GATE CLOSED SIGN
  - 26 18" x 12" ATTENTION SIGN
  - 27 4" WIDE SNOW GATE WITH DOUBLE SWING GATE
  - 28 FORK LATCH WITH COMBINATION LOCK



**FENCING NOTES:**

ALL FENCING TO BE INSTALLED PER ASTM F-567. ALL SWING GATES TO BE INSTALLED PER ASTM F-900. BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLETED IF LOCAL ORDINANCE REQUIRES.

POST & GATE PIPE SIZES ARE GIVEN AS ACTUAL OUTER DIAMETERS. ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A53 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL). ALL OPEN POSTS SHALL HAVE END-CAPS.

ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC USING GALVANIZED HOG-RING WIRE.

MUSHROOM ANCHOR AND PLUNGER REQUIRED FOR GATE. GENERAL CONTRACTOR RESPONSIBLE FOR SBA GATE LOCK.

**A FENCING DETAIL**  
 SCALE: NTS

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SHEET TITLE:

PRELIMINARY DWGS:	INT:
CD 90s REV.1 - 10/05/2016	NAT
CD 90s REV.2 - 10/28/2016	NAT
CD 90s REV.3 - 01/14/2017	CV
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
CHECKED BY:	PCM
PLOT DATE:	1/15/2017
PROJECT #:	12121
FILE NAME:	C-4.dgn
SHEET NUMBER:	<b>C-4</b>



**SBA**  
 NETWORK SERVICES, INC.  
 1-800-825-7029  
 CAUTION  
 NOTICE  
 WARNING  
 FAL PROTECTED  
 EMERGENCY #

**NO TRESPASSING**  
 AUTHORIZED ENTRY ONLY  
 WARNING ANTENNAS MAY BE ACTIVE  
 DO NOT CLIMB TOWER WITHOUT OWNERS WRITTEN AUTHORIZATION  
**18"x24" .040 ALUMINUM**

SITE I.D.#  
 FCC#  
 LEASING (800)487-SITE (7483)  
 EMERGENCY (888) 950-SITE (7483)  
 WWW.SBASITE.COM

**12"x24" .063 ALUMINUM**

CAUTION

PLEASE KEEP GATE CLOSED

**SBA**  
 SBA TOWERS  
 SITE I.D.#  
 FCC #  
 EMERGENCY (888) 950-SITE (7483)  
 LEASING (800)487-SITE (7483)  
**18"x24" SF C-X PLASTIC (TEMP)**

FCC # 0000000  
**4"x18" .040 ALUMINUM**

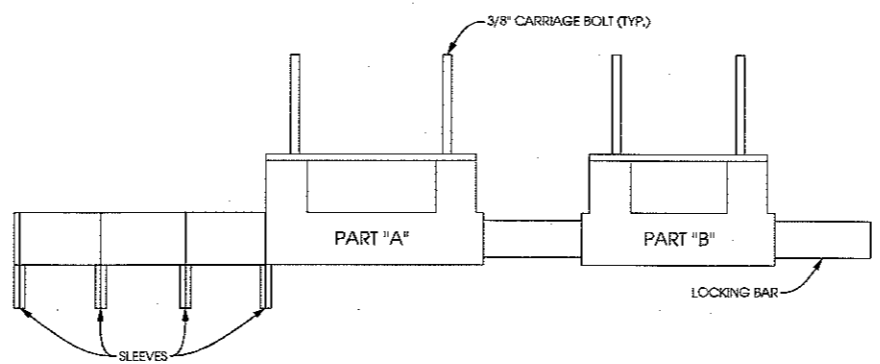
**NOTE:**  
 CONTRACTOR TO POST THE TEMPORARY SIGNS PRIOR TO SITE CONSTRUCTION.

**A SIGN DETAILS**  
 SCALE: NTS

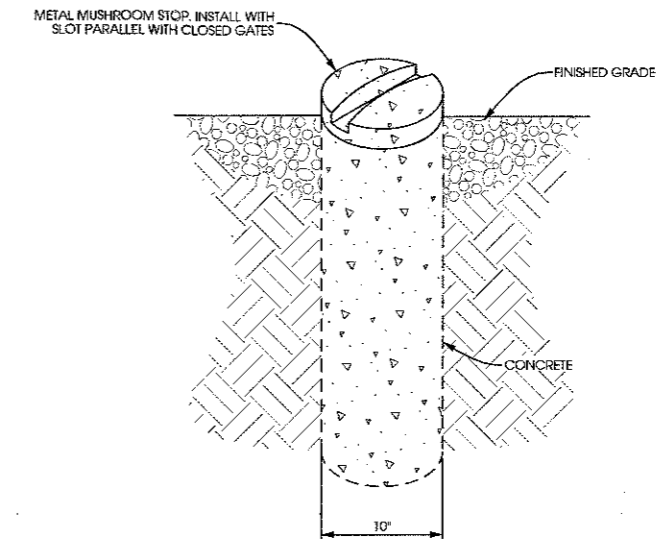
**NOTE:**  
 CONTRACTOR SHALL VERIFY SIGN NOTATION AND COLORS WITH SBA PRIOR TO FABRICATION

- STYMILOCK INSTALLATION:**
1. DRILL 3/8" HOLES IN THE GATE LEAF USING THE GATE DIMENSIONS PROVIDED.
  2. SLIDE THE CARRIAGE BOLTS IN THE SLOTS ON THE BACK OF PART "B" AND PUSH THE BOLTS THROUGH THE HOLES DRILLED IN THE GATE FIGURE. PUT THE NUT AND THE LOCKNUT ON AND TIGHTEN AND CUT THE EXCESS BOLT OFF. DO THE SAME WITH PART "A".
  3. ADD THE NUMBER OF SLEEVES NEEDED FOR THE NUMBER OF LOCKS AND SLIDE THE LOCKING BAR INTO PLACE THROUGH BOTH PART "A" AND PART "B". NOW INSTALL THE LOCKS.
  4. IF THE GATE HAS NO CENTER BAR IN THE GATE LEAF YOU MAY NEED TO MOUNT THE STYMILOCK VERTICALLY USING THE SAME DIMENSIONS GIVEN ON THE GATE FACE.
  5. VERTICAL APPLICATION MAY ALSO BE USED ON SLIDING GATES WITH MULTIPLE LOCKS.

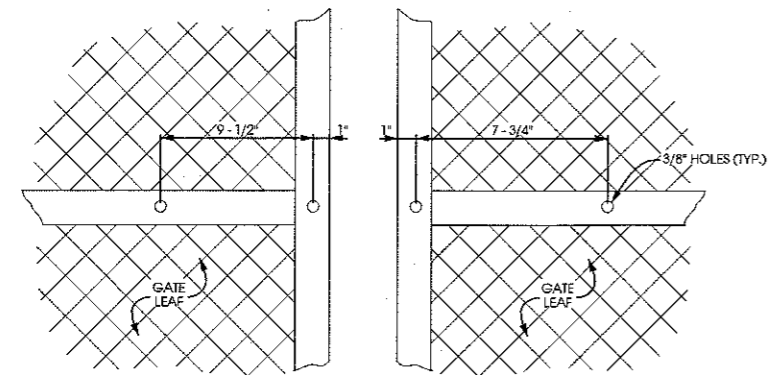
**GATE LOCK ASSEMBLY:**  
 "STYMILOCK" MULTI LOCKING DEVICE OR APPROVED EQUAL



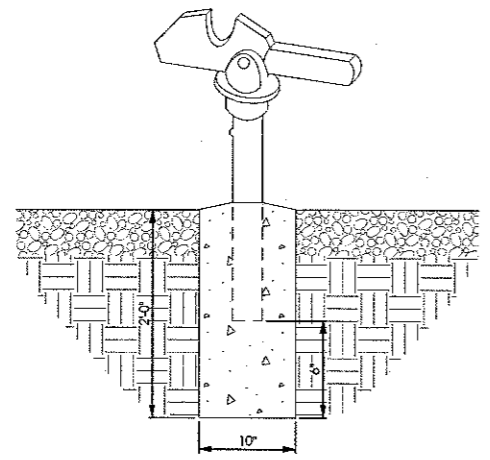
**D GATELOCK ASSEMBLY DETAIL**  
 SCALE: NTS



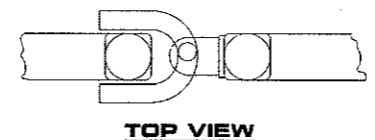
**F MUSHROOM STOP DETAIL**  
 SCALE: NTS



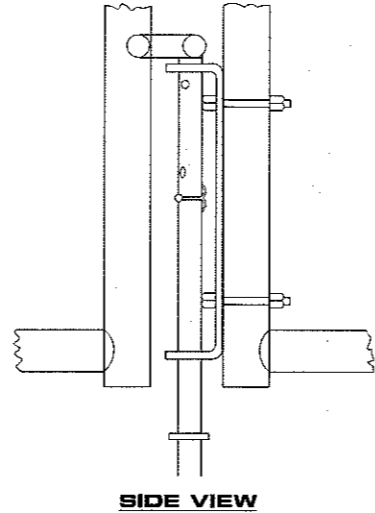
**B GATE FACE - ACCOMODATING STYMILOCK**  
 SCALE: NTS



