

# Dane County Conditional Use Permit Application

<b>Application Date</b>	<b>C.U.P Number</b>
07/01/2016	DCPCUP-2016-02356
<b>Public Hearing Date</b>	
08/23/2016	

<b>OWNER INFORMATION</b>	<b>AGENT INFORMATION</b>
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OWNER NAME DONALD P SQUIRE JR	Phone with Area Code (608) 873-4663	AGENT NAME NATHAN WARD	Phone with Area Code (414) 788-1327
BILLING ADDRESS (Number, Street) 2046 NORGAREN RD		ADDRESS (Number, Street) 1200 RIVA RIDGE	
(City, State, Zip) STOUGHTON, WI 53589		(City, State, Zip) Racine, WI 53402	
E-MAIL ADDRESS squire.donald@gmail.com		E-MAIL ADDRESS nward@buellconsulting.com	

<b>ADDRESS/LOCATION 1</b>	<b>ADDRESS/LOCATION 2</b>	<b>ADDRESS/LOCATION 3</b>
---------------------------	---------------------------	---------------------------

ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP	
NE Corner of STH 51 and Pleasant Hill Rd					
TOWNSHIP DUNKIRK	SECTION 2	TOWNSHIP	SECTION	TOWNSHIP	SECTION
PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED	
0511-023-9001-1		---		---	

<b>CUP DESCRIPTION</b>
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155' Monopole communication tower (extendable to 190')

<b>DANE COUNTY CODE OF ORDINANCE SECTION</b>	<b>ACRES</b>
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10.194	.36
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<b>DEED RESTRICTION REQUIRED?</b>  <input type="checkbox"/> Yes <input type="checkbox"/> No  Applicant Initials _____	Inspectors Initials  AMA1	<b>SIGNATURE:(Owner or Agent)</b>  <hr/> <b>PRINT NAME:</b>  <hr/> <b>DATE:</b>  <hr/>
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## Conditional Use Application

Application Fee: \$486 Mineral Extraction: \$1136 Cell Tower: \$3000

**Items required to be submitted with application:**

- o **Written Legal Description of Conditional Use Permit boundaries**
- o **Scaled drawing of the property showing existing/proposed buildings, setback requirements, driveway, parking area, outside storage areas, location/type of exterior lighting, any natural features, and proposed signs.**
- o **Scaled map showing neighboring area land uses and zoning districts**
- o **Written operations plan describing the items listed below (additional items needed for mineral extraction sites)**
- o **Written statement on how the proposal meets the 6 standards of a Conditional Use**

Owner	<u>Don Squire, Jr.</u>	Agent	<u>Nathan Ward, Buell Consulting</u>
Address	<u>2046 Norgaren Rd</u>	Address	<u>1200 Riva Ridge, Racine, WI 53402</u>
Phone	<u>608-873-4663</u>	Phone	<u>414-788-1327</u>
Email	<u>squire.donald@gmail.com</u>	Email	<u>nward@buellconsulting.com</u>

Parcel numbers affected: 026/0511-023-9001-1 Town: Dunkirk Section: 02/05/11  
 Property Address: NE Corner Hwy 51 & Pleasant Hill Road

Existing/ Proposed Zoning District : A-2 / No zoning change

- o **Type of Activity proposed:** Wireless communications
- o **Hours of Operation** 24/7
- o **Number of employees** 0
- o **Anticipated customers** 0
- o **Outside storage** No
- o **Outdoor activities** No
- o **Outdoor lighting** Yes, on cabinet platform
- o **Outside loudspeakers** No
- o **Proposed signs** FCC stipulated signage and identification only
- o **Trash removal** No
- o **Six Standards of CUP (see back)**

The statements provided are true and provide an accurate depiction of the proposed land use. I authorize that I am the owner or have permission to act on behalf of the owner of the property.

Submitted By: \_\_\_\_\_

Date: \_\_\_\_\_

# **Six Standards of a Conditional Use Permit**

Provide an explanation on how the proposed land use will meet all six standards.

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The use will positively impact public health, safety, comfort and general welfare by providing the most technologically advanced wireless communications to the area including E911 enhanced emergency response capabilities.

2. The uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by establishment, maintenance or operation of the conditional use.

There will be no substantial impairment or diminishment to the current surrounding uses as the use will create essentially no additional traffic and will not be audible to surrounding neighbors.

3. That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The use will have no adverse impact on the orderly development of surrounding uses currently agricultural, residential and commercial.

4. That adequate utilities, access roads, drainage and other necessary site improvements have been or are being made.

Adequate services including utilities, access and drainage have all been accounted for in the proposed use.

5. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Existing ingress/egress will be utilized for the use. Upon completion of construction traffic to the proposed site will average two vehicles per month.

6. That the conditional use shall conform to all applicable regulations of the district in which it is located.

The use meets all applicable regulations most notably those outlined in WI Statute 66.0404.

**COMMUNICATION TOWER INFORMATION FORM (CTIF)**

<b>CONTACTS</b>				
Property Owner's Name		Don Squire, Jr.		
Property Owner's Mailing Address	2046 Norgaren Rd Street	Stoughton City	WI State	53559 ZIP
Property Owner's Phone Number		( 608 ) 873-4663		
Agent's Name & Affiliation		Nathan Ward, Buell Consulting		
Agent's Relationship to Property Owner		Agent		
Agent's Relationship to the Proposed Tower (e.g. wireless service provider, site acquisition firm, tower builder, etc.)		Site Acquisition Specialist		
Agent's Mailing Address	1200 Riva Ridge Street	Racine City	WI State	53402 ZIP
Agent's Phone Number		( 414 ) 788-1327		
<b>PROPOSED ACTION</b>				
Current Zoning	A1	CUP Acres	.36	
Proposed Zoning (only if rezoning)		Rezone Acres (if applicable)		
Have the property owner and the agent/tower sponsor formally completed a binding letter of intent, option to lease, or lease? Please attach a letter from the property owner(s) consenting to the application.			<input checked="" type="radio"/> Yes	<input type="radio"/> No
			<i>Circle One</i>	
If applicable, does the lease area coincide with the proposed CUP area?			<input checked="" type="radio"/> Yes	<input type="radio"/> No
			<i>Circle One</i>	
<b>LOCATION</b>				
Town	Dunkirk			
PLSS location (Township, Range, ¼ ¼ Section)	02/05/11			
Parcel Number(s)	026/0511-023-9001-1			
Street Address (or Proximity to Nearest Address)	NE Corner Hwy. 51 & Pleasant Hill Road			
Coordinates in Decimal Degrees (00.000000 Lat., - 00.000000 Long.)	42.920367 Lat, -89.168994 Long			
Is the subject property located in the Height Limitation Zoning Overlay District (HLZO), roughly within three miles of the Dane County Regional Airport (check with Zoning staff)?			<input type="radio"/> Yes	<input checked="" type="radio"/> No
			<i>Circle One</i>	

<b>TOWER DETAILS</b>							
Applicant's Intended Purpose of Tower (e.g. coverage, capacity, other). Explain.			Coverage				
Type of Tower (e.g. monopole, self-support lattice, guyed lattice, etc.)				Monopole			
Above Ground Level (AGL) Height (ft.) (i.e. maximum design potential).				155' extendable to 190'			
Base/Ground Elevation (ft.)				902.3			
What is the "fall-down radius" (ft.) of the proposed tower?				N/A			
Technology to be Initially Sited on the Proposed Tower (e.g. Cellular, PCS, Radio, Television, Microwave, etc.) <sup>4</sup>				Cellular, AWS, PCS, LTE			
Number & elevation (Feet AGL) of Antenna Arrays to be Accommodated		150' 1	160' 2	170' 3	185' 4	5	6
Is the primary sponsor of this tower a wireless service provider or a tower builder?		Both		If a wireless service provider, please include FCC license number.		Verizon Wireless KNLF-240	
To the best of the applicant's knowledge, will this tower be lighted?		Yes	<input checked="" type="radio"/> No	If applicable, please explain in the box below to the greatest extent known in what manner the tower will be lighted.			
		Circle One					
Lighting Configuration:							
Are there any mitigation measures being taken to minimize the visual impact of this tower? If so, explain. Attach an additional page if necessary.							
N/A per WI Stats Sec 66.0404(4)(g)							
<b>PRELIMINARY INFORMATION ON OPTIONS FOR COLLOCATION<sup>5</sup></b>							
What search area radius was used to determine the location of the proposed tower?						.5 miles	
Are there any existing towers or other potentially suitable structures in excess of 80 feet in height within a 1.5 mile radius? If yes, how many structures <u>total</u> are there? _____ structures. If yes, please attach map showing the location of these structures in proximity to the proposed tower. N/A Per WI Stats 66.0404(4)(p)						Yes	No
						Circle One	
Has the applicant examined each of the structures noted above to determine if an antenna array can or may be located on the structure?						Yes	No
N/A per WI Stats 66.0404(4)(p)						Circle One	

<sup>4</sup> Note that this statement in itself does not necessarily preclude in the future the placement of alternative technologies on this structure.

<sup>5</sup> Note that more detailed information regarding options for collocation and addressing s. 10.194(2) of the Dane County Code of Ordinances is required in the *Written Statement*.

Assign a number to each of the existing structures noted above and briefly explain in the spaces below why each one will not accommodate the proposed antenna array (e.g. structurally incapable, owner unwilling to enter into a lease, etc.). Attach additional pages if necessary.		
1. N/A per WI Stats 66.0404(4)(p)		
2.		
3.		
4.		
<b>SUBJECT PROPERTY AND SURROUNDING AREA</b>		
What is the current, primary use of the subject property (e.g. residential, agricultural, commercial, etc.)?	AG	
What are the current, primary uses of all properties adjacent to the subject property?	AG, Residential	
What is the current zoning of all properties adjacent to the subject property?	N: A-1 E: A-1 S: A-1 W: A-1	
How far (in feet) is the proposed tower from the nearest structure on an adjacent property (not on subject property)? What is the current use of the structure?	4720' Residential	
Are there any small, private airports within a 3-mile radius of the proposed tower? If yes, give the name(s) and distance(s) in the box below.	<input checked="" type="radio"/> Yes	<input type="radio"/> No
	<i>Circle One</i>	
Name(s) and Distances of Private Airports: Matson: .88 miles Wisersky: 2.25 miles		
If applicable, have the listed private airports within a 3-mile radius of the proposed tower been notified of the petition? FAA has been notified and issued a no hazard to air navigation determination.	Yes	No
	<i>Circle One</i>	



Mr. Majid Allen  
Senior Planner  
Dane County-Planning and Development Department  
210 Martin Luther King Jr. Blvd., Room 116  
Madison, WI 53703-3342

June 20<sup>th</sup>, 2016

**Re: Conditional Use Permit Application Submittal/ Central States Tower III, LLC-New Wireless Communications Tower Facility; Squire Property located at the NE intersection of Hwy. 51 and Pleasant Hill Road, Stoughton, WI 53589. Parcel ID #026/0511-023-9001-1.**

Dear Mr. Allen,

Central States Tower and Verizon Wireless respectfully request the review and issuance of a conditional use permit for the construction of a wireless communications tower facility located at the parcel noted above. The application request and proposed facility meet the guidelines as set forth in Wis. Stat. Sect. 66.0404. Included in this package are the following:

Dane County CUP Application and CTIF Form  
LL Consent to File (landowner has signed the applications)  
RF Sworn Statement  
Search Area Map

The application procedures for a new wireless communications tower are found at Wis. Stat. Sect. 66.0404(2)(b) and list six (6) requirements for a completed application. This application reflects those requirements in addition to items as negotiated between the applicant and Dane County.

Below is a narrative on the State's six (6) requirements, including the specific project information.

**1. The name and business address of, and the contact individual of, the applicant.**

Applicant (s):

Central States Tower III, LLC  
Attn: Brian Meier  
323 S. Hale Street, Suite 100  
Wheaton, IL 60187

Verizon Wireless Personal Communications LP,  
d/b/a Verizon Wireless  
1515 Woodfield Road  
Schaumburg, IL 60173

Contact Individual:

Nathan Ward  
Buell Consulting  
1200 Riva Ridge  
Racine, WI 53402  
414-788-1327

**2. The location of the proposed support structure.**

NE intersection of Hwy. 51 and Pleasant Hill Road, Stoughton, WI 53589. Parcel ID #026/0511-023-9001-1



The location of the proposed 155' tall monopole (extendable to 190') plus 4.5' lightning rod is in the northwest corner of the above referenced parcel within an 100' x 100' lease area as depicted in the enclosed survey and construction drawings.

**3. The location of the proposed mobile service facility.**

NE intersection of Hwy. 51 and Pleasant Hill Road, Stoughton, WI 53589. Parcel ID #026/0511-023-9001-1

CST proposes to construct a 155' tall monopole (extendable to 190') plus 4.5' lightning rod for use by Verizon Wireless Personal Communications LP d/b/a Verizon Wireless in the northwest corner of the property. This new tower structure will be located within a 100' x 100' lease area as depicted in the enclosed survey and construction drawings. Verizon Wireless will locate its antennas and equipment upon the tower at the 150' centerline, route its coax/cabling through the interior of the tower, install equipment cabinets on a raised platform and an exterior generator on concrete pad near the base of the tower structure all within the CST lease area. The monopole tower and compound is designed to accommodate at least three (3) additional wireless telecommunications equipment installations.

**4. If the application is to substantially modify an existing support structure...**

The application is for a new monopole therefore the submittal requirements of this section are not applicable.

**5. If the application is to construct a new mobile service support structure, a construction plan which describes the proposed mobile services support structure and the equipment and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and related equipment to be placed on or around the new mobile service support structure.**

See the enclosed construction drawings depicting the proposed CST and Verizon Wireless installations containing the above described information.

**6. If the application is to construct a new mobile service support structure, an explanation as to why the application chose the proposed location and why the applicant did not choose collocation, including a sworn statement from an individual who has the responsibility over the placement of the mobile service support structure attesting that collocation within the applicant's search ring would not result in the same mobile service functionality, coverage, and capacity; is technically infeasible; or is economically burdensome to the mobile service provider.**

Within the Verizon Wireless search ring as depicted in the enclosed Delorme Map there are no existing structures of any kind available for collocation by Verizon Wireless. Enclosed in the application materials is a sworn statement from the Verizon Wireless Radio Frequency Engineer assigned to the site attesting to the fact that collocation is not a feasible option for this site, as there are no existing structures of any kind which exist within the Verizon Wireless Search Area that could be utilized by Verizon Wireless for a collocation.

**ADDITIONAL DISCUSSION**

This is a joint application for a proposed new communications tower facility which will be owned by Central States Tower III, LLC ("CST"), a national owner and operator of wireless communications infrastructure; and an antenna and equipment installation upon this new communications tower facility by its proposed tenant, Verizon Wireless. It is not uncommon for wireless telecommunications service providers to engage the services of a tower company to construct, own, and operate the infrastructure upon which they desire locate





their equipment. In this case, Verizon Wireless needs the site to meet its service needs for the defined search area, and has engaged CST to participate as the tower developer/owner for the project.

As described above, the proposed project is for the construction, installation, and operation of an unmanned wireless tower communications facility upon the property located at NE intersection of Hwy. 51 and Pleasant Hill Road, Stoughton, WI 53589. Parcel ID #026/0511-023-9001-1. This facility will consist of Verizon Wireless antennas and equipment to be mounted at the 150' centerline of a newly constructed CST owned 155' (extendable to 190') plus 4.5' lightning rod, associated coaxial/hybrid cable runs down the interior of the tower, and equipment cabinets on platform with exterior backup power generator which will be placed upon a concrete pad near the base of the tower, all within a 90' x 90' fenced CST compound area as shown in the enclosed plans. Also, a 30' foot wide access and utility easement will be utilized to serve the site coming from the public right of way of Hwy. 51 and requiring only improvement to the existing access point. WI DOT engineer Scot Hinkle has stated the department will issue a permit for commercial use of this farm access point. This permit will be obtained prior to construction.

This Conditional Use Permit will provide a great benefit in that it will allow for the provision of the highest quality and most technologically advanced wireless communication services to the area. Besides the services which will be provided by Verizon Wireless, the tower facility has been designed so it will be available for at least three (3) other comparable antenna and equipment installations and shall conform to all applicable ANSI/TIA 222-G, FCC, and FAA regulations and standards governing such facilities. Multiple company collocations on its infrastructure is the core of CST's business and CST actively markets its portfolio of tower sites for collocation to all communications users.

The proposed facility will not require any public participation or result in any public cost for public facilities and services which would be detrimental to the economic welfare of the community. In fact, the wireless communication services offered by Verizon Wireless are desired by both businesses and individuals and will be an economic asset to the community. The enhanced E-911 services provided by facilities such as these will also assist in the protection of the public health, safety, and welfare of the community.

The equipment will operate continuously at this unmanned facility and will require no additional parking or facilities for employees. Verizon Wireless' cell site technicians will visit the site periodically, typically a couple hours once per month, for the testing and monitoring of the maintenance and security of its equipment. CST Communications personnel will also visit the site periodically to monitor the maintenance and security of the facility. The facility will not generate any substantial traffic, and besides the new tower structure, the remainder of the equipment has a minimal visual impact and generates very little noise.

This site is located in the A-2 Agricultural Zoning District and has been positioned upon the underlying parcel in a location to best conform with the current agricultural uses of the underlying property and to maximize ground elevation which is inherently higher near the intersection of Hwy. 51 and Pleasant Hill Road. No landscaping buffer is proposed as existing tree cover will shield three sides of the installation and it is situated 487' from Hwy. 51.

Besides the six (6) application requirements defined by Wis. Stat. Sect. 66.0404(2)(b), I have also enclosed the below listed items and provided additional narrative as requested by Dane County and agreed to by the applicant.

FAA Determination (see attached)

Site Plan (see attached which includes latitude/longitude and site elevation)

RF Propagation Maps (see attached Macro Cell site maps)

Tower Inventory 1.5 Mile Radius Map (see attached)



Google Earth Aerial and Street View Maps (see attached)  
Ice Non-Hazard Statement (see below)  
Visual Mitigation Statement (see below)

### **Ice Non-Hazard Statement**

Wireless communications structures do not pose any greater ice fall hazard than other elevated man made or natural structures. The proposed communications structure is a monopole, the design of which significantly minimizes the areas at which ice can form. It has no guy wires. Further, the proposed communications structure is located on a 40 acre privately owned parcel with an agricultural use, which greatly minimizes public contact with the communications structure. Further, Wisconsin Statute 66.0404 prohibits the governing body from considering this issue in deliberating a tower approval.

### **Visual Mitigation Statement**

As to minimizing visual impacts, the location chosen utilizes proximity to a stand of trees to provide screening from off-site views and 487' from the nearest property line.

We are re-filing application with the Town of Dunkirk Monday, June 20<sup>th</sup>, 2016 with the intent to be on their Planning Commission agenda July 13<sup>th</sup> and Town Board July 18<sup>th</sup>. This should allow for attendance with Dane County on August 23<sup>rd</sup>.

Should you have any additional information needs or questions regarding the application, the enclosed materials, or the proposed use of the site, please contact me directly at 414-788-1327, or by e-mail at [nward@buellconsulting.com](mailto:nward@buellconsulting.com).

Sincerely,

Nathan Ward  
Buell Consulting  
on behalf of Central States Tower III, LLC  
and Verizon Wireless

*Enclosures as described*

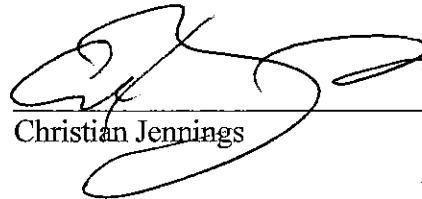
Cc: Town of Dunkirk via hand delivery on June 20<sup>th</sup>, 2016

**SWORN STATEMENT OF CHRISTIAN JENNINGS IN SUPPORT OF NEW TOWER  
CONSTRUCTION PURSUANT TO WIS. STAT. §66.0404**

WAUKESHA COUNTY        )  
  ) ss.  
STATE OF WISCONSIN    )

**CHRISTIAN JENNINGS**, being first duly sworn on oath, deposes and says that:

1. I am an adult resident of the State of Wisconsin and serve as RF Engineer at Verizon Wireless.
2. My job duties include responsibility over the placement of the mobile service support structure being proposed in the Southwest 1/4 of the Southwest 1/4 of Section 2, T5N, R11E with a parcel ID of 026/0511-023-9001-1.
3. This sworn statement is made pursuant to Wis. Stat. §66.0404(2)(b)6.
4. The Verizon Wireless Proposal is being submitted because collocation within Verizon Wireless' search ring for the area covered by the Verizon Wireless Proposal is infeasible, as no existing structures of any kind currently exist which could be utilized for such collocation.

  
Christian Jennings

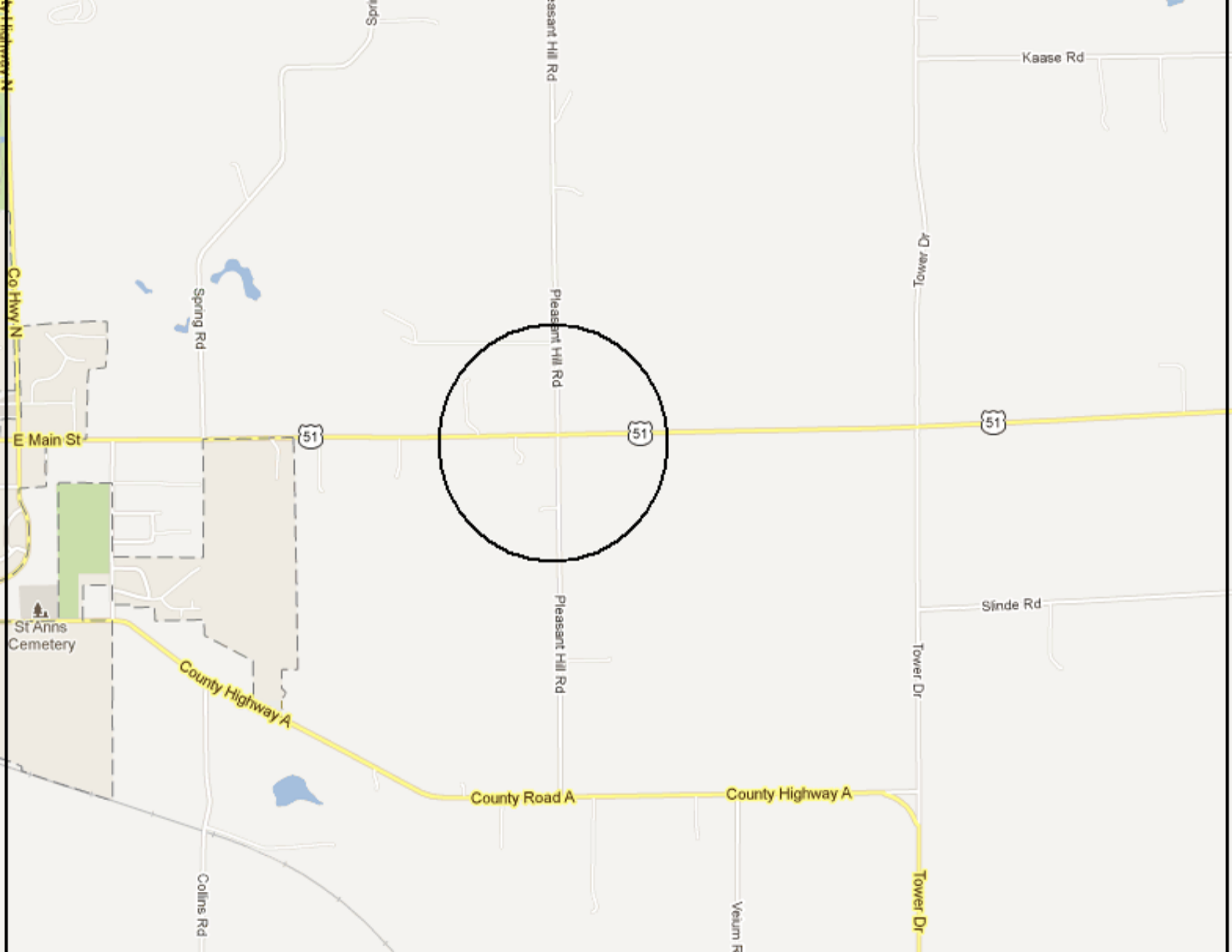
Subscribed and sworn to before me

this day of June 16, 2016  
Shala Peterson

Notary Public, State of Wisconsin

My commission: 7/14/13





Kaase Rd

Tower Dr

Pleasant Hill Rd

Pleasant Hill Rd

Pleasant Hill Rd

51

51

51

Sunde Rd

Tower Dr

Tower Dr

Veium R

County Road A

County Highway A

County Highway A

Collins Rd

Spring Rd

E Main St

Co Hwy N

St Ann's Cemetery



Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2016-AGL-818-OE

Issued Date: 01/29/2016

Brian Meier  
 Central States Tower III, LLC  
 323 S. Hale Street  
 Suite 100  
 Wheaton, IL 60187

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Monopole WI-00-1483 Hwy 51 & Pleasant Hill  
 Location: Stoughton, WI  
 Latitude: 42-55-13.32N NAD 83  
 Longitude: 89-10-08.38W  
 Heights: 902 feet site elevation (SE)  
 195 feet above ground level (AGL)  
 1097 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- X   Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 L.

This determination expires on 07/29/2017 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (847) 294-7575. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2016-AGL-818-OE.

**Signature Control No: 278256700-279283679**

( DNE )