**C GATE KEEPER DETAIL**  
 SCALE: NTS

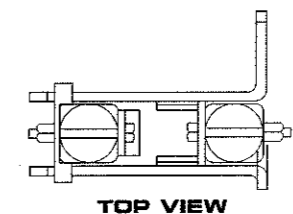


**TOP VIEW**

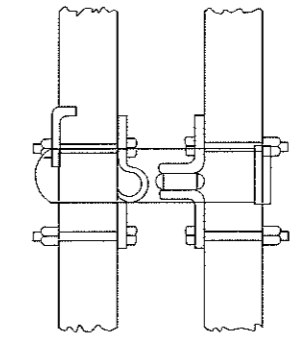


**SIDE VIEW**

**E DROP ROD ASSEMBLY DETAIL**  
 SCALE: NTS



**TOP VIEW**



**SIDE VIEW**

**G LATCH ASSEMBLY DETAIL**  
 SCALE: NTS

**Edge**  
 Consulting Engineers, Inc.  
 604 Water Street  
 Profile Co. Sec. VI 53578  
 608.444.1449 voice  
 608.444.1549 fax  
 www.edgeconsulting.com

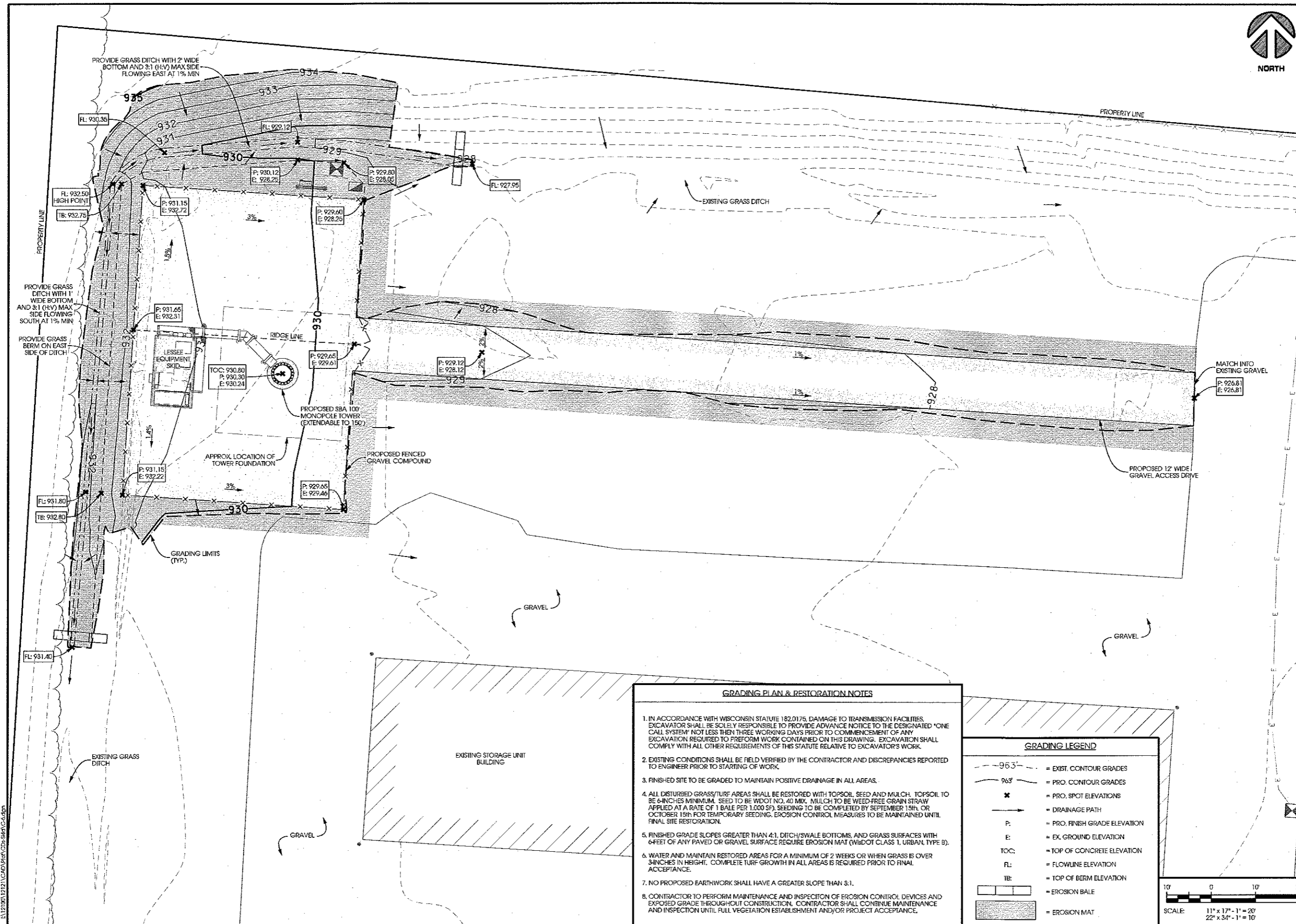
**FENCE DETAILS**  
**STOUGHTON SW (278545)**  
**STOUGHTON, WISCONSIN**

SHEET TITLE:

PRELIMINARY DWGS:	INT:
CD 90s REV.1 - 10/05/2016	NAT
CD 90s REV.2 - 10/28/2016	NAT
CD 90s REV.3 - 01/18/2017	CV
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STAMPED FINAL DWGS:	
CHECKED BY:	
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PLOT DATE:	
1/16/2017	
PROJECT #:	
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FILE NAME:	
C-5.dgn	
SHEET NUMBER:	
<b>C-5</b>	



**GRADING PLAN**  
**STOUGHTON SW (278545)**  
**STOUGHTON, WISCONSIN**

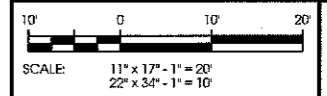


**GRADING PLAN & RESTORATION NOTES**

1. IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED 'ONE CALL SYSTEM' NOT LESS THEN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING. EXCAVATION SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.
2. EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCREPANCIES REPORTED TO ENGINEER PRIOR TO STARTING OF WORK.
3. FINISHED SITE TO BE GRADED TO MAINTAIN POSITIVE DRAINAGE IN ALL AREAS.
4. ALL DISTURBED GRASS/TURF AREAS SHALL BE RESTORED WITH TOPSOIL, SEED AND MULCH. TOPSOIL TO BE 6-INCHES MINIMUM. SEED TO BE WDOT NO. 40 MIX. MULCH TO BE WEED-FREE GRAIN STRAW APPLIED AT A RATE OF 1 BALE PER 1,000 SF. SEEDING TO BE COMPLETED BY SEPTEMBER 15th, OR OCTOBER 15th FOR TEMPORARY SEEDING. EROSION CONTROL MEASURES TO BE MAINTAINED UNTIL FINAL SITE RESTORATION.
5. FINISHED GRADE SLOPES GREATER THAN 4:1, DITCH/SWALE BOTTOMS, AND GRASS SURFACES WITH 6-FEET OF ANY PAVED OR GRAVEL SURFACE REQUIRE EROSION MAT (WDOT CLASS 1, URBAN, TYPE B).
6. WATER AND MAINTAIN RESTORED AREAS FOR A MINIMUM OF 2 WEEKS OR WHEN GRASS IS OVER 3-INCHES IN HEIGHT. COMPLETE TURF GROWTH IN ALL AREAS IS REQUIRED PRIOR TO FINAL ACCEPTANCE.
7. NO PROPOSED EARTHWORK SHALL HAVE A GREATER SLOPE THAN 3:1.
8. CONTRACTOR TO PERFORM MAINTENANCE AND INSPECTION OF EROSION CONTROL DEVICES AND EXPOSED GRADE THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL CONTINUE MAINTENANCE AND INSPECTION UNTIL FULL VEGETATION ESTABLISHMENT AND/OR PROJECT ACCEPTANCE.

**GRADING LEGEND**

- - - 963' - = EXIST. CONTOUR GRADES
- - - 930' - = PRO. CONTOUR GRADES
- \* - = PRO. SPOT ELEVATIONS
- - = DRAINAGE PATH
- P - = PRO. FINISH GRADE ELEVATION
- E - = EX. GROUND ELEVATION
- TOC - = TOP OF CONCRETE ELEVATION
- FL - = FLOWLINE ELEVATION
- TB - = TOP OF BERM ELEVATION
- [Hatched Box] - = EROSION BALE
- [Stippled Box] - = EROSION MAT



SHEET TITLE:

PRELIMINARY DWGS:	INT:
CD 90s REV.1 - 10/05/2016	NAT
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CD 90s REV.3 - 01/19/2017	CV

STAMPED PERMIT DWGS:

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CHECKED BY:

PCM

PLOT DATE

1/16/2017

PROJECT #:

12121

FILE NAME:

C-6.dgn

SHEET NUMBER:

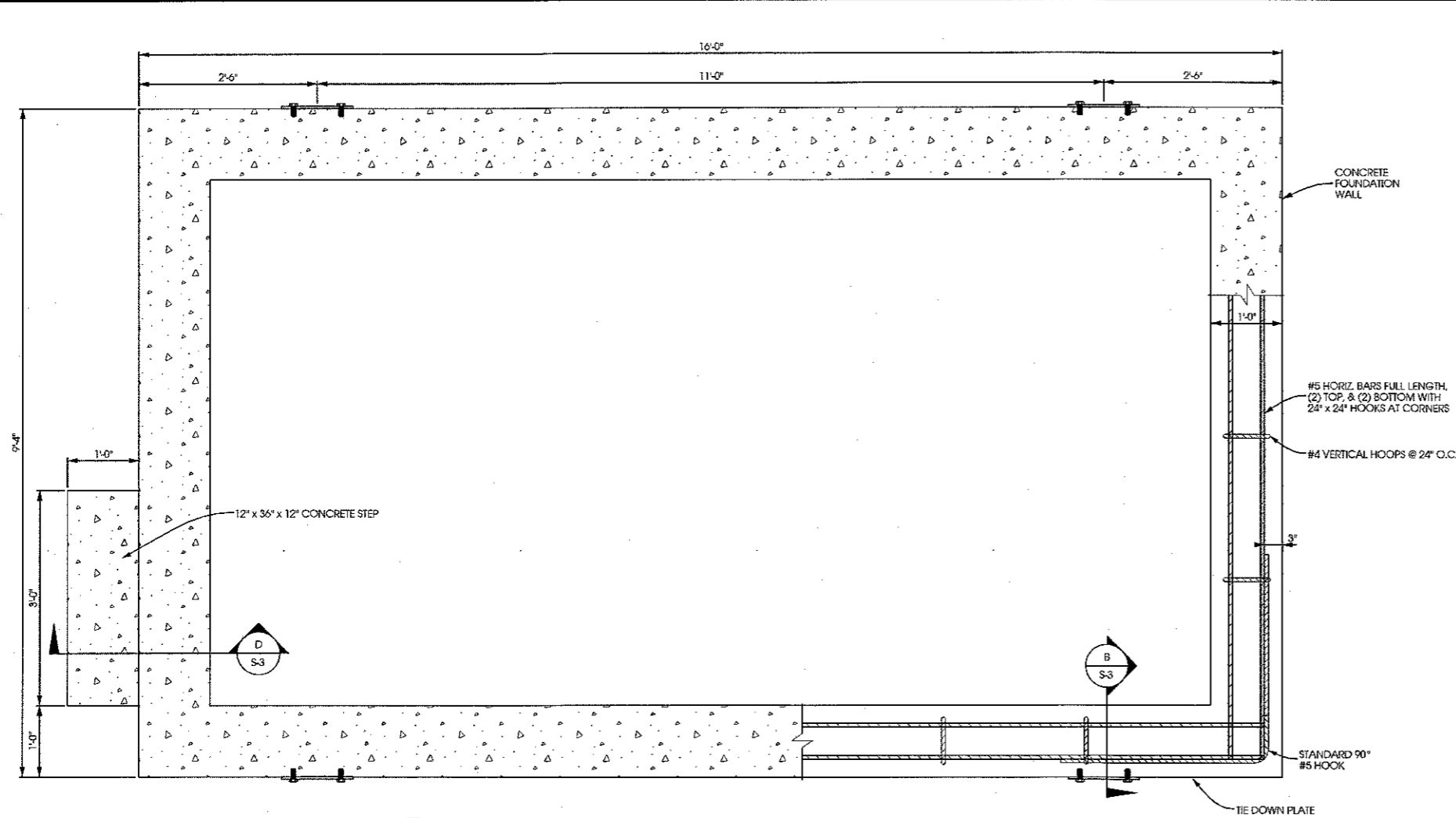
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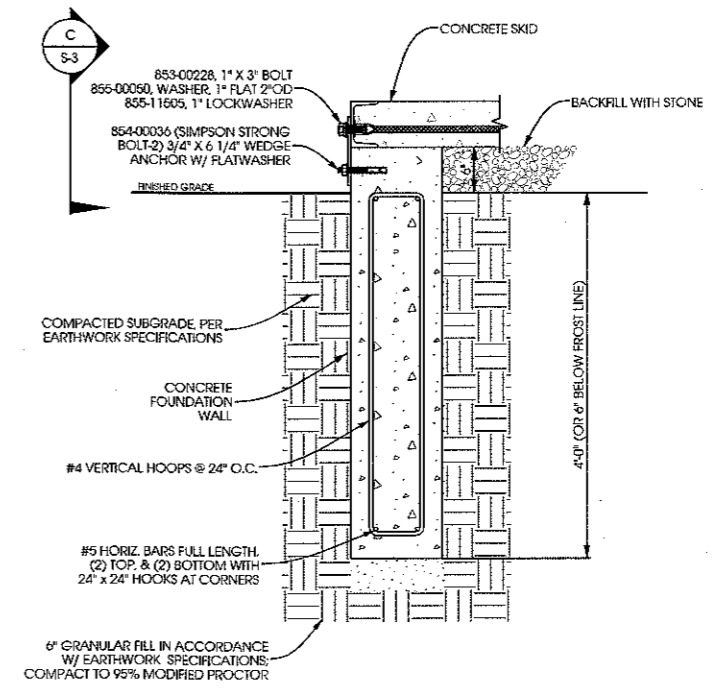
**FOUNDATION DETAILS**  
**STOUGHTON SW (278545)**  
**STOUGHTON, WISCONSIN**

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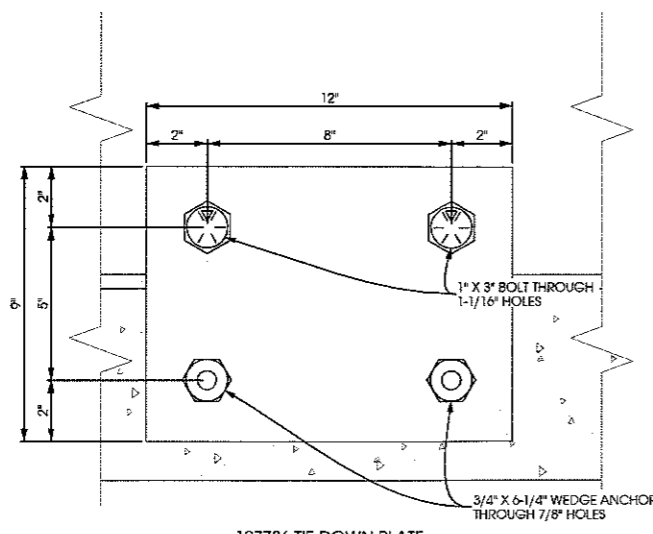
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CD 90s REV.2 - 10/28/2016	NAT
CD 90s REV.3 - 01/16/2017	CV
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STAMPED FINAL DWGS.	
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1/16/2017	
PROJECT #:	
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FILE NAME:	
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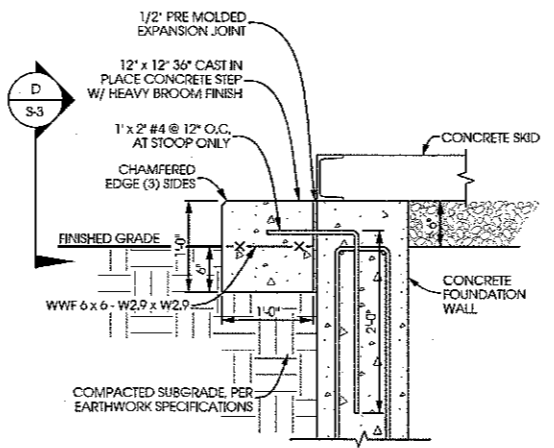
**A EQUIPMENT SKID FOUNDATION PLAN**  
 SCALE: NTS