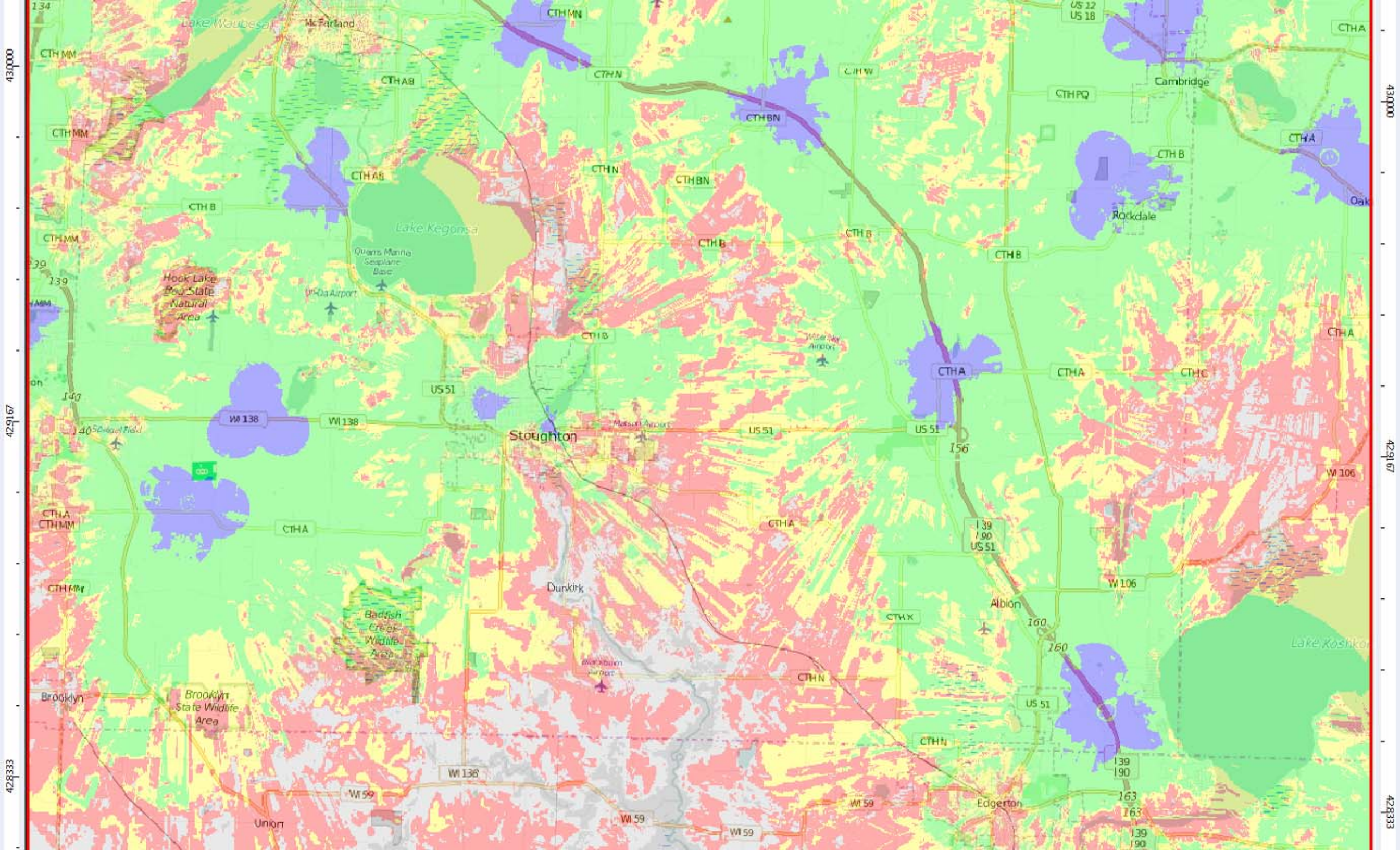
Vivian Vilaro  
Specialist

Attachment(s)  
Frequency Data

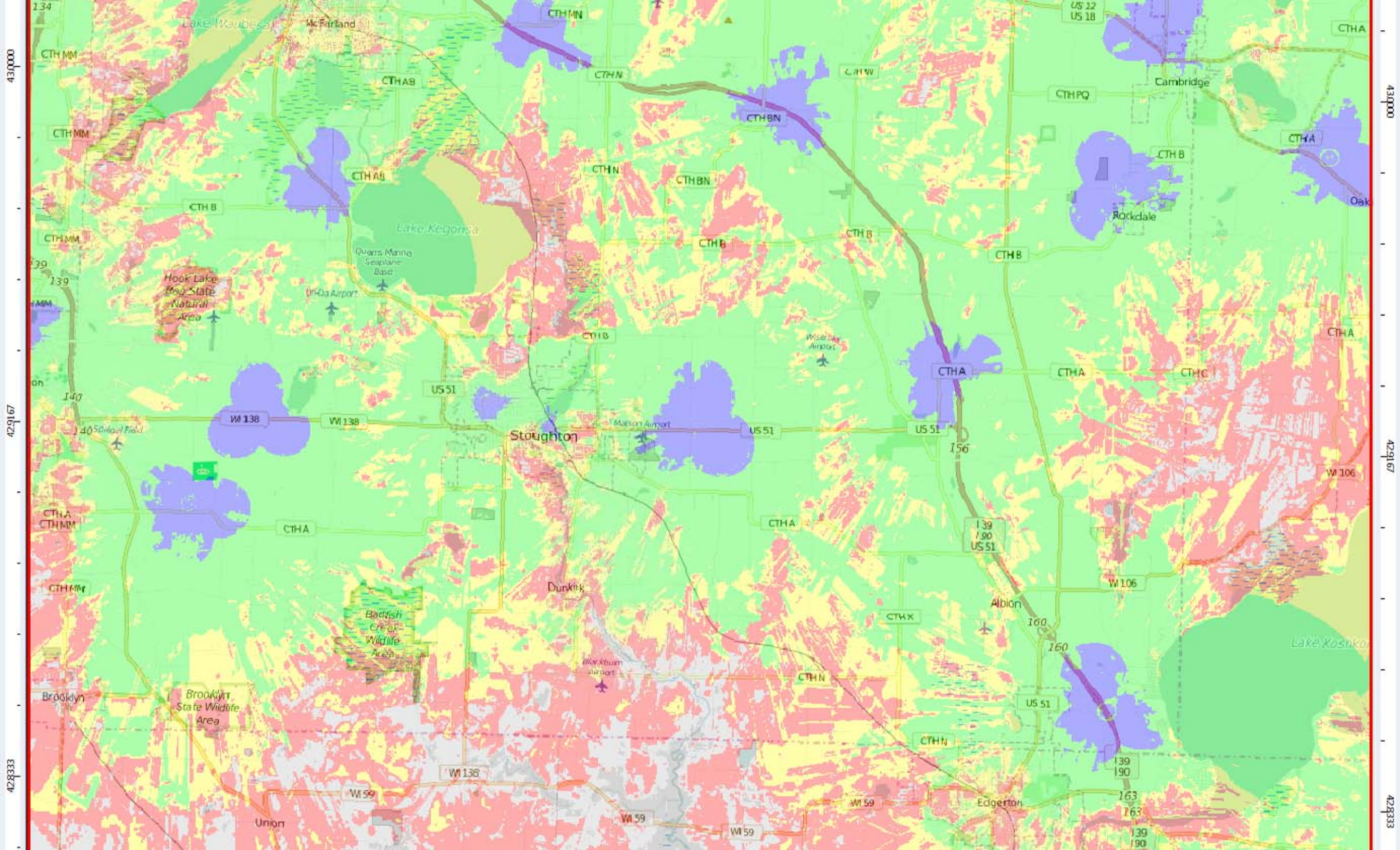
cc: FCC

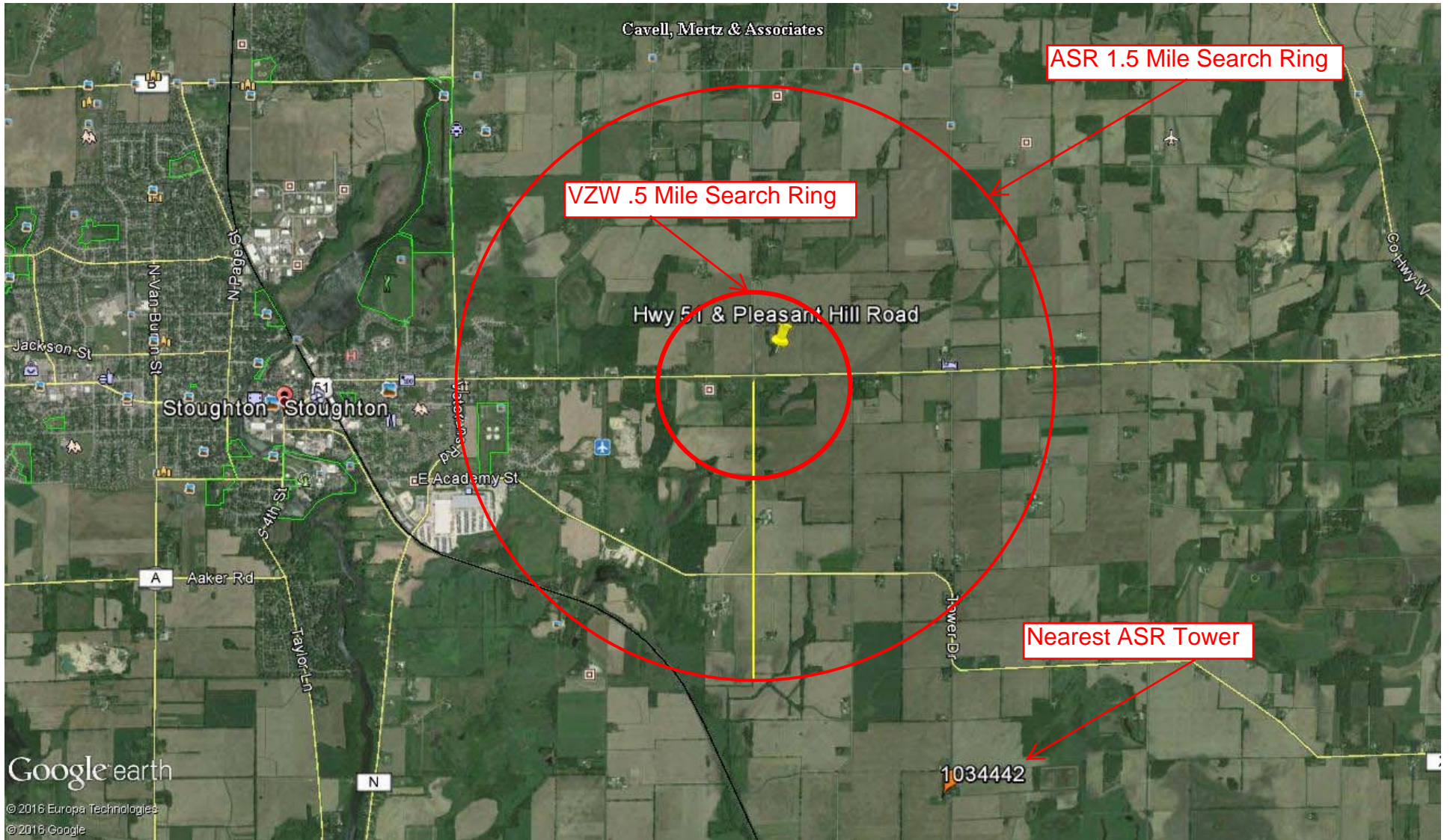
**Frequency Data for ASN 2016-AGL-818-OE**

<b>LOW FREQUENCY</b>	<b>HIGH FREQUENCY</b>	<b>FREQUENCY UNIT</b>	<b>ERP</b>	<b>ERP UNIT</b>
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W









Cavell, Mertz & Associates

ASR 1.5 Mile Search Ring

VZW .5 Mile Search Ring

Hwy 51 & Pleasant Hill Road

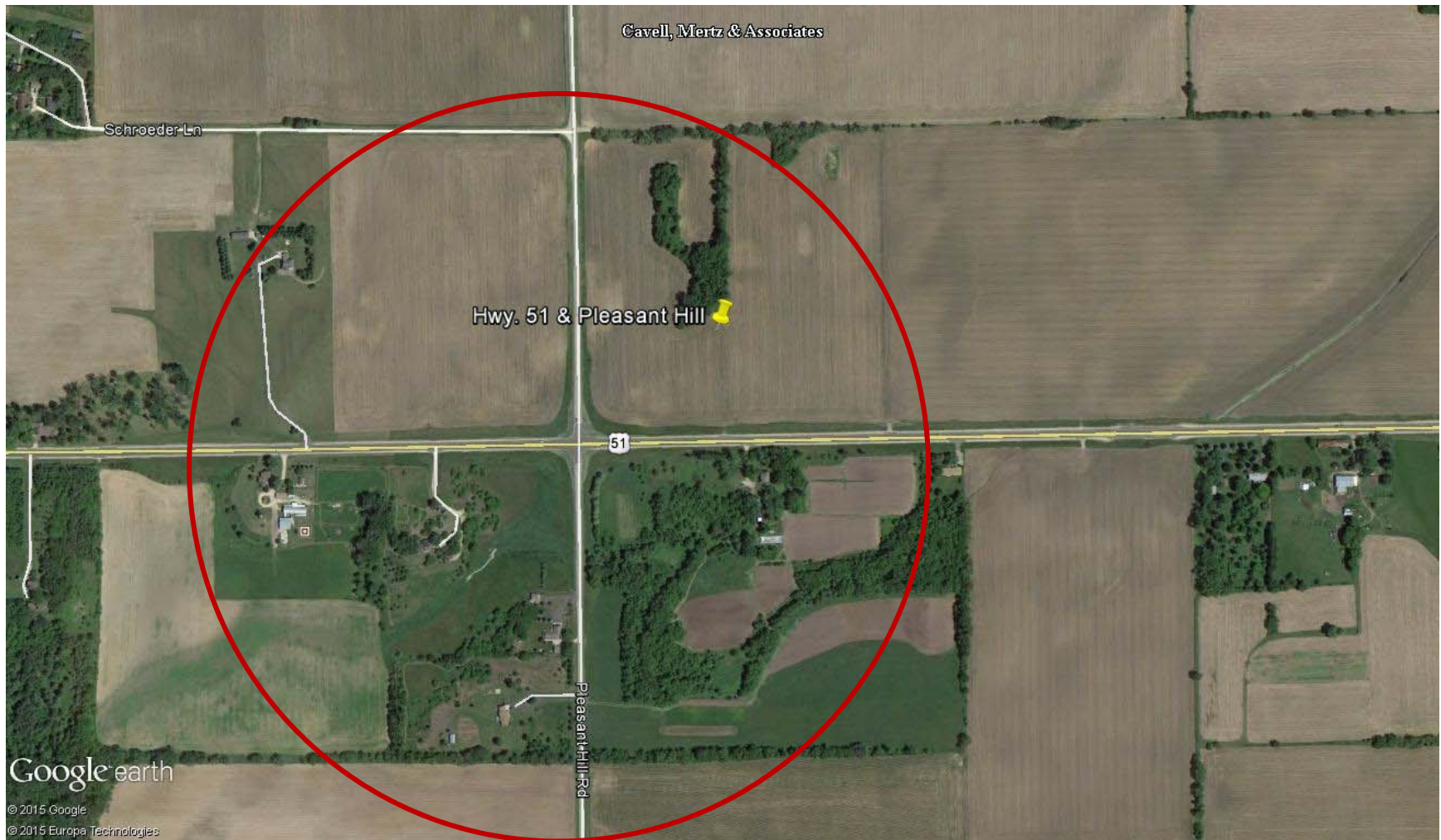
Stoughton Stoughton

Nearest ASR Tower

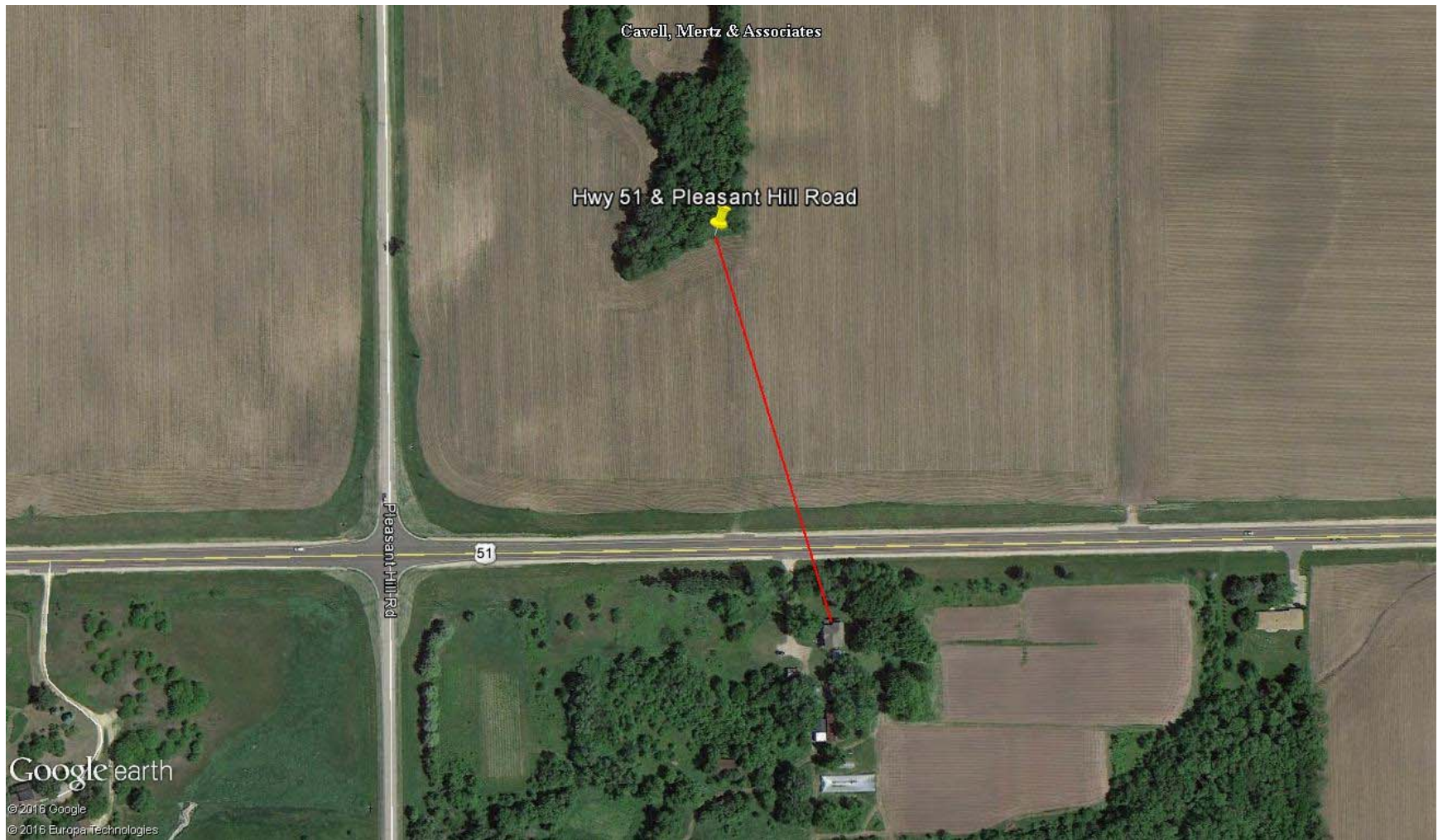
1034442

Google earth

© 2016 Europa Technologies  
© 2018 Google



**Aerial Search Ring with Proposed Tower Location Indicated**



**Aerial Indicating Nearest Neighbor at +/- 715'**

Cavell, Mertz & Associates



Google earth

© 2016 Google  
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© USFWS

## North View from Hwy. 51 Toward Proposed Tower Site

All tower depictions are approximated and not to scale.

Cavell, Mertz & Associates



Google earth

© 2016 Google  
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© USFWS

**View Northwest from Hwy. 51**

Cavell, Mertz & Associates



Google earth

© 2015 Google  
© 2015 Europa Technologies

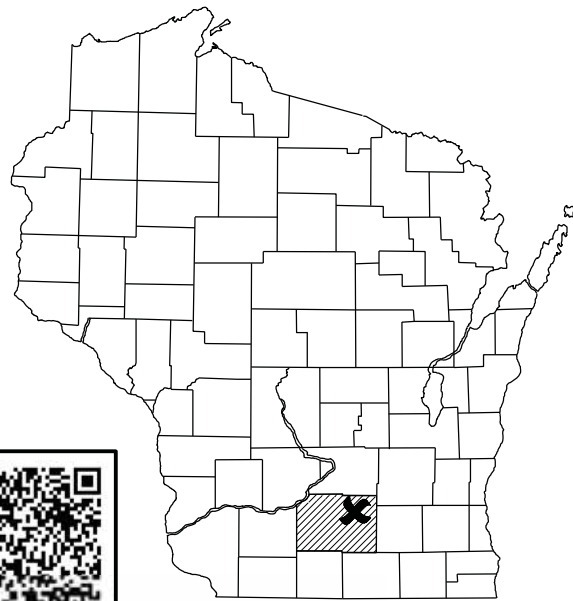
**View Northeast from Hwy. 51**

Cavall, Mertz & Associates



**East View From Pleasant Hill Road**

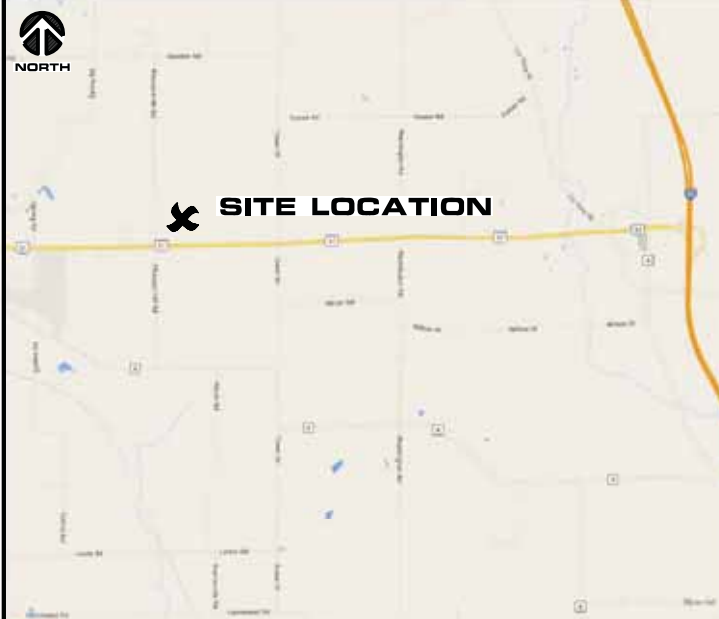




# HWY 51 & PLEASANT HILL [185952] STOUGHTON, WISCONSIN CONSTRUCTION DRAWINGS 155' MONOPOLE TOWER [EXTENDABLE TO 190']

PRELIMINARY DWGS:	INI:
SITE SKETCH - 12/15/2015	NAT
CD 90% REV.1 - 01/29/2016	CV
CD 90% REV.2 - 06/17/2016	NAT
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
CHECKED BY:	
PCM	
PLOT DATE:	
6/17/2016	
PROJECT #:	
13759	
FILE NAME:	
T-1.dgn	
SHEET NUMBER:	
<b>T-1</b>	

**SITE LOCATION MAPS**



**SHEET INDEX**

NO:	SHEET TITLE
T-1	TITLE SHEET & PROJECT DATA
I-3	SURVEY *
C-1	SITE PLAN
C-2	COMPOUND PLAN
C-3	ENLARGED COMPOUND PLAN
C-4	FENCE DETAILS
C-5	CONSTRUCTION DETAILS
C-6	GRADING PLAN
S-1	EQUIPMENT DETAILS
S-2	EQUIPMENT DETAILS
S-3	FOUNDATION DETAILS
S-4	PLATFORM DETAILS
S-5	PLATFORM ELEVATIONS
A-1	TOWER ELEVATION
A-2	ANTENNA CONFIGURATION
A-3	ANTENNA CONFIGURATION
A-4	ICE BRIDGE DETAILS
A-5	ANTENNA/EQUIP. MOUNTING
E-1	ELECTRICAL PLAN
E-2	METER AND TELCO RACK
E-3	ELECTRICAL DETAILS
E-4	GENERATOR DETAILS
E-5	GENERATOR DETAILS
E-6	LP TANK DETAILS
G-1	GROUNDING PLAN
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
SP-1	SPECIFICATIONS
SP-2	SPECIFICATIONS
P-1	SITE PHOTOS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS/CONDITIONS ON SITE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE FOR THE SAME.

**DIRECTORY**

**CLIENT:**  
CHICAGO SMSA LIMITED PARTNERSHIP  
d/b/a VERIZON WIRELESS  
1515 E. WOODFIELD ROAD  
10TH FLOOR  
SCHAUMBURG, IL 60173  
REAL ESTATE MANAGER: MELISSA DORKO  
OFFICE: 847.619.4281  
MOBILE: 847.421.7367

**ENGINEERING COMPANY:**  
EDGE CONSULTING ENGINEERS, INC.  
624 WATER STREET  
PRAIRIE DU SAC, WI 53578  
CONTACT: PAUL MOLITOR  
PHONE: 608.644.1449

**SITE ACQUISITION:**  
BUELL CONSULTING, INC.  
1200 RIVA RIDGE  
RACINE, WI 53402  
CONTACT: NATHAN WARD  
PHONE: 414.788.1327

**SURVEYOR:**  
MERIDIAN SURVEYING, LLC.  
N 8774 FIRELANE 1  
MENASHA, WI 54952  
CONTACT: CRAIG KEACH  
PHONE: 920.993.0881

**UTILITY INFO**

**ELECTRIC PROVIDER:** NAME: ALLIANT ENERGY  
CONTACT: PAT MUELLER  
PHONE: 920.948.3527

**FIBER OPTIC PROVIDER:** NAME: TBD  
CONTACT:  
PHONE:



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CALL DIGGER'S HOTLINE

TOLL FREE  
1-800-242-8511  
FAX A LOCATE 1-800-338-3860

WI STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

**PROJECT INFO**

**SITE LOCATION:**  
E911 ADDRESS TO BE DETERMINED  
ACROSS FROM 705 U.S.H. 51  
STOUGHTON, WI 53589

**PROPERTY OWNER:**  
DON SQUIRE JR.  
2046 NORGAREN RD.  
STOUGHTON, WI 53589

**TOWER OWNER:**  
CENTRAL STATES TOWERS III, LLC  
323 S. HALE STREET, SUITE 100  
WHEATON, IL 60187  
CONTACT: YURI DOBROWOLSKY  
PHONE: 847.226.5532  
SITE NAME: HWY 51 & PLEASANT HILL  
SITE #: WI-00-1483

**1A INFORMATION (NAD 1983/2011)**  
-TOWER BASE-  
LAT: 42°-55'-13.32"  
LONG: 89°-10'-08.38"  
GROUND ELEVATION (NAVD 88): 902.3'

**PLSS INFORMATION:**  
PART OF SW1/4 OF THE SW1/4,  
SECTION 2, T.5N, R.11E,  
TOWN OF DUNKIRK,  
DANE COUNTY  
WISCONSIN

**TAX PARCEL NUMBER:**  
026/0511-023-9001-1

**ZONED:** A-1 (EX)

ENGINEER SEAL:

**PRELIMINARY - NOT FOR CONSTRUCTION**

**SCOPE OF WORK**

**PROJECT DESCRIPTION:**  
PROJECT TYPE: 155' MONOPOLE TOWER  
EQUIPMENT: 12'-0" x 11'-6" EQUIPMENT PLATFORM  
GENERATOR: EXTERIOR LP GENERATOR

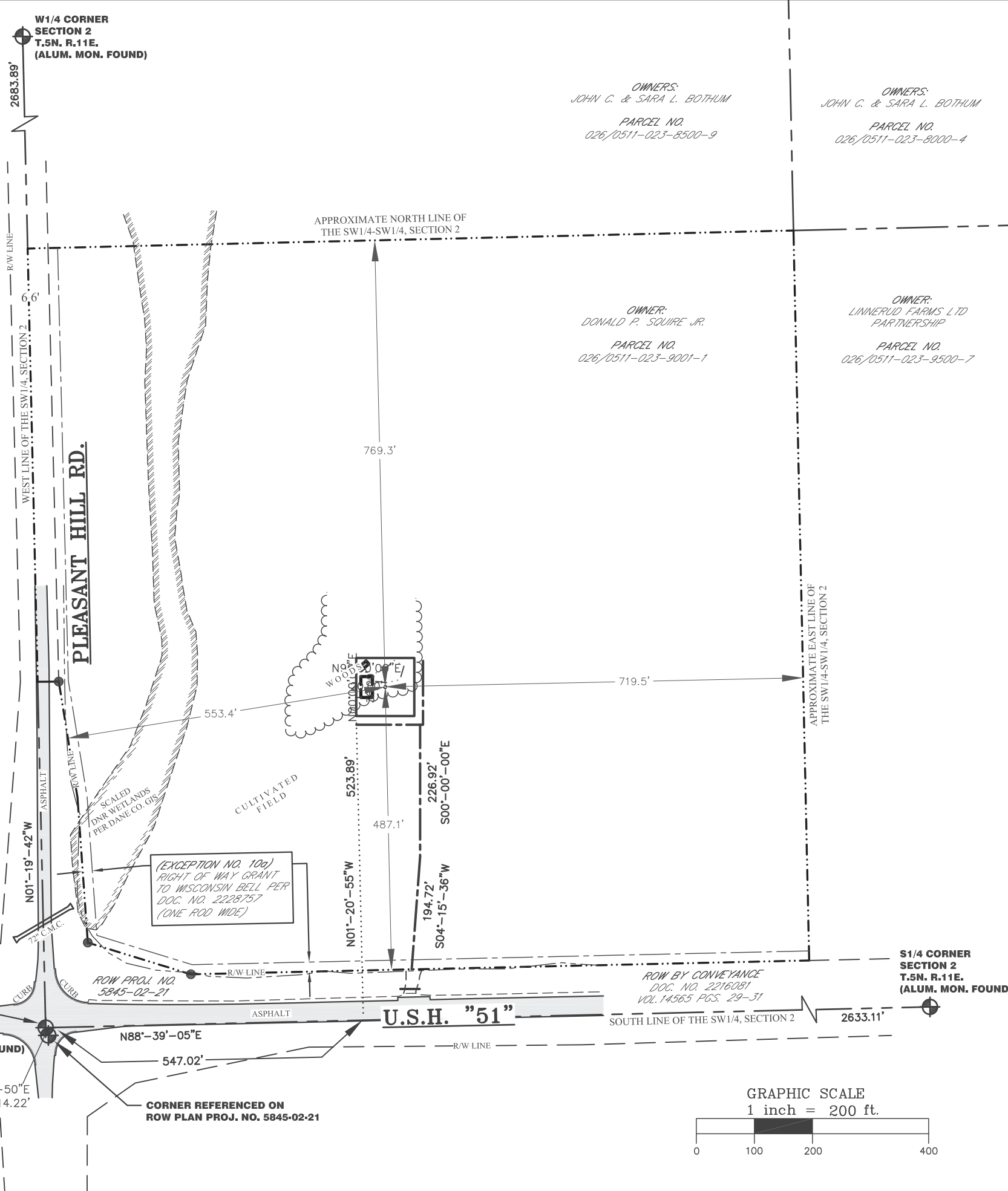
**RF DESCRIPTION (VERIFY WITH ECR):**  
PRO: ANTENNA C/L: 150' ABOVE T.O.C.  
ANTENNAS: (6) PRO. LTE/AWS/PCS ANTENNAS  
CABLES: (3) PRO. HYBRID CABLES  
EQUIPMENT: (3) PRO. SURGE PROTECTORS  
(12) PRO. REMOTE RADIO UNITS  
(3) PRO. REMOTE RADIO UNITS W/ A2

**NOTE:**  
FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT). PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_



I, Brett J. Becker, hereby certify that none of the property described hereon is within a flood plain as defined by FEMA.

**SURVEYOR'S CERTIFICATE**  
I, Brett J. Becker, Professional Land Surveyor of Meridian Surveying, LLC., certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

WISCONSIN PROFESSIONAL LAND SURVEYOR  
Brett J. Becker, S-2928

SURVEYED FOR:

624 Water Street  
Prairie du Sac, WI 53578  
608.644.1449 voice  
608.644.1549 fax  
www.edgeconsult.com

SURVEYED FOR:

1515 WOODFIELD ROAD  
SUITE 1400  
SCHAUMBURG, IL 60173

**MERIDIAN**  
SURVEYING, LLC

N8774 Firelane 1 Menasha, WI 54952  
Office: 920-993-0881  
Fax: 920-273-6037

**SITE NAME:** HWY 51 & PLEASANT HILL  
**SITE NUMBER:** 185952  
**SITE ADDRESS:** ACROSS FROM 705 U.S.H. "51" STOUGHTON, WI 53589

**PROPERTY OWNER:**  
DONALD P. SQUIRE JR.  
2046 NORGAREN RD.  
STOUGHTON, WI 53589

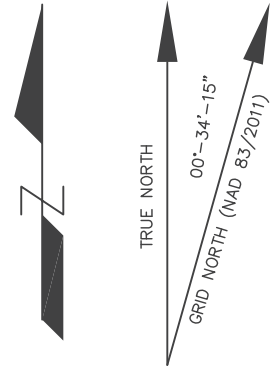
**PARCEL NO.:** 026/0511-023-9001-1  
**ZONED:** A-1 (EX)  
**DEED:** DOC. NO. 4923266

**LEASE EXHIBIT**  
FOR  
VERIZON WIRELESS PERSONAL COMMUNICATIONS LP d/b/a VERIZON WIRELESS  
BEING A PART OF THE SW1/4 OF THE SW1/4, SECTION 2, T.5N., R.11E., TOWN OF DUNKIRK, DANE COUNTY, WISCONSIN

NO.	DATE	DESCRIPTION	BY
2	1/28/16	Added Lease Area	JCB
1	12/23/15	Preliminary Survey	BJB

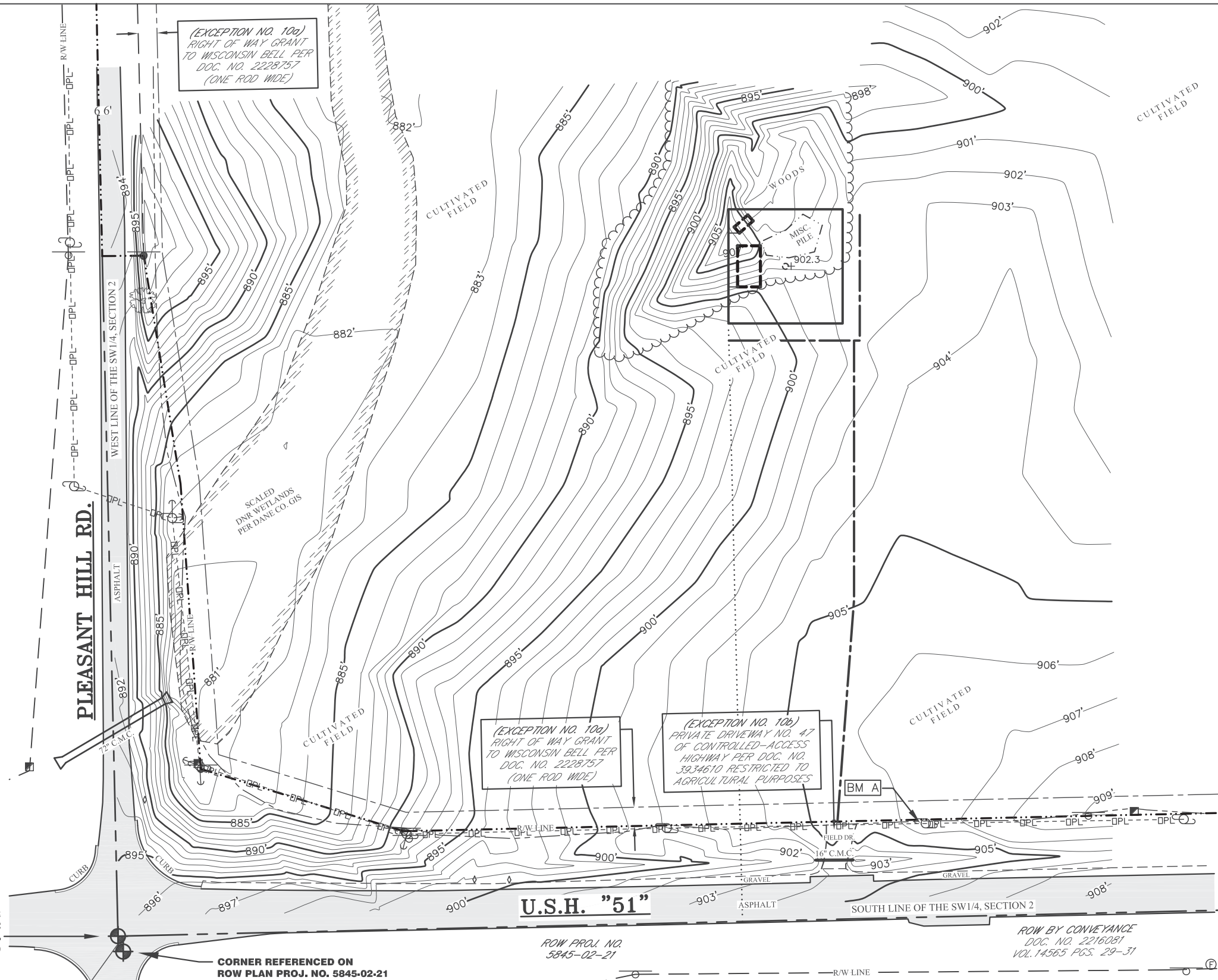
**DRAWN BY:** B.J.B. **FIELD WORK DATE:** 12-01-15  
**CHECKED BY:** B.B. **FIELD BOOK:** M-35 PG. 53  
**JOB NO.:** 8664 **SHEET** 1 OF 3

BEARINGS REFERENCED TO THE DANE COUNTY COORDINATE SYSTEM



**-LEGEND-**

- = 1" X 18" IRON PIPE SET
- = IRON PIPE/DOT CAP FOUND
- ⊕ = DANE CO. PLSS CORNER
- ⊖ = RECORDED INFORMATION
- ⊙ = GAS POST MARKER
- ⊕ = FIBER OPTIC POST
- ⊕ = TRAFFIC SIGN/METAL POST
- ⊕ = EXISTING POWER POLE
- ⊕ = RIGHT OF WAY POST FOUND
- ⊕ = EXISTING GUY ANCHOR
- ⊕ = TELEPHONE PEDESTAL
- DPL--- = OVERHEAD ELECTRIC LINE
- = EDGE OF CULTIVATED FIELD
- ~ ~ ~ = EDGE OF WOODS
- - - - - = PROPERTY LINE



SW CORNER SECTION 2 T.5N. R.11E. (ALUM. MON. FOUND)

CORNER REFERENCED ON ROW PLAN PROJ. NO. 5845-02-21

**PROPOSED TOWER BASE**  
(CENTRAL STATES TOWER III, LLC.)

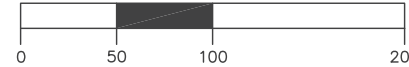
LATITUDE: 42°-55'-13.32"  
LONGITUDE: 89°-10'-08.38"  
(Per North American Datum of 83/2011)

Ground Elevation: 902.3'  
(Per North American Vertical Datum of 1988)

**BENCHMARK INFORMATION**

SITE BENCHMARK: (BM A)  
SET 6" NAIL ON SOUTH FACE OF POWER POLE #5-11-2 7/0; ±1' ABOVE GROUND LEVEL  
ELEVATION: 907.76'

GRAPHIC SCALE  
1 inch = 100 ft.