**B TYPICAL FOUNDATION**  
 SCALE: NTS



**C TIE DOWN PLATE DETAILS**  
 197786 TIE DOWN PLATE  
 RAW MATERIAL 3/8" PLATE  
 N.T.S.

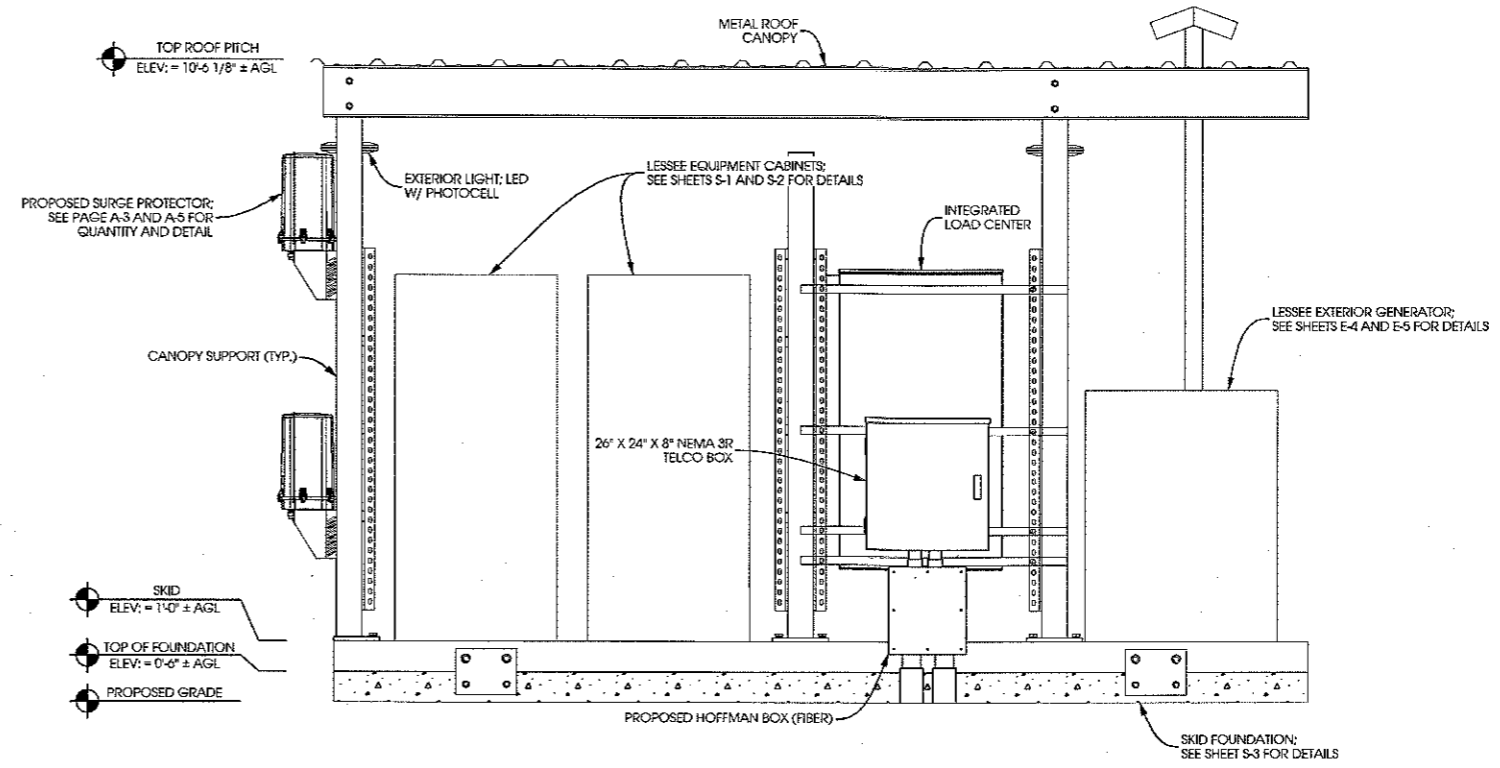
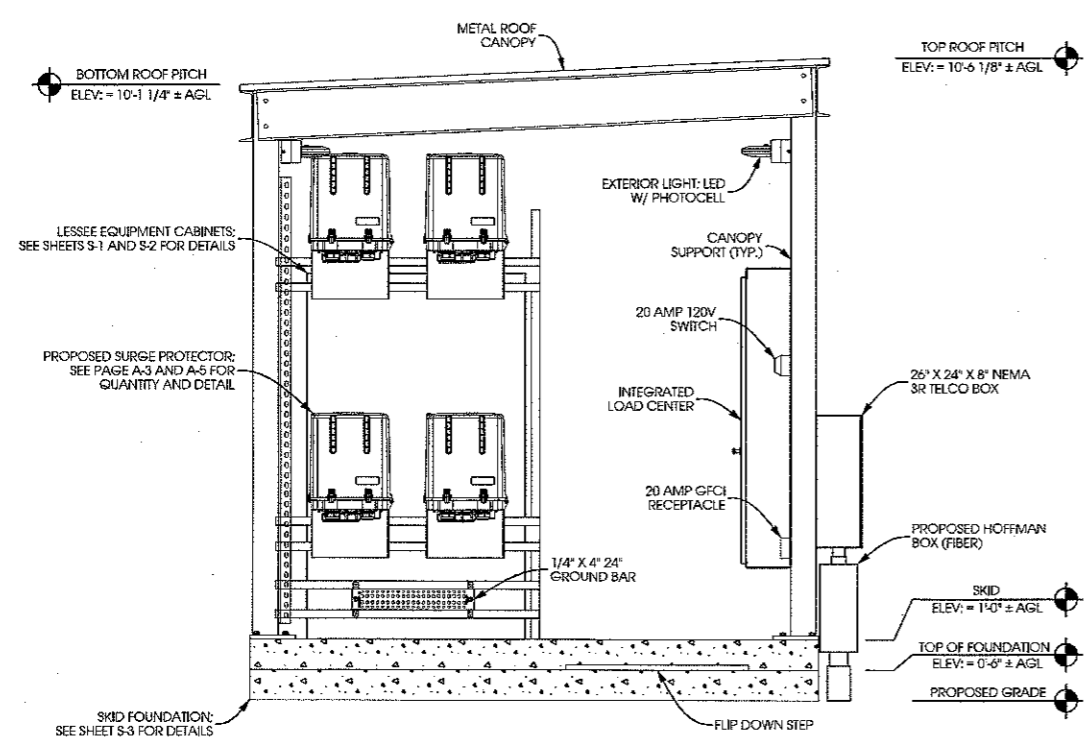


**D STEP DETAIL**  
 SCALE: NTS

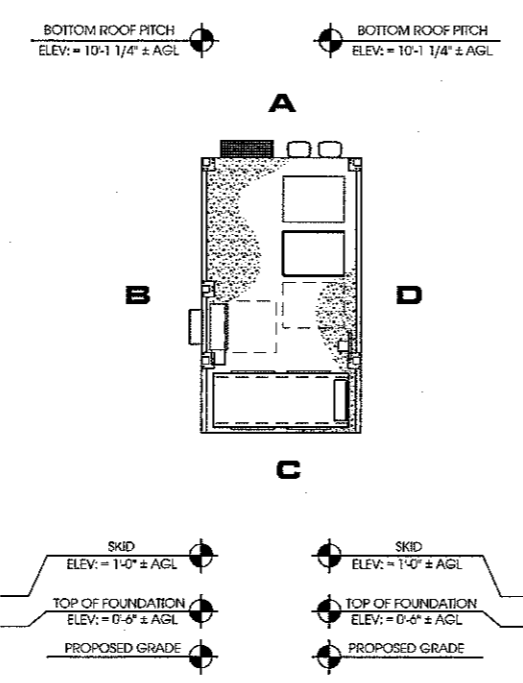
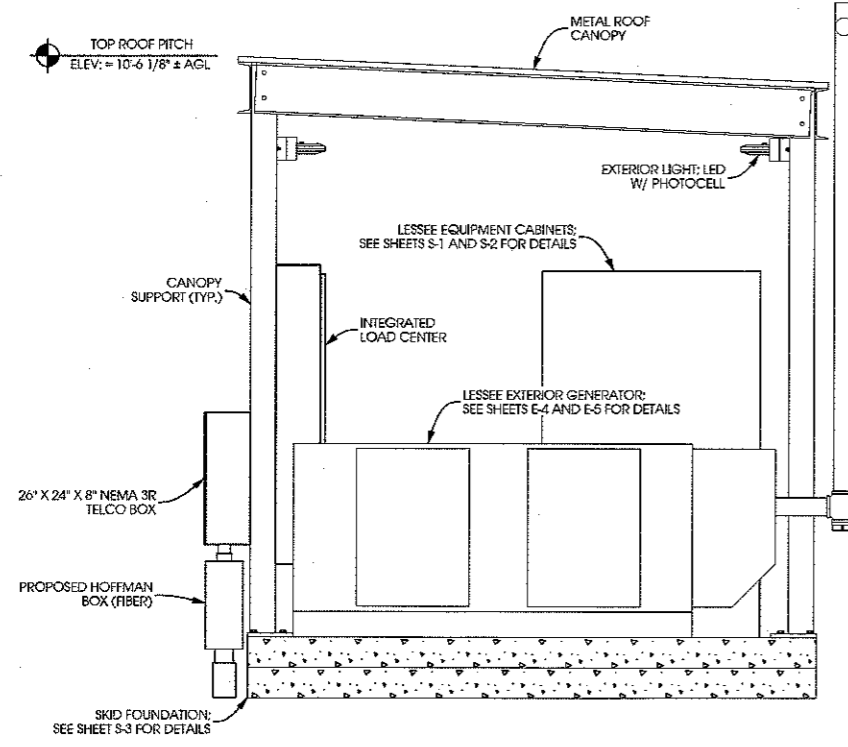
- CONCRETE AND REINFORCING NOTES:**
- 1) ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND MOST CURRENT VERSION OF ACI STANDARDS.
  - 2) ALL EXPOSED CONCRETE SURFACES EXPOSED TO VIEW SHALL HAVE A SURFACE FINISH SF-20 IN ACCORDANCE WITH ACI 301.
  - 3) ALL CONCRETE UNLESS SPECIFICALLY NOTED SHALL BE NORMAL WEIGHT (145 PCF) AND SHALL ACHIEVE A 28-DAY COMPRESSIVE STRENGTH (f'c) OF 3,000 PSI. EXPOSED EXTERIOR CONCRETE TO BE AIR ENTRAINED WITH 6% AIR CONTENT. CONTRACTOR TO PERFORM CONCRETE SLUMP TEST (4" MAX SLUMP). NO WATER TO BE ADDED AFTER SLUMP HAS BEEN MEASURED.
  - 4) ALL CONCRETE REINFORCING SHALL BE ASTM A615 GRADE 60 AND PLACED IN ACCORDANCE WITH ACI STANDARDS W/ 3" MIN COVERAGE IF CAST AGAINST EARTH AND 2" MIN COVERAGE OTHERWISE.
  - 5) REMOVE ALL ORGANIC MATERIAL, SOFT AREAS, AND POOR SOILS BENEATH FOUNDATION TO A DEPTH OF AT LEAST 2'-0" BELOW FOUNDATION.
  - 6) DESIGN BASED ON GEOTECHNICAL REPORT BY RAMAKER & ASSOCIATES, DATED 10/06/16. CONTRACTOR TO REVIEW & FOLLOW RECOMMENDATIONS CONTAINED IN GEOTECHNICAL REPORT.
  - 7) SLAB NOT SUITABLE AT SITES WITH ORGANIC SOIL, UNCOMPACTED FILL, EXPANSIVE SOIL, OR SOILS SUSCEPTIBLE TO FROST HEAVE.
  - 8) CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM ALL FOUNDATIONS.
  - 9) FOUNDATION DESIGN BASED ON INFORMATION PROVIDED BY FIBREBOND DATED 10/6/16. DESIGN LOADS ARE IN ACCORDANCE WITH FIBREBOND DESIGN WITH THE EXCEPTION THAT THE SEISMIC LOAD IS REDUCED. THE FOUNDATION DESIGN IS DESIGNED FOR A SPECTRAL RESPONSE COEFFICIENT (SDS) = 0.595 AND SEISMIC IMPORTANCE FACTOR (IS) = 1.00 WHICH CORRESPONDS A REDUCED SEISMIC RESPONSE COEFFICIENT (CS) = 0.113. THE PROVIDED SEISMIC LOADS WERE MULTIPLIED BY 0.263. THE RATIO OF THE NEW CS TO ORIGINAL CS. THIS SEISMIC LOAD CORRESPONDS WITH APPROXIMATELY THE NORTHERN END OF FAYETTE COUNTY, IL. CONTRACTOR TO VERIFY EXACT PLATFORM/SKID SIZE AND TYPE.