I, Brett J. Becker, hereby certify that none of the property described hereon is within a flood plain as defined by FEMA.

**SURVEYOR'S CERTIFICATE**

I, Brett J. Becker, Professional Land Surveyor of Meridian Surveying, LLC., certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

WISCONSIN PROFESSIONAL LAND SURVEYOR  
Brett J. Becker, S-2928

SURVEYED FOR:

624 Water Street  
Prairie du Sac, WI 53578  
608.644.1449 voice  
608.644.1549 fax  
www.edgeconsult.com

SURVEYED FOR:

1515 WOODFIELD ROAD  
SUITE 1400  
SCHAUMBURG, IL 60173

**MERIDIAN**  
SURVEYING, LLC

N8774 Firelane 1 Office: 920-993-0881  
Menasha, WI 54952 Fax: 920-273-6037

SITE NAME: HWY 51 & PLEASANT HILL

SITE NUMBER: 185952

SITE ADDRESS: ACROSS FROM  
705 U.S.H. "51"  
STOUGHTON, WI 53589

PROPERTY OWNER:  
DONALD P. SQUIRE JR.  
2046 NORGAREN RD.  
STOUGHTON, WI 53589

PARCEL NO.: 026/0511-023-9001-1

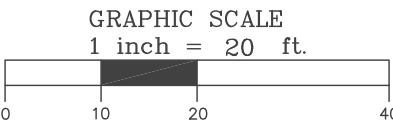
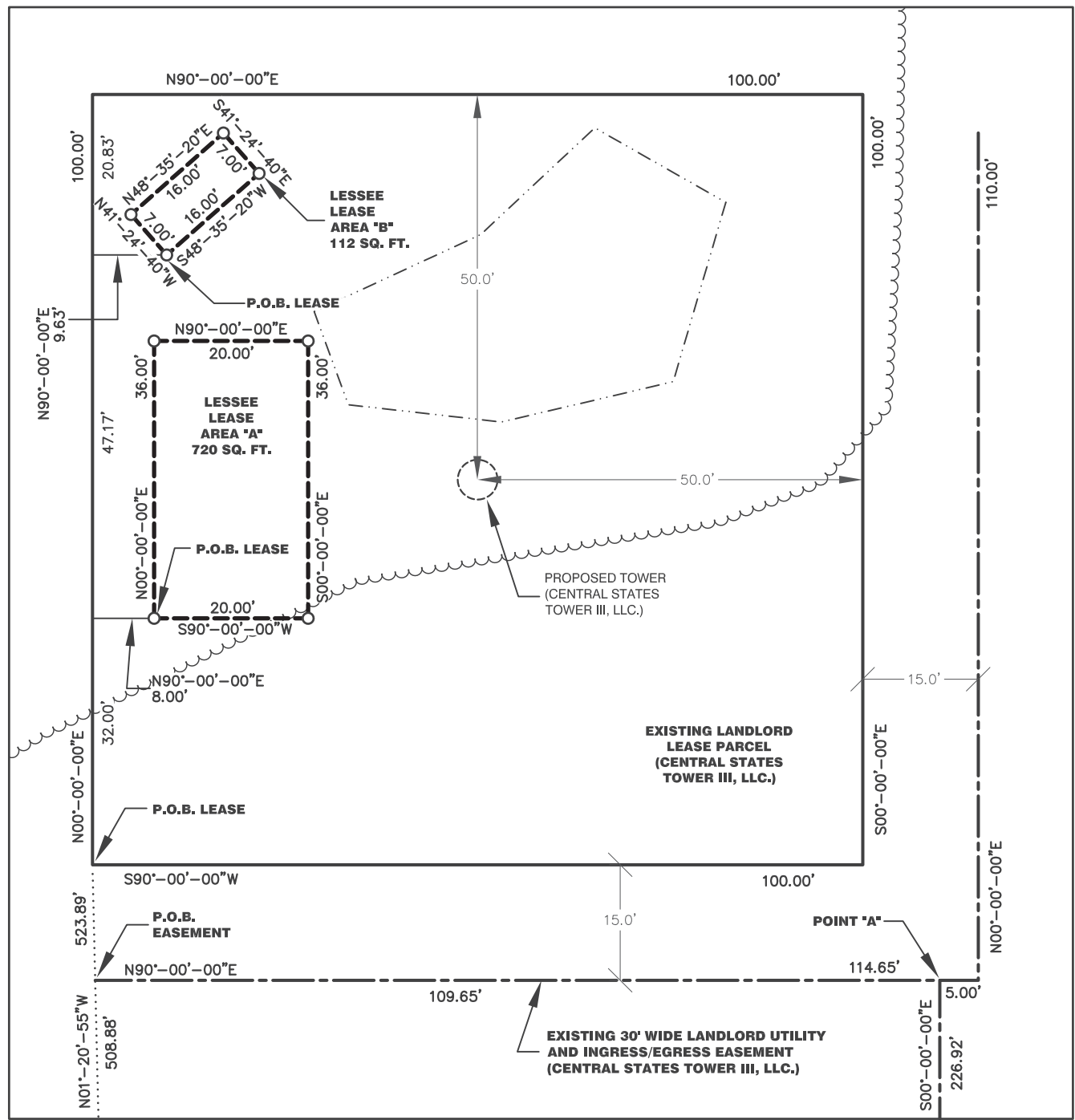
ZONED: A-1 (EX)

DEED: DOC. NO. 4923266

**LEASE EXHIBIT**  
FOR  
VERIZON WIRELESS PERSONAL COMMUNICATIONS LP d/b/a VERIZON WIRELESS  
BEING A PART OF THE SW1/4 OF THE SW1/4, SECTION 2, T.5N., R.11E., TOWN OF DUNKIRK, DANE COUNTY, WISCONSIN

NO.	DATE	DESCRIPTION	BY
2	1/28/16	Added Lease Area	JCB
1	12/23/15	Preliminary Survey	BJB

DRAWN BY: B.J.B	FIELD WORK DATE: 12-01-15
CHECKED BY: B.B.	FIELD BOOK: M-35 PG. 53
JOB NO.: 8664	SHEET 2 OF 3



I, Brett J. Becker, hereby certify that none of the property described hereon is within a flood plain as defined by FEMA.

**SURVEYOR'S CERTIFICATE**

I, Brett J. Becker, Professional Land Surveyor of Meridian Surveying, LLC., certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

WISCONSIN PROFESSIONAL LAND SURVEYOR  
Brett J. Becker, S-2928

BEARINGS REFERENCED TO THE  
DANE COUNTY COORDINATE SYSTEM

- LEGEND—**
- = 1" X 18" IRON PIPE SET
  - = IRON PIPE/DOT CAP FOUND
  - ⊕ = DANE CO. PLSS CORNER
  - Ⓜ = RECORDED INFORMATION
  - ⊙ = GAS POST MARKER
  - Ⓢ = FIBER OPTIC POST
  - ◇ = TRAFFIC SIGN/METAL POST
  - ⊕ = EXISTING POWER POLE
  - = RIGHT OF WAY POST FOUND
  - = EXISTING GUY ANCHOR
  - ⊞ = TELEPHONE PEDESTAL
  - DPL--- = OVERHEAD ELECTRIC LINE
  - — — = EDGE OF CULTIVATED FIELD
  - ~~~~~ = EDGE OF WOODS
  - = PROPERTY LINE

**LESSEE LEASE PARCEL "A"**

A part of the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) of Section Two (2), Township Five (5) North, Range Eleven (11) East, Town of Dunkirk, Dane County, Wisconsin containing 720 square feet (0.017 acres) of land and being described by:

Commencing at the Southwest Corner of said Section 2; thence N88°-39'-05"E 547.02 feet along the South line of the SW1/4 of said Section 2; thence N01°-20'-55"W 523.89 feet; thence N00°-00'-00"E 32.00 feet; thence N90°-00'-00"E 8.00 feet to the point of beginning; thence N00°-00'-00"E 36.00 feet; thence N90°-00'-00"E 20.00 feet; thence S00°-00'-00"E 36.00 feet; thence S90°-00'-00"W 20.00 feet to the point of beginning being subject to any and all easements and restrictions of record.

**LESSEE LEASE PARCEL "B"**

A part of the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) of Section Two (2), Township Five (5) North, Range Eleven (11) East, Town of Dunkirk, Dane County, Wisconsin containing 112 square feet (0.003 acres) of land and being described by:

Commencing at the Southwest Corner of said Section 2; thence N88°-39'-05"E 547.02 feet along the South line of the SW1/4 of said Section 2; thence N01°-20'-55"W 523.89 feet; thence N00°-00'-00"E 79.17 feet; thence N90°-00'-00"E 9.63 feet to the point of beginning; thence N41°-24'-40"W 7.00 feet; thence N48°-35'-20"E 16.00 feet; thence S41°-24'-40"E 7.00 feet; thence S48°-35'-20"W 16.00 feet to the point of beginning being subject to any and all easements and restrictions of record.

**LEASE PARCEL (CENTRAL STATES TOWER, LLC)**

A part of the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) of Section Two (2), Township Five (5) North, Range Eleven (11) East, Town of Dunkirk, Dane County, Wisconsin containing 10,000 square feet (0.230 acres) of land and being described by:

Commencing at the Southwest Corner of said Section 2; thence N88°-39'-05"E 547.02 feet along the South line of the SW1/4 of said Section 2; thence N01°-20'-55"W 523.89 feet to the point of beginning; thence N00°-00'-00"E 100.00 feet; thence N90°-00'-00"E 100.00 feet; thence S00°-00'-00"E 100.00 feet; thence S90°-00'-00"W 100.00 feet to the point of beginning being subject to any and all easements and restrictions of record.

**30' WIDE UTILITY AND INGRESS/EGRESS EASEMENT  
(CENTRAL STATES TOWER, LLC)**

A part of the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) of Section Two (2), Township Five (5) North, Range Eleven (11) East, Town of Dunkirk, Dane County, Wisconsin containing 19,389 square feet (0.445 acres) of land and being Fifteen (15) feet each side of and parallel to the following described line:

Commencing at the Southwest Corner of said Section 2; thence N88°-39'-05"E 547.02 feet along the South line of the SW1/4 of said Section 2; thence N01°-20'-55"W 508.88 feet to the point of beginning; thence N90°-00'-00"E 109.65 feet to a point herein after referred to as "Point A"; thence continue N90°-00'-00"E 5.00 feet; thence N00°-00'-00"E 110.00 feet to the point of termination. Also beginning at said "Point A" thence S00°-00'-00"E 226.92 feet; thence S04°-15'-36"W 194.72 feet to a point on the north line of U.S.H. 51 and the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said north line of U.S.H. 51.

**PARENT PARCEL**

All that parcel of land in Dane County, State of Wisconsin, as more fully described in Deed Doc # 4923266, ID# 026/0511-023-9001-1, being known and designated as follows:

The Southwest 1/4 of the Southwest 1/4 of Section 2, T5N, R11E, in the Town of Dunkirk, Dane County, Wisconsin, except those lands conveyed in Instrument recorded August 9, 1990, as Document No. 2216081.

By fee simple deed from Laurie Swenson, as guardian of Harold L. Gilbertson as set forth in Doc # 4923266 dated 10/08/2012 and recorded 10/16/2012, Dane County Records, State of Wisconsin.

**TITLE REPORT REVIEW**

Title Report: American Settlement Services

Order No. 11397253

Effective Date: November 13, 2015

Fee Simple Title Vested In: Donald P. Squires, Jr.

NOTE: The statement of applicability refers to the Lease Site and any Easements pertinent thereunto. Where specific encumbrances affect the Lease Site and/or a Pertinent Easement, they are identified as such.

**Schedule B-II**

- (1-9) These are general statements and not specific encumbrances.
- (10a) Subject to right of way from Harold L. Gilbertson to Wisconsin Bell, Inc. recorded 10/12/1990 in Doc# 2228757, Dane County Records. **Does Apply. Grant located along U.S.H. "51" and Pleasant Hill Road, plotted as shown.**
- (10b) Subject to authorization for access to or across a controlled-access highway from Wisconsin Department of Transportation to Harold L. Gilbertson, recorded 06/29/2004 in Doc# 3934610, Dane County Records. **Does Apply. Access drive to field from U.S.H. "51", plotted as shown.**