R172100112121\CAD\DWG\CD-SH4183.dgn

**SKID ELEVATIONS  
STOUGHTON SW (278545)  
STOUGHTON, WISCONSIN**



SKID NOTE:  
SKID ELEVATIONS SHOWN FOR CONVENIENCE.  
SKID PROVIDED AS KIT BY FIBREBOND.  
MODEL # LISTED AT BOTTOM OF PAGE



**A EQUIPMENT SKID ELEVATIONS**  
SCALE: 11" x 17" - 1/3" = 1'-0" FIBREBOND MODEL: VZW9.4X16-GLCS-3  
22" x 34" - 2/3" = 1'-0"

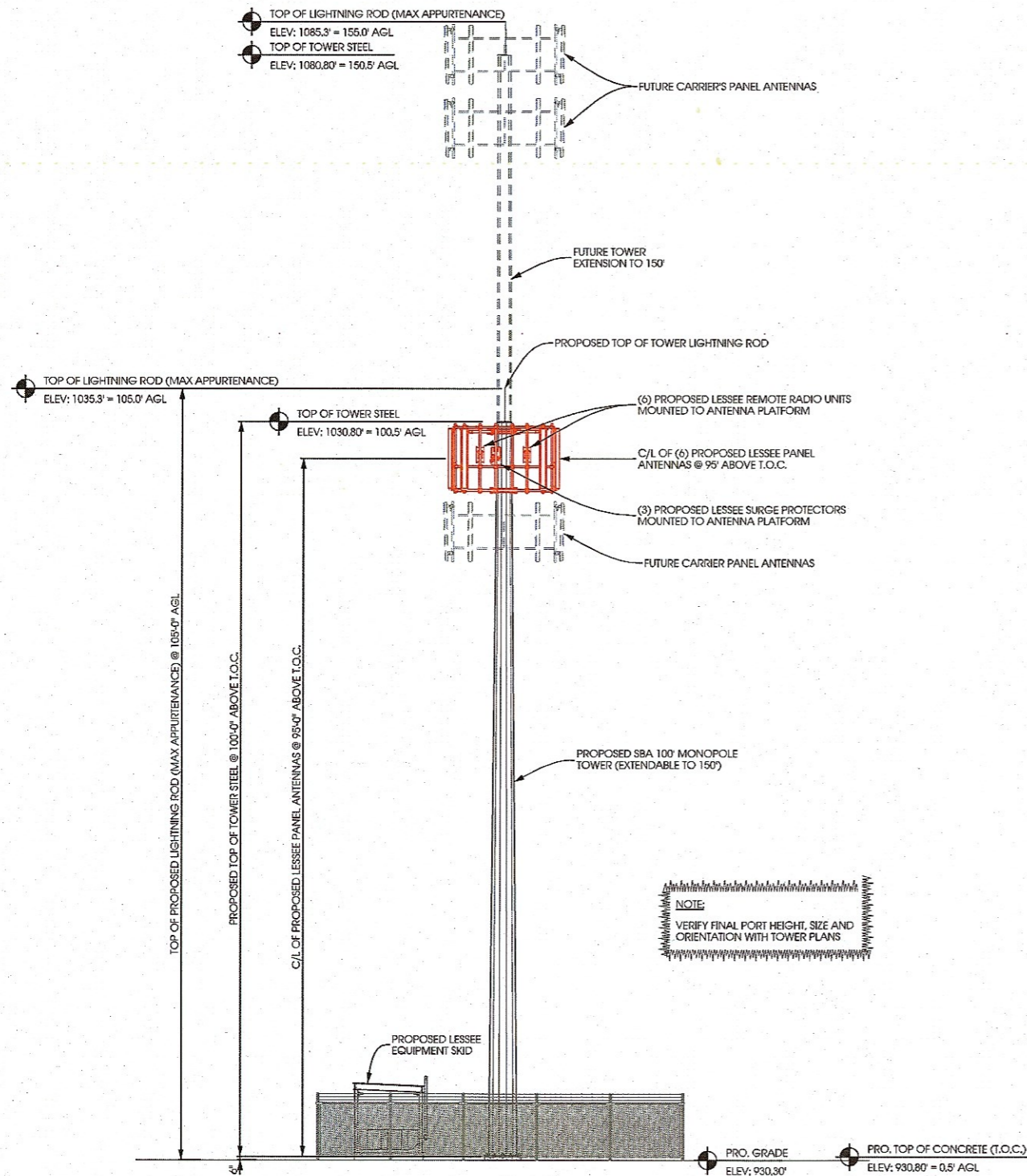
**ELEVATION D**

SHEET TITLE:

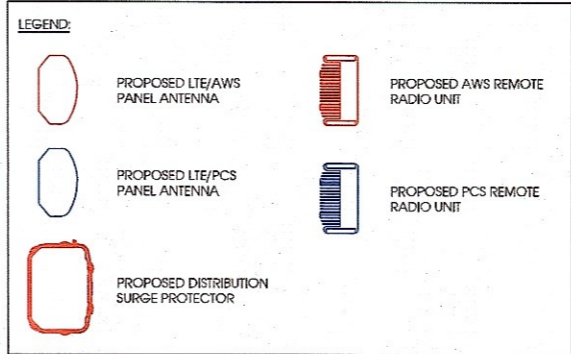
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CD 90s REV.2 - 10/28/2016	NAJ
CD 90s REV.3 - 01/16/2017	CV
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
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PLOT DATE:	
1/16/2017	
PROJECT #:	
12121	
FILE NAME:	
S-4.dgn	
SHEET NUMBER:	
<b>S-4</b>	

HYBRID CABLE INFO	
QUANTITY	3
LENGTH FROM GROUND SURGE PROTECTOR TO TOWER	30±
LENGTH FROM T.O.C. TO TOWER SURGE PROTECTOR C/L	95±
TOTAL HYBRID CABLE LENGTH	125±

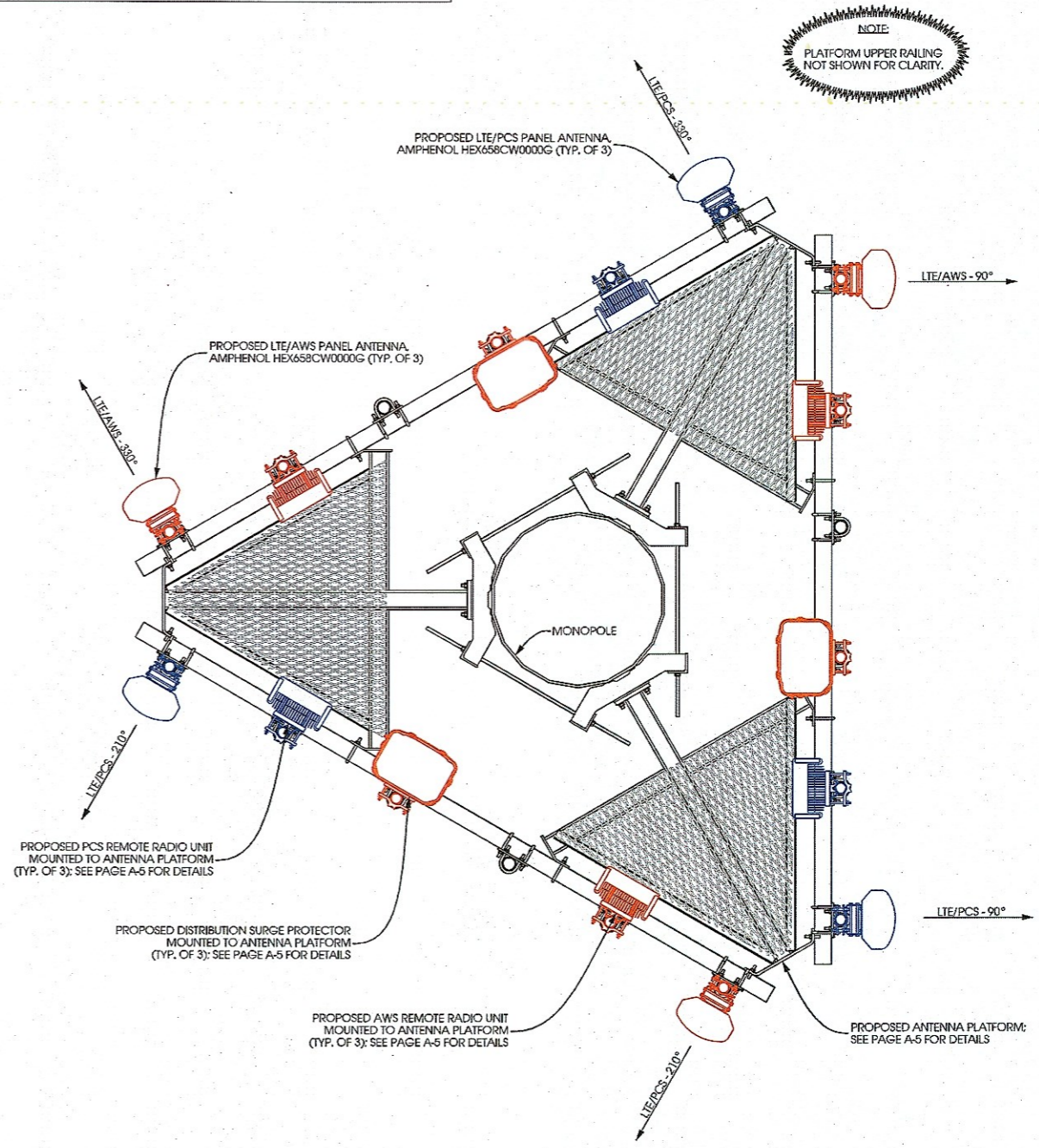
- NOTES:**
- 1.) CONTRACTOR TO VERIFY HEIGHT AND DIRECTION OF ANTENNA WITH PROJECT MANAGER & FINAL RF DESIGN.
  - 2.) HYBRID CABLE LENGTH NOT TO EXCEED 367'.
  - 3.) HYBRID JUMPER CABLE LENGTH NOT TO EXCEED 30'.
  - 4.) IF CABLING LENGTH EXCEEDS MAXIMUM ALLOWED CONTRACTOR SHALL CONTACT CLIENT AND ENGINEER TO RESOLVE PRIOR TO CONSTRUCTION.