- (11-13) These are general statements and not specific encumbrances.

SURVEYED FOR:

624 Water Street  
Prairie du Sac, WI 53578  
608.644.1449 voice  
608.644.1549 fax  
www.edgeconsult.com

SURVEYED FOR:

1515 WOODFIELD ROAD  
SUITE 1400  
SCHAUMBURG, IL 60173

**MERIDIAN**  
SURVEYING, LLC

N8774 Firelane 1 Menasha, WI 54952 Office: 920-993-0881 Fax: 920-273-6037

SITE NAME: HWY 51 & PLEASANT HILL  
SITE NUMBER: 185952  
SITE ADDRESS: ACROSS FROM 705 U.S.H. "51" STOUGHTON, WI 53589

PROPERTY OWNER: DONALD P. SQUIRE JR. 2046 NORGAREN RD. STOUGHTON, WI 53589  
PARCEL NO.: 026/0511-023-9001-1  
ZONED: A-1 (EX)  
DEED: DOC. NO. 4923266

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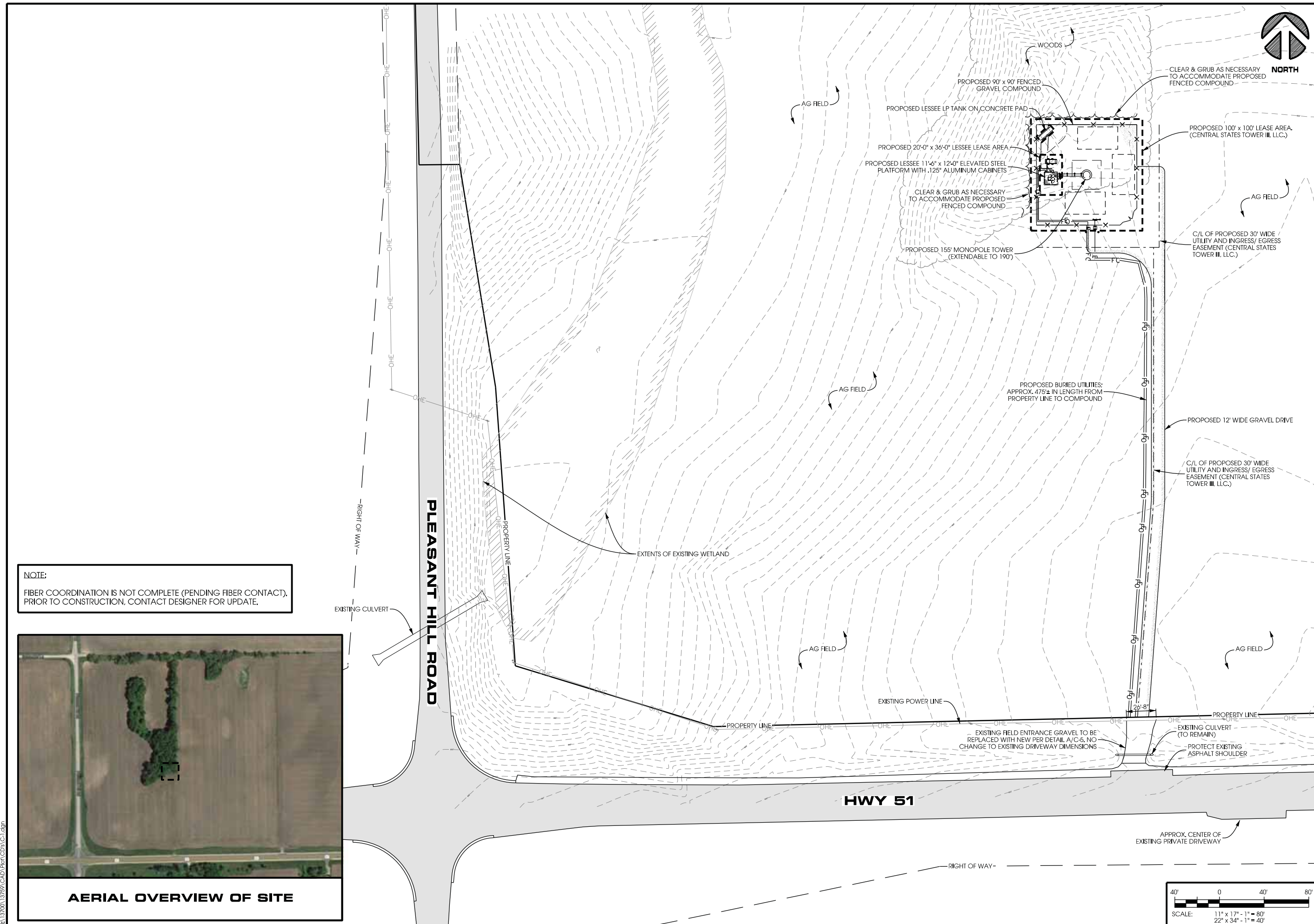
NO.	DATE	DESCRIPTION	BY
2	1/28/16	Added Lease Area	JCB
1	12/23/15	Preliminary Survey	BJB

DRAWN BY: B.J.B. FIELD WORK DATE: 12-01-15  
CHECKED BY: B.B. FIELD BOOK: M-35 PG. 53  
JOB NO.: 8664 SHEET 3 OF 3

**SITE PLAN**  
**HWY 51 & PLEASANT HILL (185952)**  
**STOUGHTON, WISCONSIN**

SHEET TITLE:

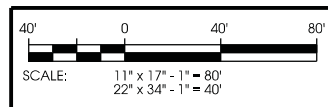
PRELIMINARY DWGR	INI:
SITE SKETCH - 12/15/2015	NAT
CD 90's REV.1 - 01/29/2016	CV
CD 90's REV.2 - 06/17/2016	NAT
STAMPED PERMIT DWGR:	
STAMPED FINAL DWGR:	
CHECKED BY:	PCM
PLOT DATE:	6/17/2016
PROJECT #:	13759
FILE NAME:	C-1.dgn
SHEET NUMBER:	<b>0-1</b>



**NOTE:**  
 FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT).  
 PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.



**AERIAL OVERVIEW OF SITE**



K:\3700\13759\CAD\PH\CD\A\C-1.dgn



NORTH

CLEAR & GRUB A MIN. 10' FROM COMPOUND TO ACCOMMODATE PROPOSED FENCED COMPOUND

WOODS

WOODS

EXISTING TREE LINE

WOODS

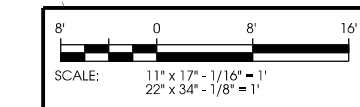
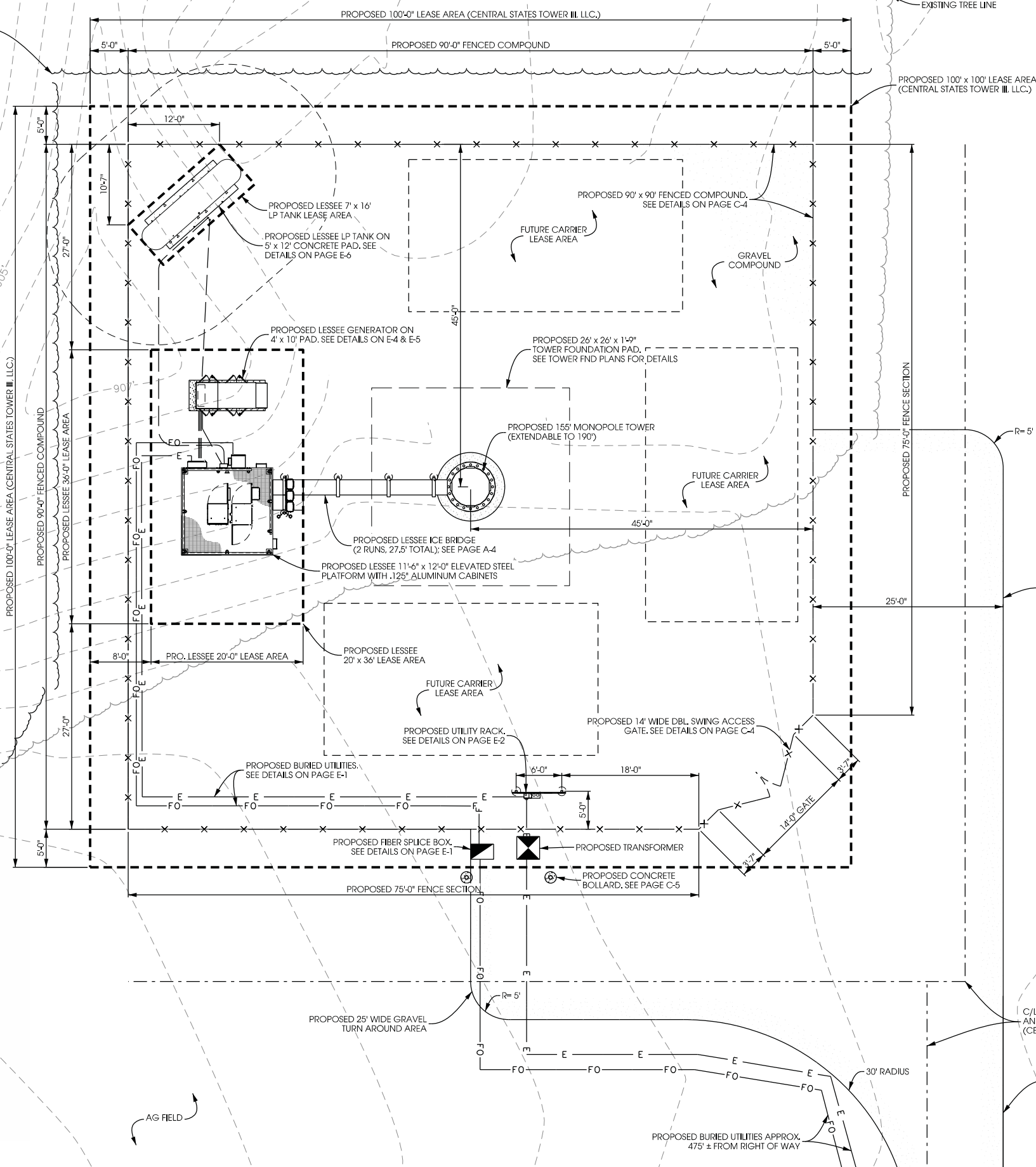
EXISTING TREE LINE

AG FIELD

AG FIELD



PROPOSED LEASE AREA [LOOKING NORTHEAST]



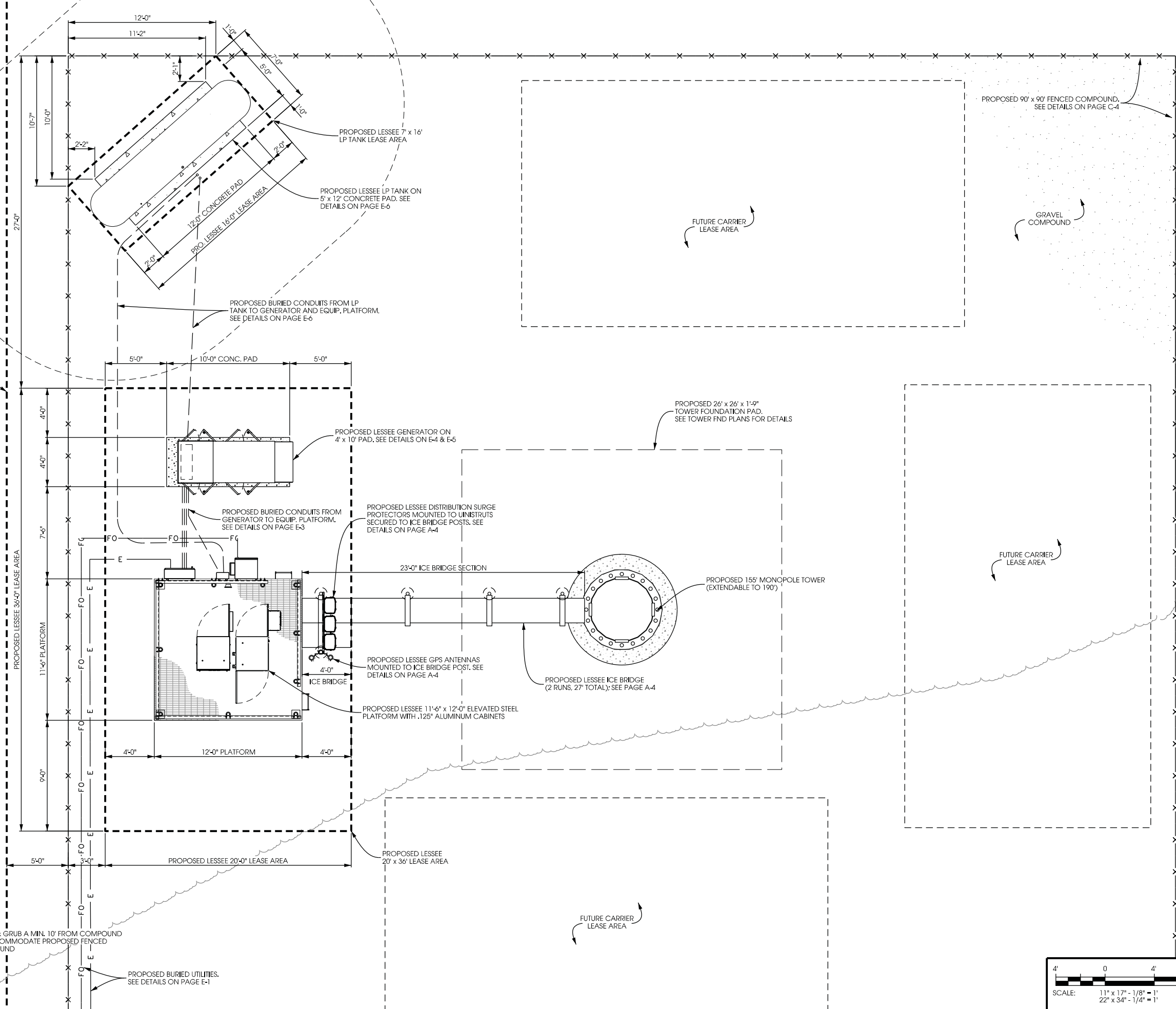
SCALE: 11" x 17" - 1/16" = 1' 22" x 34" - 1/8" = 1'

COMPOUND PLAN HWY 51 & PLEASANT HILL [185952] STOUGHTON, WISCONSIN

Table with columns for SHEET TITLE, PRELIMINARY DWGS, STAMPED PERMIT DWGS, STAMPED FINAL DWGS, CHECKED BY, PLOT DATE, PROJECT #, FILE NAME, SHEET NUMBER.



PROPOSED 100' x 100' LEASE AREA  
(CENTRAL STATES TOWER III, LLC.)



PROPOSED 90' x 90' FENCED COMPOUND.  
SEE DETAILS ON PAGE C-4

FUTURE CARRIER  
LEASE AREA

GRAVEL  
COMPOUND

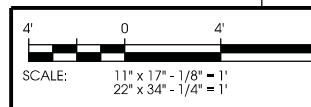
PROPOSED 26' x 26' x 1'-9"  
TOWER FOUNDATION PAD.  
SEE TOWER FND PLANS FOR DETAILS

FUTURE CARRIER  
LEASE AREA

FUTURE CARRIER  
LEASE AREA

CLEAR & GRUB A MIN. 10' FROM COMPOUND  
TO ACCOMMODATE PROPOSED FENCED  
COMPOUND

PROPOSED BURIED UTILITIES.  
SEE DETAILS ON PAGE E-1



# ENLARGED COMPOUND PLAN

## HWY 51 & PLEASANT HILL [185952]

### STOUGHTON, WISCONSIN

SHEET TITLE:

PRELIMINARY DWGS:	INI:
SITE SKETCH - 12/15/2015	NAT
CD 90's REV.1 - 01/29/2016	CV
CD 90's REV.2 - 06/17/2016	NAT

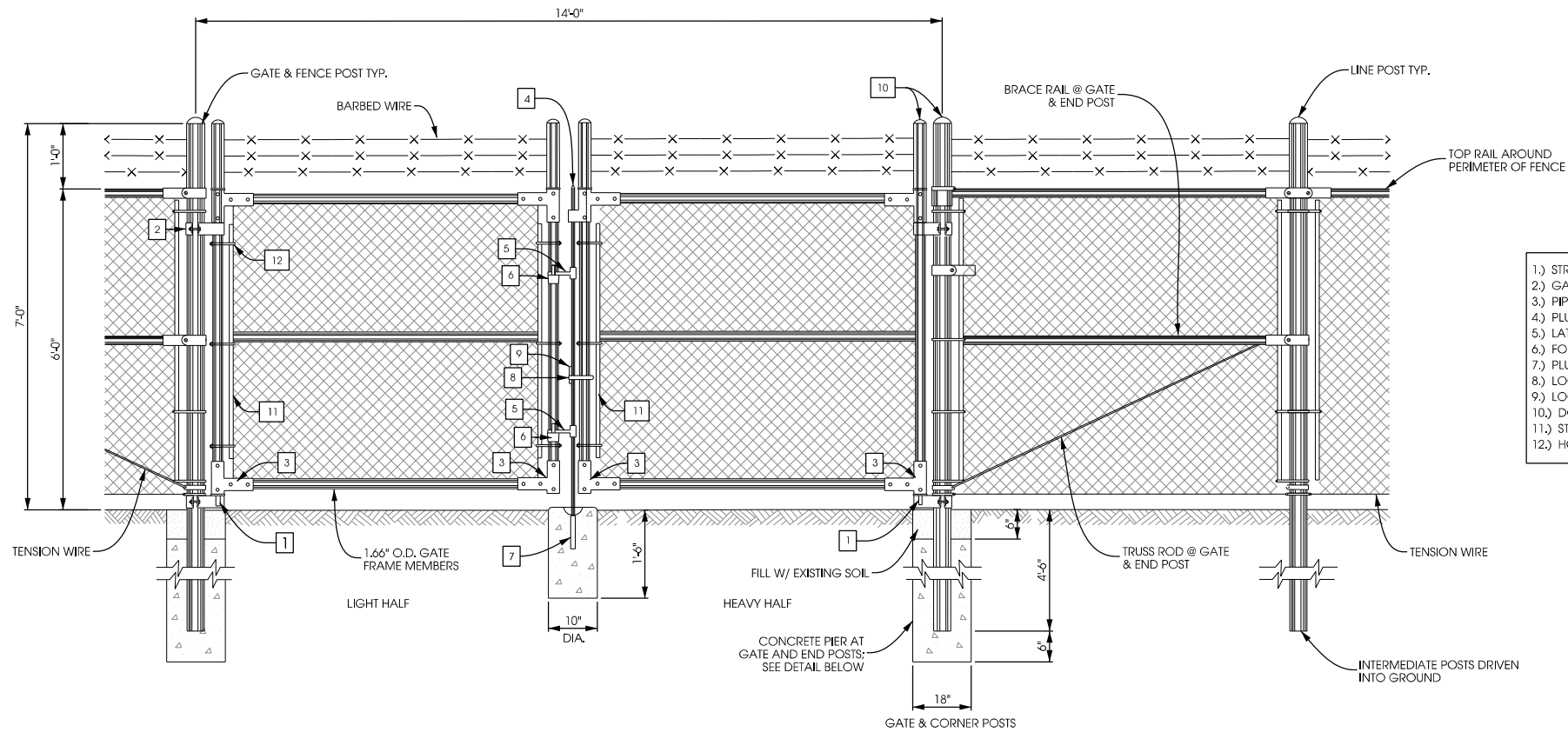
STAMPED PERMIT DWGS:

STAMPED FINAL DWGS:

CHECKED BY:  
PCM  
PLOT DATE:  
6/17/2016  
PROJECT #:  
13759  
FILE NAME:  
C-3.dgn

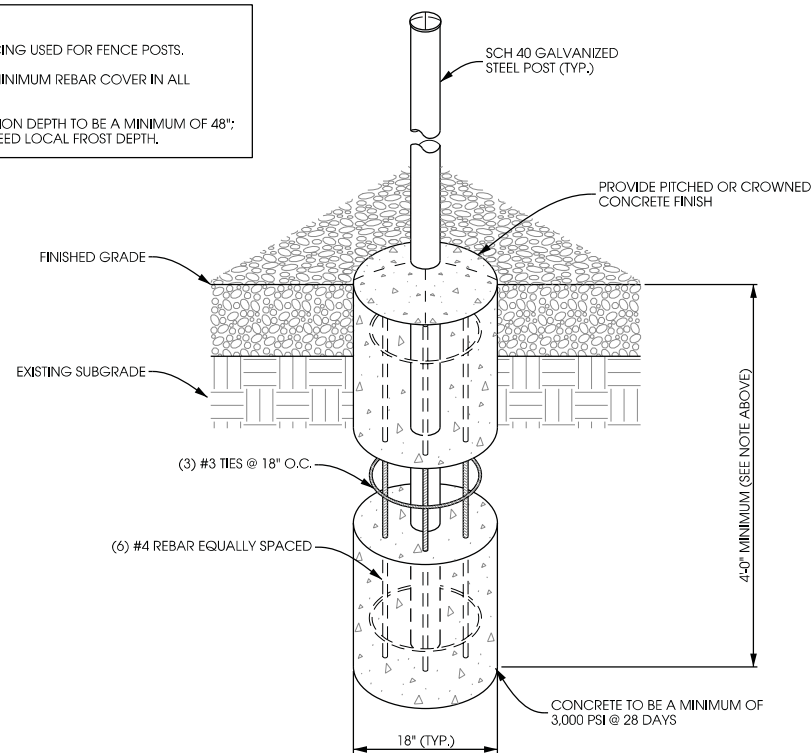
SHEET NUMBER:  
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**A VEHICLE GATE**  
SCALE : NTS

**NOTES:**  
PIER REINFORCING USED FOR FENCE POSTS.  
MAINTAIN 3" MINIMUM REBAR COVER IN ALL DIRECTIONS.  
PIER FOUNDATION DEPTH TO BE A MINIMUM OF 48" DEPTH TO EXCEED LOCAL FROST DEPTH.



**B FENCE PIER FOUNDATION DETAIL**  
SCALE: 11" x 17" - 1/2" = 1'-0"  
22" x 34" - 1" = 1'-0"

**FENCING NOTES**  
(IF DIFFERENT SPECIFICATION THAN PAGES (SP-1 AND SP-2) THESE NOTES WILL SUPERCEDE)

ALL FENCING USED BY THE GC MUST MEET OR EXCEED THE FOLLOWING:  
HARDWARE SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED. 9 GAUGE 2 INCH OR SMALLER MESH.  
ALL POSTS AND BRACING MUST BE SCHEDULE 40  
AROUND THE COMPOUND PERIMETER, THE GC SHALL INSTALL A COMMERCIAL-GRADE GALVANIZED 7' HIGH CHAIN LINK FENCE WITH A TOP RAIL, THREE STRANDS OF BARBED WIRE FACING OUT AT THE TOP, AND A CONTINUOUS STRETCH WIRE AT THE BOTTOM. THE GC SHALL REFER TO SITE PLAN FOR DIMENSIONS.  
ON COLLOCATIONS THE NEW FENCING MUST MATCH EXISTING FENCING.  
THE GC SHALL PROVIDE 14' WIDE ENTRANCE (REFER TO DRAWINGS FOR SITE SPECIFIC DETAILS). THE GC SHALL BOND GATE TO FENCE WITH FLEXIBLE BOND STRAPS. THE TOP RAIL OF THE FENCE WILL BE ELECTRICALLY BONDED AT ALL CORNERS (4) AND AT ALL JOINTS BY THE GC.  
THE FENCE IS TO BE CADWELDED BY THE GC TO THE TOWER GROUND RING.

\*\* IN ADDITION TO ALL OTHER NECESSARY SAFETY AND CUSTOMARY PRECAUTIONS, THE GC IS OBLIGATED TO TAKE THE GC SHALL INSTALL ORANGE TEMPORARY FENCING AROUND THE PERIMETER, WHICH IS OF SUFFICIENT HEIGHT AND STRUCTURAL INTEGRITY TO PREVENT ACCESS TO THE SITE WHEN THE GC IS NOT PRESENT AT THE PROJECT SITE.

SHEET TITLE:

PRELIMINARY DWGS:	INI:
SITE SKETCH - 12/15/2015	NAT
CD 90's REV.1 - 01/29/2016	CV
CD 90's REV.2 - 06/17/2016	NAT
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
CHECKED BY:	PCM
PLOT DATE:	6/17/2016
PROJECT #:	13759
FILE NAME:	C-4.dgn
SHEET NUMBER:	



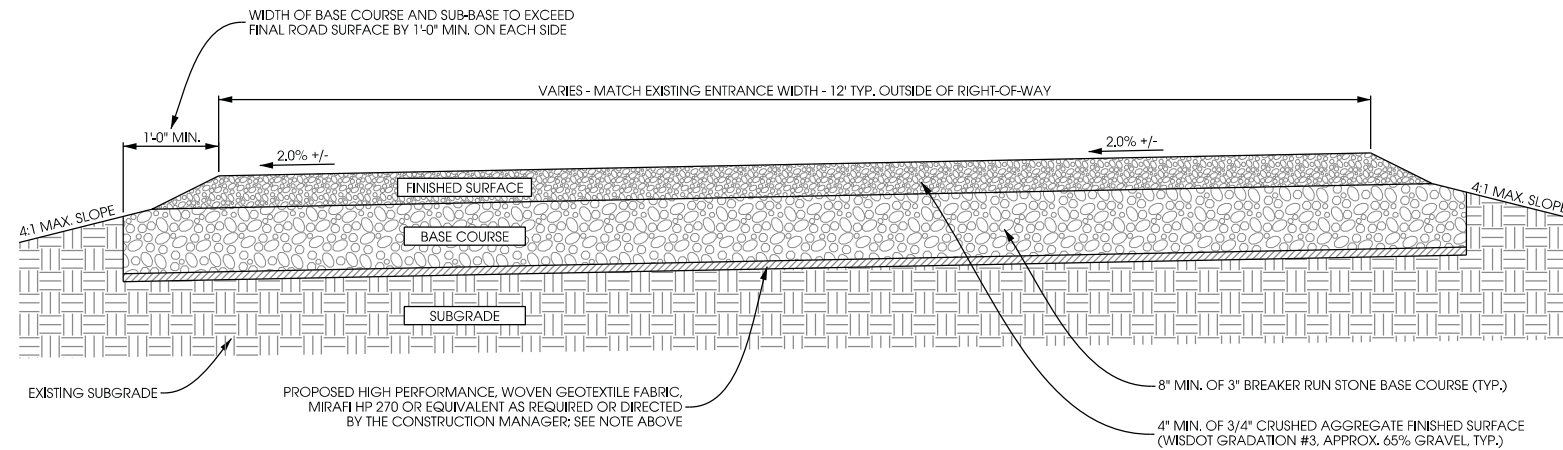
**NOTES:**  
 REMOVE ALL TOPSOIL, ORGANIC MATERIAL AND WET OR POOR SOILS ALONG ACCESS DRIVE. CONTRACTOR TO REVIEW SITE CONDITIONS AND CONSULT GEOTECHNICAL REPORT FOR ANTICIPATED DEPTH OF SOILS THAT WILL REQUIRE REMOVAL. IF POOR SOILS ARE ENCOUNTERED AT A DEPTH OF MORE THAN 12", CONTACT CONSTRUCTION MANAGER FOR GUIDANCE.  