**A TOWER PROFILE (SOUTH ELEVATION)**  
SCALE: 11" x 17" - 1" = 20'-0"  
22" x 34" - 1" = 10'-0"



- NOTES:**
- 1.) ALL ANTENNA AZIMUTHS REFERENCED FROM TRUE NORTH.
  - 2.) SEE PAGE A-5 FOR INSTALLATION REQUIREMENTS OF ANTENNAS AND EQUIPMENT.



**B ANTENNA & EQUIPMENT ORIENTATION**  
SCALE: NTS

**TOWER ELEVATION  
STOUGHTON SW (278545)  
STOUGHTON, WISCONSIN**

PRELIMINARY DWGS:	INT:
CD 90s REV.1 - 10/05/2016	NAT
CD 90s REV.2 - 10/28/2016	NAT
CD 90s REV.3 - 01/16/2017	CV

STAMPED PERMIT DWGS:

STAMPED FINAL DWGS:

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PCM  
PLOT DATE:  
1/16/2017  
PROJECT #:  
12121  
FILE NAME:  
A-1.dgn

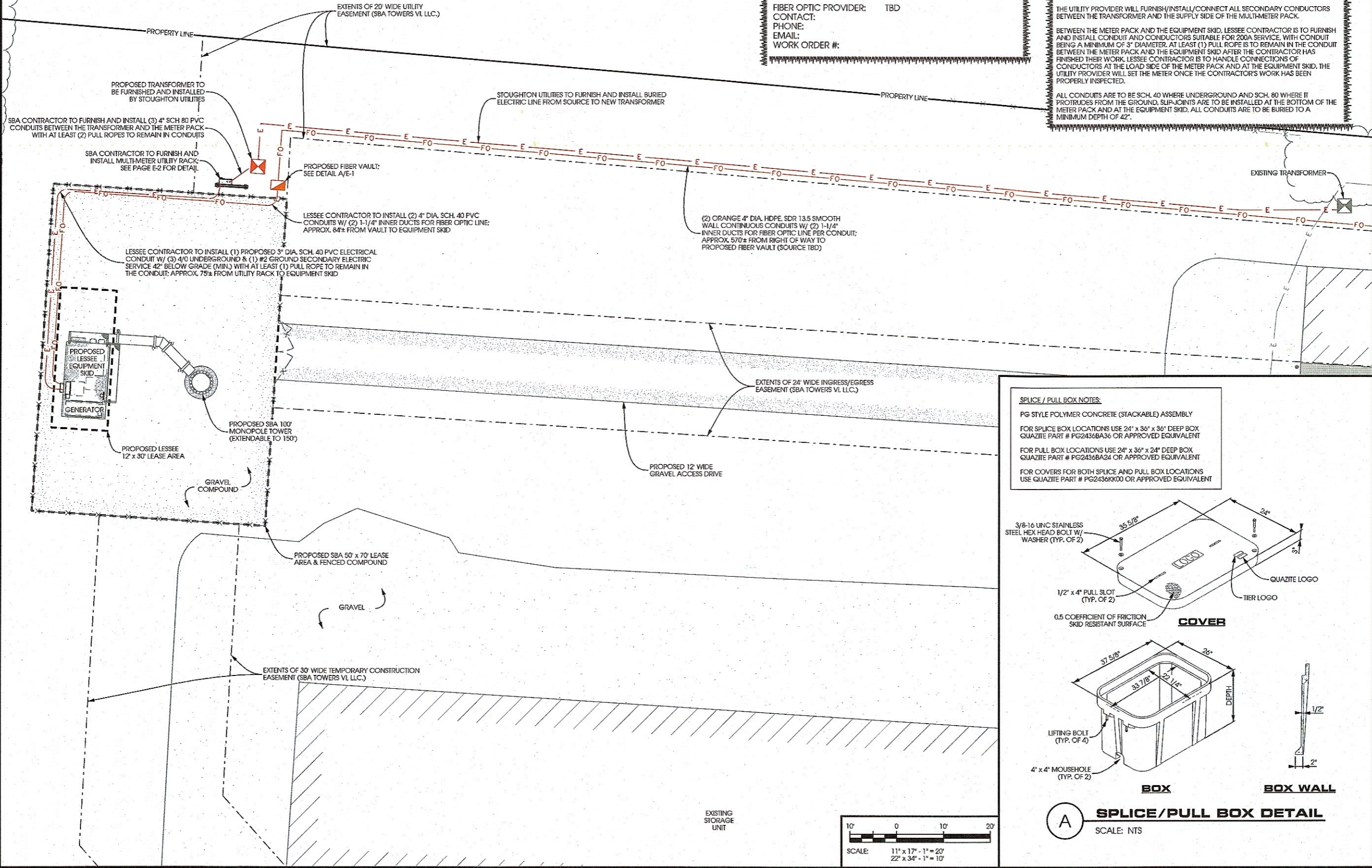
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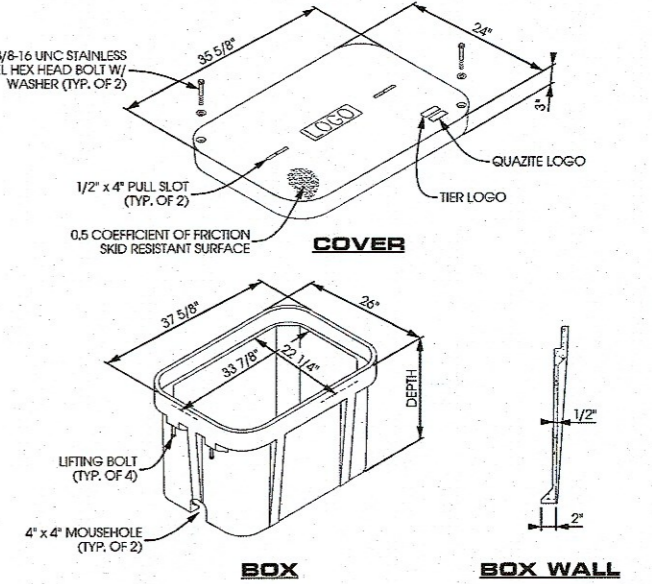
**NOTE:**  
FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT).  
PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.

**UTILITY PROVIDER INFO:**  
ELECTRIC PROVIDER: STOUGHTON ELECTRIC  
CONTACT: JOHN MCLAIN  
PHONE: 608.877.7414  
EMAIL: jmclain@stoughtonutilities.com  
WORK ORDER #: REFER TO SITE ADDRESS  
  
FIBER OPTIC PROVIDER: TBD  
CONTACT:  
PHONE:  
EMAIL:  
WORK ORDER #:

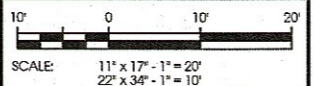
**POWER NOTE:**  
STOUGHTON UTILITIES WILL FULLY BUILD THE SERVICE UP TO AND INCLUDING THE TRANSFORMER OUTSIDE OF THE NORTHEAST CORNER OF THE PROPOSED COMPOUND.  
SBA'S CONTRACTOR IS TO FURNISH AND INSTALL THE METERING CENTER, WHICH MUST BE INSTALLED ON THE EXTERIOR OF THE PROPOSED FENCED COMPOUND. SBA'S CONTRACTOR IS TO FURNISH/INSTALL (3) 4" CONDUITS BETWEEN THE TRANSFORMER AND METER PACK. AT LEAST (2) PULL ROPES ARE TO REMAIN IN THE CONDUIT BETWEEN THE TRANSFORMER AND THE METER PACK AFTER THE CONTRACTOR HAS FINISHED THEIR WORK.  
THE UTILITY PROVIDER WILL FURNISH/INSTALL/CONNECT ALL SECONDARY CONDUCTORS BETWEEN THE TRANSFORMER AND THE SUPPLY SIDE OF THE MULTIMETER PACK.  
BETWEEN THE METER PACK AND THE EQUIPMENT SKID, LESSEE CONTRACTOR IS TO FURNISH AND INSTALL CONDUIT AND CONDUCTORS SUITABLE FOR 200A SERVICE, WITH CONDUIT BEING A MINIMUM OF 3" DIAMETER. AT LEAST (1) PULL ROPE IS TO REMAIN IN THE CONDUIT BETWEEN THE METER PACK AND THE EQUIPMENT SKID AFTER THE CONTRACTOR HAS FINISHED THEIR WORK. LESSEE CONTRACTOR IS TO HANDLE CONNECTIONS OF CONDUCTORS AT THE LOAD SIDE OF THE METER PACK AND AT THE EQUIPMENT SKID. THE UTILITY PROVIDER WILL SET THE METER ONCE THE CONTRACTOR'S WORK HAS BEEN PROPERLY INSPECTED.  
ALL CONDUITS ARE TO BE SCH. 40 WHERE UNDERGROUND AND SCH. 80 WHERE IT PROTRUDES FROM THE GROUND. SLIP-JOINTS ARE TO BE INSTALLED AT THE BOTTOM OF THE METER PACK AND AT THE EQUIPMENT SKID. ALL CONDUITS ARE TO BE BURIED TO A MINIMUM DEPTH OF 42".



**SPLICE / PULL BOX NOTES:**  
PG STYLE POLYMER CONCRETE (STACKABLE) ASSEMBLY  
FOR SPLICE BOX LOCATIONS USE 24" x 36" x 36" DEEP BOX QUAZITE PART # PG2436BA36 OR APPROVED EQUIVALENT  
FOR PULL BOX LOCATIONS USE 24" x 36" x 24" DEEP BOX QUAZITE PART # PG2436BA24 OR APPROVED EQUIVALENT  
FOR COVERS FOR BOTH SPLICE AND PULL BOX LOCATIONS USE QUAZITE PART # PG2436KK00 OR APPROVED EQUIVALENT



**(A) SPLICE/PULL BOX DETAIL**  
SCALE: NTS



**UTILITY PLAN**  
**STOUGHTON SW (278545)**  
**STOUGHTON, WISCONSIN**

SHEET TITLE:

PRELIMINARY DWGS:	INT:
CD 90s REV.1 - 10/05/2016	NAT
CD 90s REV.2 - 10/28/2016	NAT
CD 90s REV.3 - 01/16/2017	CV
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
CHECKED BY:	PCM
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PROJECT #:	12121
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SHEET NUMBER:	<b>E-1</b>

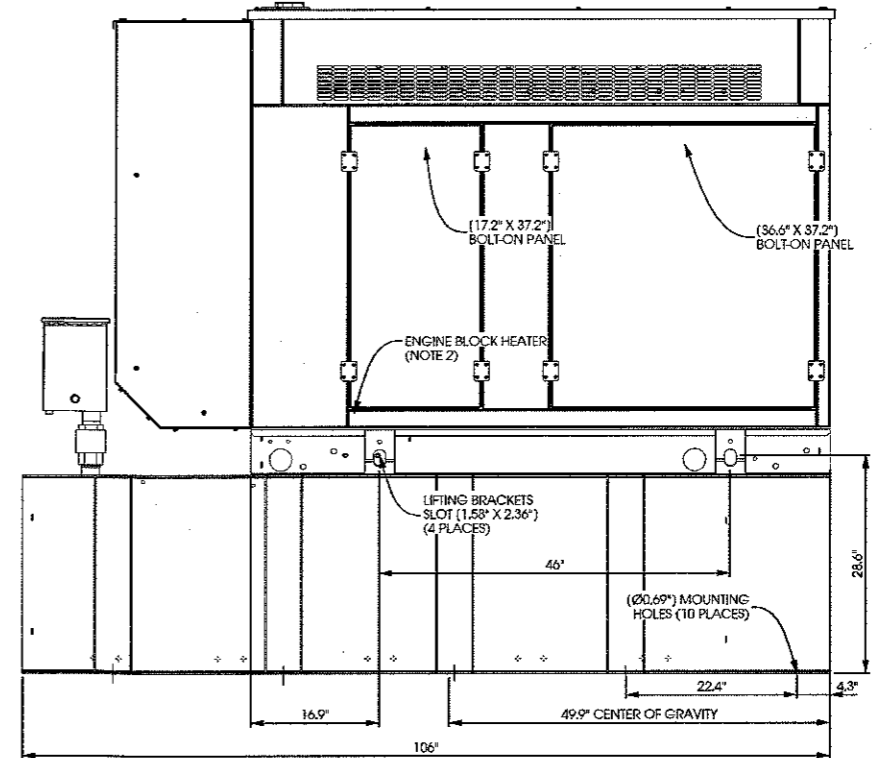
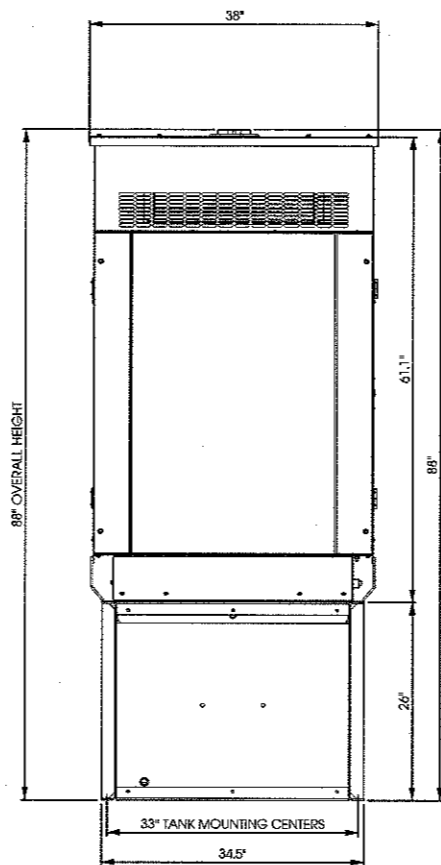
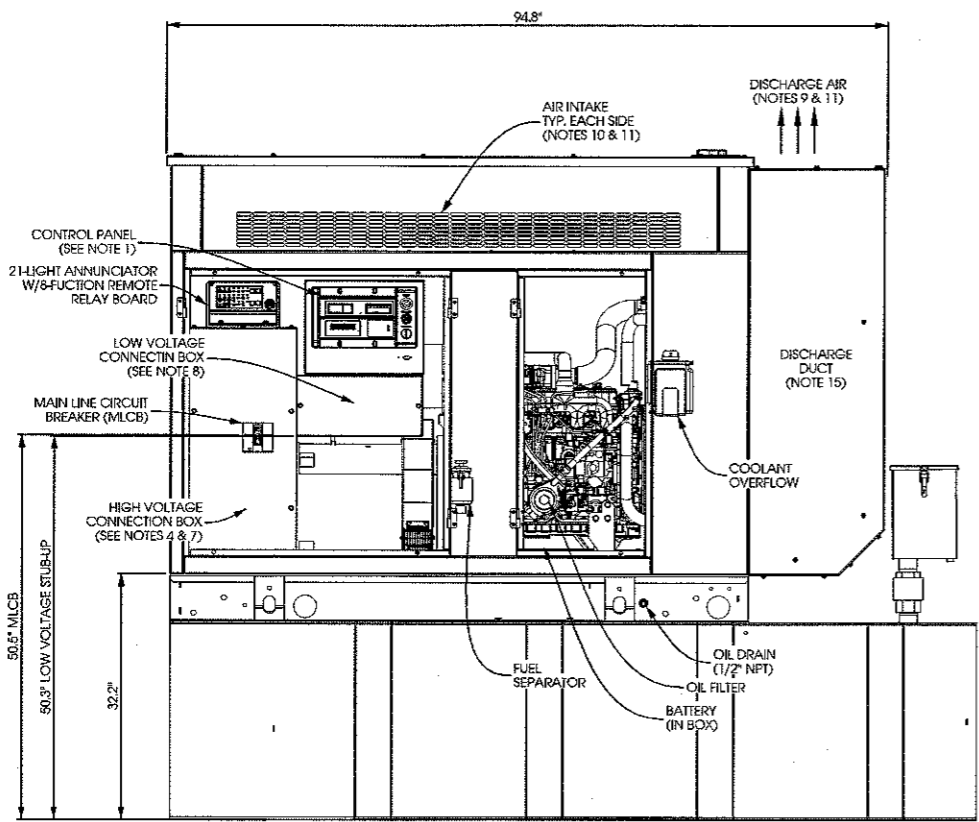
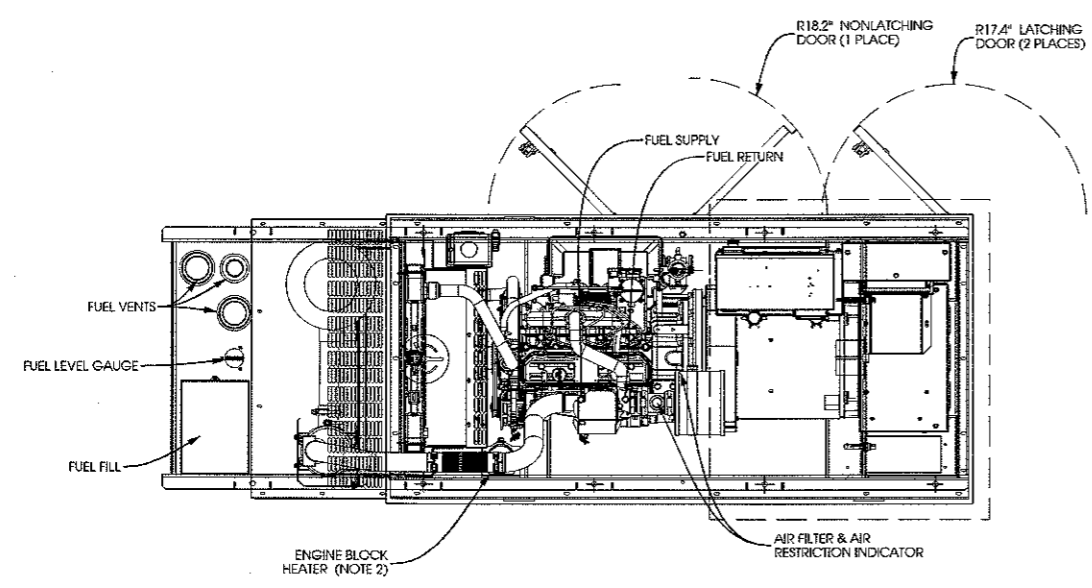
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**GENERATOR DETAILS**  
**STOUGHTON SW (278545)**  
**STOUGHTON, WISCONSIN**

- NOTES:**
- CONTROL PANEL INCLUDES BATTERY CHARGER WITH THREE PRONG CORD.
  - 1500W 120VAC ENGINE BLOCK HEATER WITH THREE PRONG CORD.
  - 12 VOLT NEGATIVE GROUND SYSTEM.
  - GENERATOR MUST BE GROUNDED.
  - CENTER OF GRAVITY AND WEIGHT MAY SHIFT SLIGHTLY DUE TO UNIT OPTIONS.
  - STUB-UPS: BASE TANK REQUIRES ALL STUB-UPS TO BE IN THE REAR TANK STUB-UP AREA.
  - HIGH VOLTAGE STUB-UP AREA INCLUDES THE AC LOAD LEAD CONNECTION TO THE MAIN LINE CIRCUIT BREAKER (MLCB), THE NEUTRAL CONNECTION, AND AUXILIARY 120/240V CONNECTION.
  - CONNECTION POINTS FOR CONTROL WIRES, BOTTOM OF LOW VOLTAGE CUSTOMER CONNECTION BOX HAS KNOCKOUTS FOR 1/2" AND 3/4" CONDUIT FITTINGS.
  - MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST. SEE SPEC SHEET FOR MINIMUM AIR FLOW AND MAXIMUM RESTRICTION REQUIREMENTS.
  - MUST ALLOW FREE FLOW OF INTAKE AIR. SEE SPEC SHEET FOR MINIMUM AIR FLOW AND MAXIMUM RESTRICTION REQUIREMENTS.
  - ENCLOSED SETS - GENERATOR SET MUST BE INSTALLED SUCH THAT DISCHARGE AIR IS NOT RECIRCULATED.
  - IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION COMPLIES WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS.
  - 132 GALLON USABLE CAPACITY BASE TANK IS INCLUDED WITH GENERATOR.
  - UNIT IS SHIPPED WITH FUEL SUPPLY AND RETURN LINES DISCONNECTED AND PLUGGED BETWEEN ENGINE AND FUEL TANK. THIS HAS BEEN DONE TO FACILITATE PRESSURE TESTING OF THE TANK IN THE FIELD. FOR INFORMATION REGARDING CONNECTING THE FUEL SUPPLY AND RETURN LINES PRIOR TO START UP, SEE THE FUEL TANK FIELD TESTING PROCEDURE (05382) SUPPLIED IN THE TANK LOOSE VENTS KIT, WHICH IS SHIPPED WITH THIS GENERATOR.
  - SEE DRAWING 0C3850 FOR DUCT REMOVAL. REMOVAL OF FRONT DUCT WILL PROVIDE ACCESS TO MUFFLER FOR SERVICING.

**RECOMMENDED ELECTRICAL STUB-UPS**  
(SEE DETAILED VIEW & TOP VIEW)

DESCRIPTION	INSIDE BASE
<b>HIGH VOLTAGE STUB-UP AREA</b>	A
1) AC LOAD LEAD CONDUIT AREA. 2) 120/240 VAC FROM UTILITY FOR OPTIONAL LOADS SUCH AS GFCI OUTLET, BLOCK HEATER, BATTERY CHARGER, AND OTHER 120/240 VAC OPTIONS. (GLAND PLATE INCLUDED)	
<b>LOW VOLTAGE STUB-UP AREA</b>	B
1) TRANSFER SWITCH/COMMUNICATION CONDUITS, COMMUNICATIONS AND 2-WIRE START MUST NOT BE RUN IN CONDUIT WITH AC WIRING. (SEE NOTE 8)	



**RIGHT SIDE VIEW**

**REAR VIEW**

**LEFT SIDE VIEW**

**A GENERAC DIESEL GENERATOR MODEL SD030**  
 SCALE: NTS

**WEIGHT DATA (INCLUDES EMPTY FUEL TANK):**  
 GENERATOR: 3,105 LBS

**SHEET TITLE:**

PRELIMINARY DWGS:	INT:
CD 90s REV.1 - 10/05/2016	NAT
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**STAMPED FINAL DWGS:**


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PCM

**PLOT DATE:**  
1/16/2017

**PROJECT #:**  
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**FILE NAME:**  
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**SHEET NUMBER:**  
**E-4**

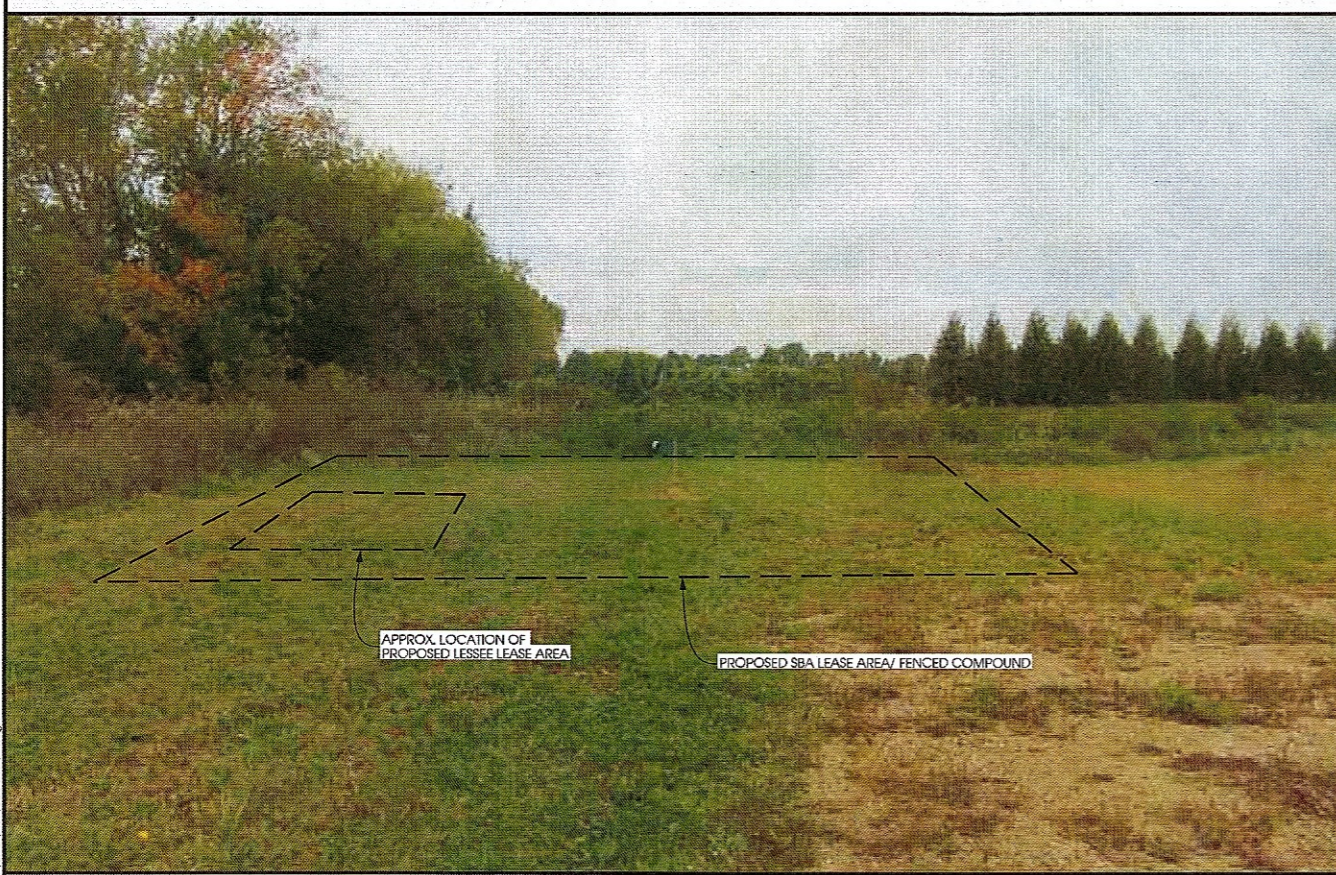
**SITE PHOTOS**  
**STOUGHTON SW (278545)**  
**STOUGHTON, WISCONSIN**



**SITE OVERVIEW**  
 LOOKING NORTHWEST FROM SOUTHEAST OF PROPOSED COMPOUND LOCATION



**PROPOSED ACCESS DRIVE**  
 LOOKING EAST FROM CENTER OF PROPOSED COMPOUND



**PROPOSED COMPOUND LOCATION**  
 LOOKING NORTH FROM SOUTH SIDE OF PROPOSED COMPOUND



**PROPOSED UTILITY ROUTE**  
 LOOKING EAST FROM NORTH SIDE OF PROPOSED COMPOUND

SHEET TITLE:

PRELIMINARY DWGS:	INT:
CD 90s REV.1 - 10/05/2016	NAT
CD 90s REV.2 - 10/28/2016	NAT
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