 SUBGRADE TO BE COMPACTED TO 95% MODIFIED PROCTOR AND VERIFIED BY PROOF-ROLL OR GEOTECHNICAL RECOMMENDATIONS.  
 CONSULT GRADING PLAN OR SITE PLAN FOR FINAL SITE GRADES.

**RESTORATION:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRAVEL ACCESS DRIVE REPAIR AND RESTORATION FOLLOWING CONSTRUCTION COMPLETION. ANY DISTURBED OR DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION UPON COMPLETION OF WORK.

**GRAVEL DRIVE REQUIREMENTS:**  
 THICKNESS OF GRAVEL ACCESS DRIVE BASE COURSE TO BE DETERMINED BASED ON THE EXISTING SOIL BEARING CAPACITY (PER UFC DESIGN RECOMMENDATIONS):

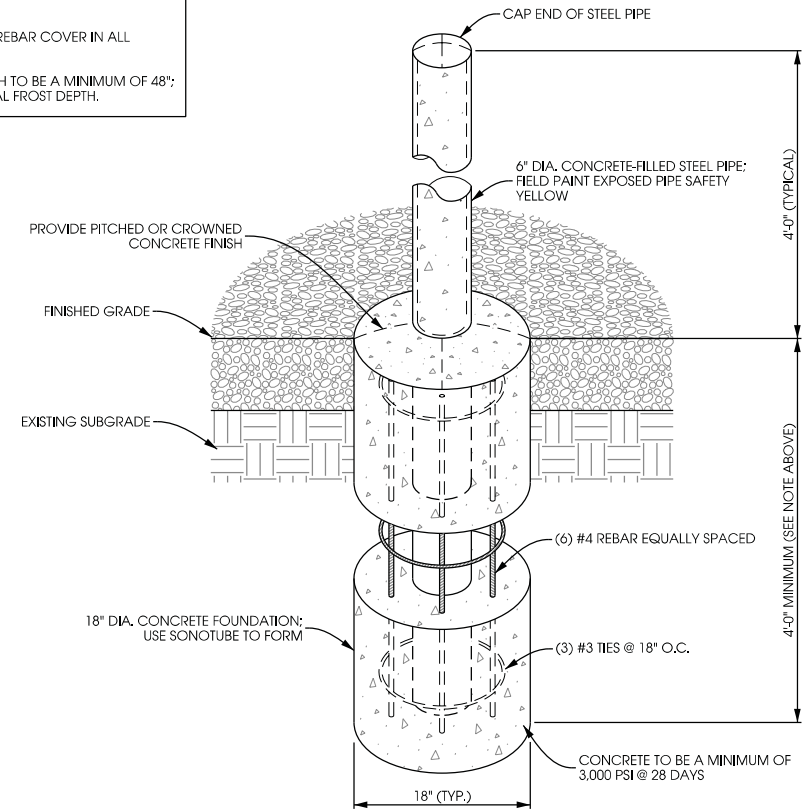
BEARING CAPACITY	REQ'D AGGREGATE THICKNESS
1000 PSF	*16" MIN.
1500 PSF	12" MIN.
≥ 2000 PSF	8" MIN. (SEE DETAIL)

IF POOR OR WET SOILS ARE PRESENT BELOW BASE COURSE, CONTRACTOR TO INSTALL 6" MIN. WELL-GRADED GRAVEL/SAND SUB-BASE TO FACILITATE ADEQUATE DRAINAGE AND STABILITY.  
 FOR ACCESS DRIVE SLOPES GREATER THAN 10%, CONTRACTOR TO USE MIRAFI HP 270 OR EQUIVALENT GEOTEXTILE FABRIC.  
 CONSULT GEOTECHNICAL REPORT FOR ANTICIPATED SOIL CONDITIONS.



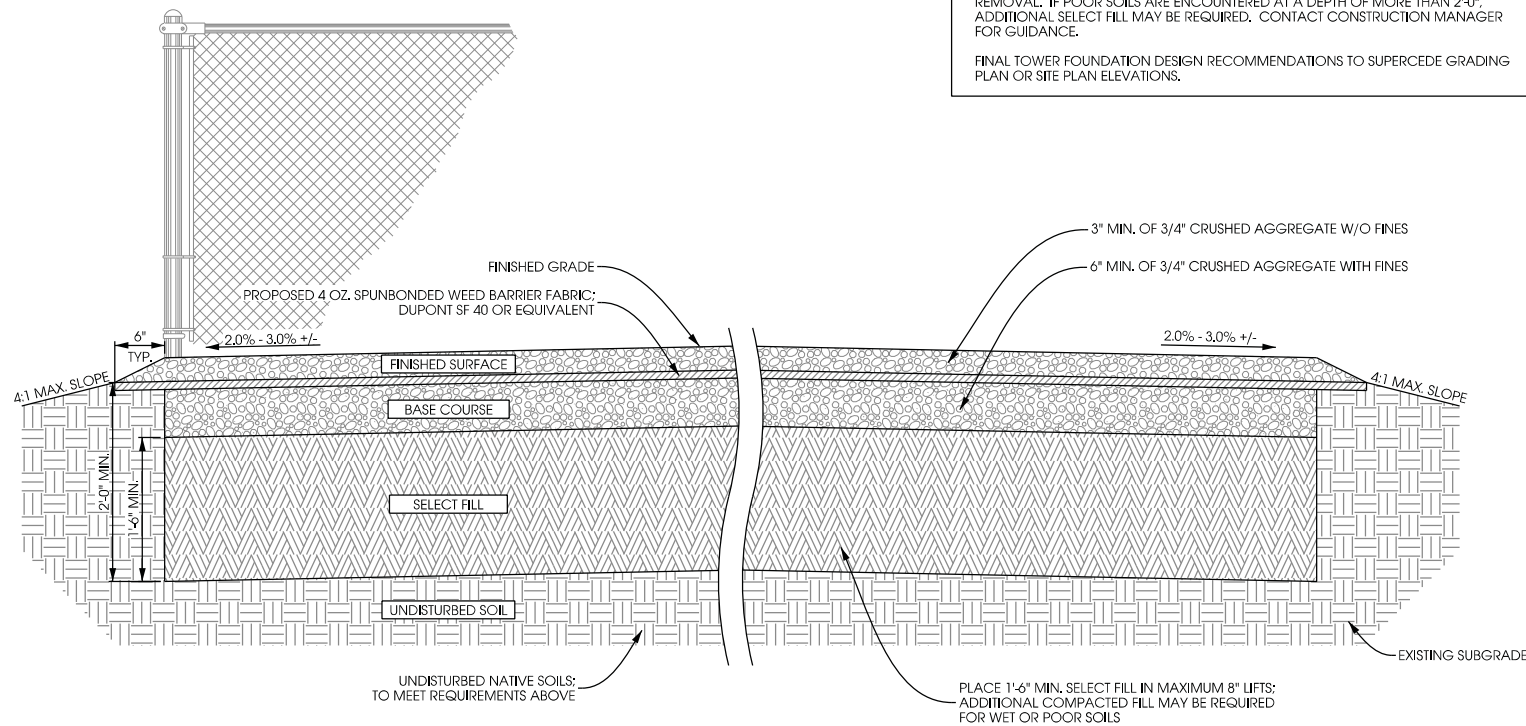
**A GRAVEL DRIVE CROSS SECTION**  
 SCALE: NTS

**NOTES:**  
 MAINTAIN 3" MINIMUM REBAR COVER IN ALL DIRECTIONS.  
 PIER FOUNDATION DEPTH TO BE A MINIMUM OF 48"; DEPTH TO EXCEED LOCAL FROST DEPTH.



**B PIPE BOLLARD DETAIL**  
 SCALE: NTS

**NOTES:**  
 REMOVE ALL TOPSOIL, ORGANIC MATERIAL AND WET OR POOR SOILS WITHIN COMPOUND AREA. CONTRACTOR TO REVIEW SITE CONDITIONS AND CONSULT GEOTECHNICAL REPORT FOR ANTICIPATED DEPTH OF SOILS THAT WILL REQUIRE REMOVAL. IF POOR SOILS ARE ENCOUNTERED AT A DEPTH OF MORE THAN 2'-0", ADDITIONAL SELECT FILL MAY BE REQUIRED. CONTACT CONSTRUCTION MANAGER FOR GUIDANCE.  
 FINAL TOWER FOUNDATION DESIGN RECOMMENDATIONS TO SUPERCEDE GRADING PLAN OR SITE PLAN ELEVATIONS.



**C COMPOUND CROSS SECTION**  
 SCALE: NTS

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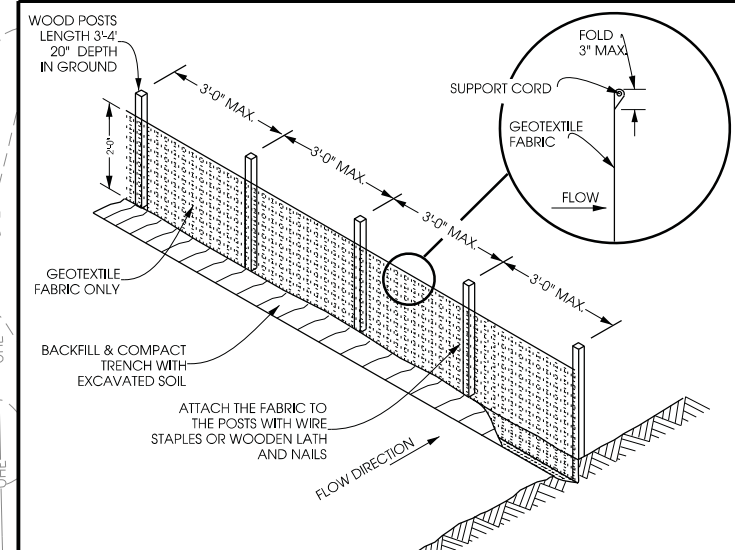
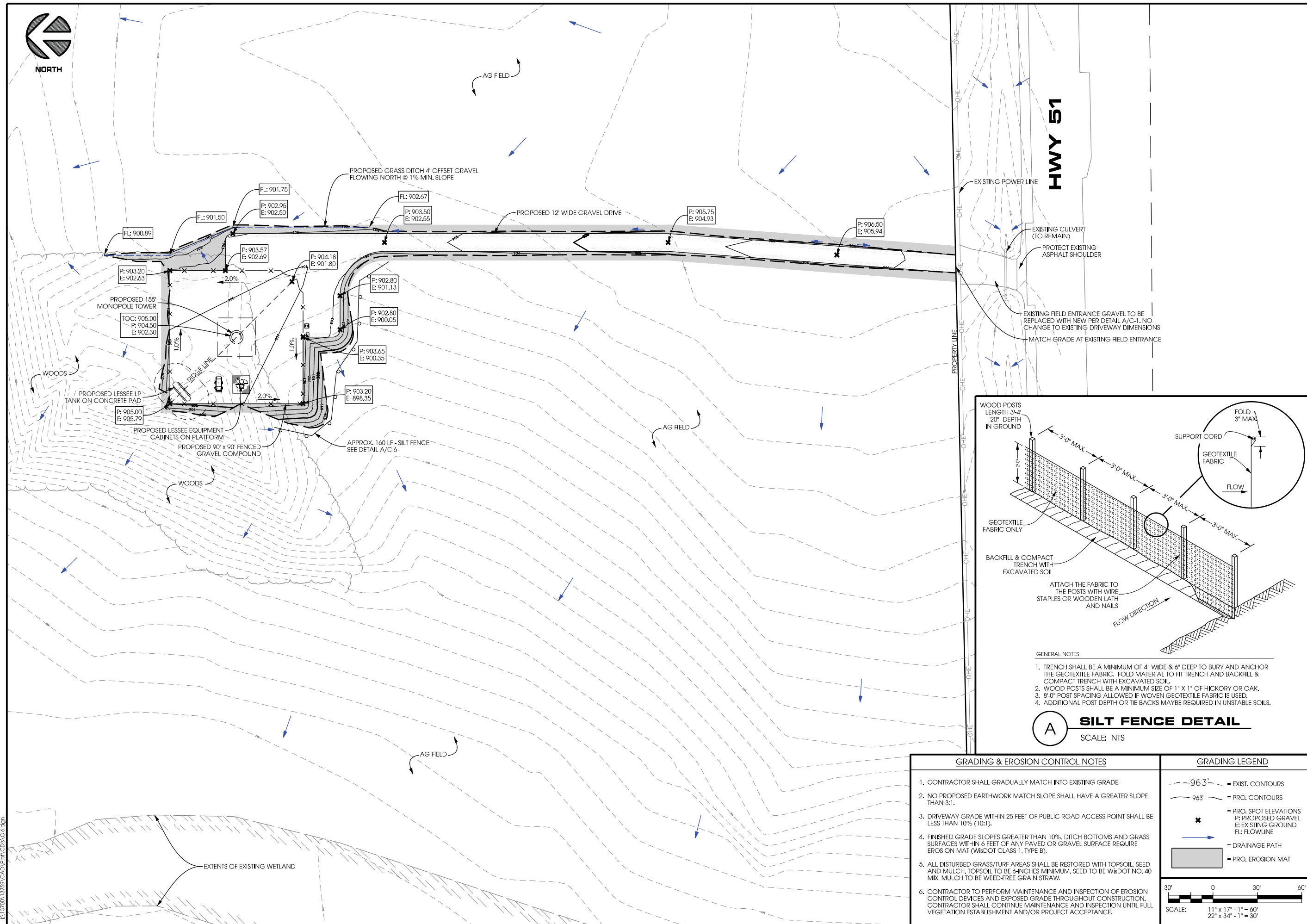
SHEET TITLE:

PRELIMINARY DWGS:	INI:
SITE SKETCH - 12/15/2015	NAT
CD 90% REV.1 - 01/29/2016	CV
CD 90% REV.2 - 06/17/2016	NAT
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	
CHECKED BY:	PCM
PLOT DATE:	6/17/2016
PROJECT #:	13759
FILE NAME:	C-5.dgn
SHEET NUMBER:	

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**GRADING PLAN**  
**HWY 51 & PLEASANT HILL (185952)**  
**STOUGHTON, WISCONSIN**



- GENERAL NOTES**
1. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
  2. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" X 1" OF HICKORY OR OAK.
  3. 8'-0" POST SPACING ALLOWED IF WOVEN GEOTEXTILE FABRIC IS USED.
  4. ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

- GRADING & EROSION CONTROL NOTES**
1. CONTRACTOR SHALL GRADUALLY MATCH INTO EXISTING GRADE.
  2. NO PROPOSED EARTHWORK MATCH SLOPE SHALL HAVE A GREATER SLOPE THAN 3:1.
  3. DRIVEWAY GRADE WITHIN 25 FEET OF PUBLIC ROAD ACCESS POINT SHALL BE LESS THAN 10% (10:1).
  4. FINISHED GRADE SLOPES GREATER THAN 10%. DITCH BOTTOMS AND GRASS SURFACES WITHIN 6 FEET OF ANY PAVED OR GRAVEL SURFACE REQUIRE EROSION MAT (W&DOT CLASS 1, TYPE B).
  5. ALL DISTURBED GRASS/TURF AREAS SHALL BE RESTORED WITH TOPSOIL, SEED AND MULCH. TOPSOIL TO BE 6-INCHES MINIMUM. SEED TO BE W&DOT NO. 40 MIX. MULCH TO BE WEED-FREE GRAIN STRAW.
  6. CONTRACTOR TO PERFORM MAINTENANCE AND INSPECTION OF EROSION CONTROL DEVICES AND EXPOSED GRADE THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL CONTINUE MAINTENANCE AND INSPECTION UNTIL FULL VEGETATION ESTABLISHMENT AND/OR PROJECT ACCEPTANCE.

**GRADING LEGEND**

- - - 96.3'	= EXIST. CONTOURS
— 96.3'	= PRO. CONTOURS
x	= PRO. SPOT ELEVATIONS
P	= PROPOSED GRAVEL
E	= EXISTING GROUND
FL	= EXISTING GROUND FLOWLINE
→	= DRAINAGE PATH
[Hatched Area]	= PRO. EROSION MAT

SCALE: 11" x 17" - 1" = 60'  
22" x 34" - 1" = 30'

**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHKD.
1	12/15/2015	SITE SKETCH	NAT	
2	01/29/2016	CD 90'S REV-1	CV	
3	06/17/2016	CD 90'S REV-2	NAT	

**STAMPED PERMIT DWGS:** \_\_\_\_\_

**STAMPED FINAL DWGS:** \_\_\_\_\_

CHECKED BY: \_\_\_\_\_  
PC/M  
PLOT DATE: 6/17/2016  
PROJECT #: 13759  
FILE NAME: C-6.dgn  
SHEET NUMBER: **0-6**

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HYBRID CABLE INFO	
QUANTITY	3
LENGTH FROM GROUND SURGE PROTECTOR TO TOWER	25'±
LENGTH FROM T.O.C. TO TOWER SURGE PROTECTOR C/L	150'±
TOTAL HYBRID CABLE LENGTH	175'±

- NOTES:**
- 1.) CONTRACTOR TO VERIFY HEIGHT AND DIRECTION OF ANTENNA WITH PROJECT MANAGER & FINAL RF DESIGN.
  - 2.) HYBRID CABLE LENGTH NOT TO EXCEED 367'.
  - 3.) HYBRID JUMPER CABLE LENGTH NOT TO EXCEED 30'.
  - 4.) IF CABLING LENGTH EXCEEDS MAXIMUM ALLOWED CONTRACTOR SHALL CONTACT CLIENT AND ENGINEER TO RESOLVE PRIOR TO CONSTRUCTION.

- LEGEND:**
- PROPOSED LTE/AWS/PCS PANEL ANTENNA
  - PROPOSED DISTRIBUTION SURGE PROTECTOR
  - PROPOSED 700 (B13) REMOTE RADIO UNIT W/ A2
  - PROPOSED AWS (B4) REMOTE RADIO UNIT
  - PROPOSED PCS (B2) REMOTE RADIO UNIT

- NOTES:**
- 1.) ALL ANTENNA AZIMUTHS REFERENCED FROM TRUE NORTH.
  - 2.) SEE PAGE A-5 FOR INSTALLATION REQUIREMENTS OF ANTENNAS AND EQUIPMENT.



**Edge Consulting Engineers, Inc.**  
 624 Water Street  
 Profile du Soc. WI 53578  
 608.644.1449 vo/ce  
 608.644.1549 fax  
 www.edgeconsulting.com

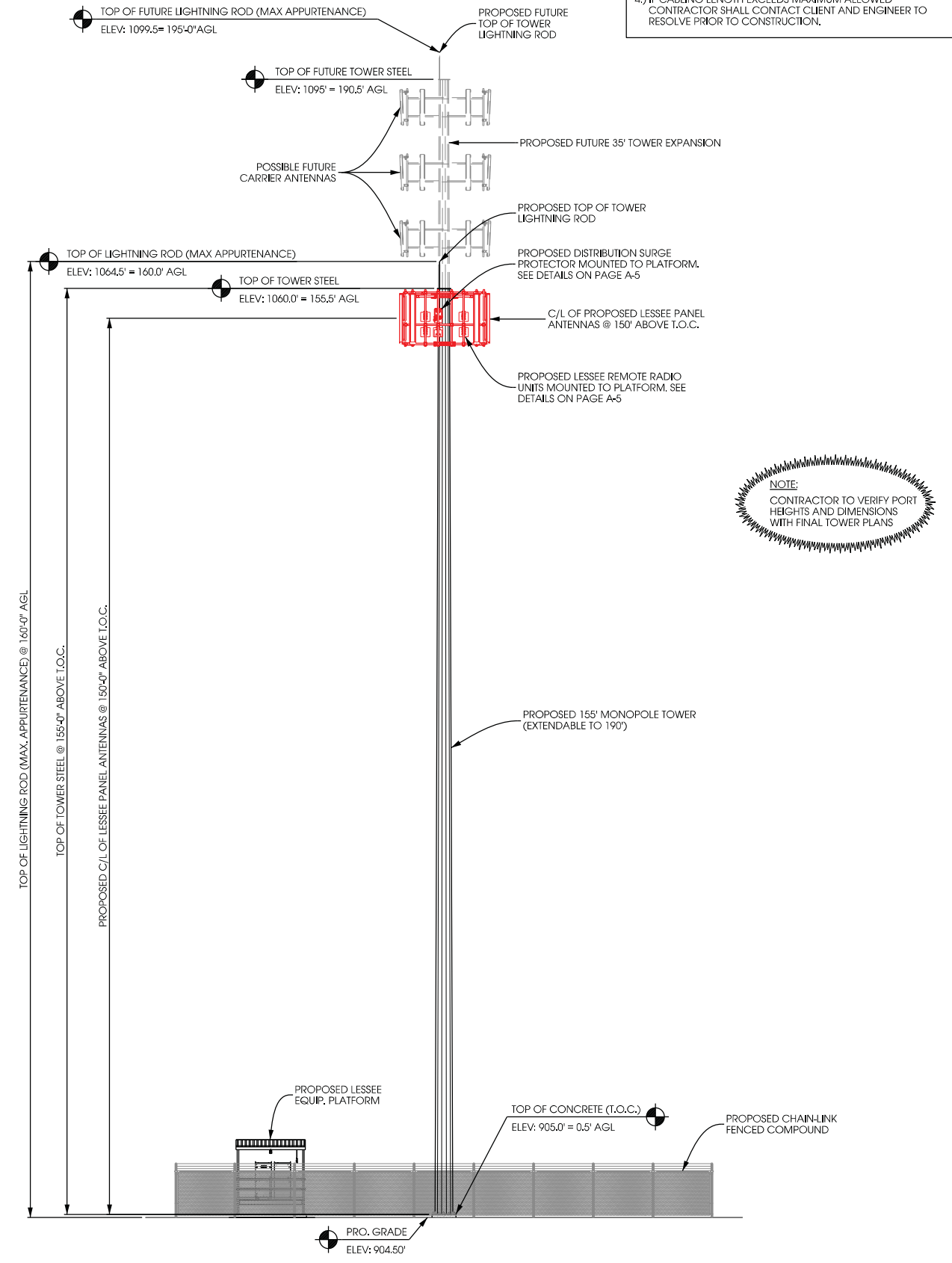
# TOWER ELEVATION HWY 51 & PLEASANT HILL [185952] STOUGHTON, WISCONSIN

SHEET TITLE:

PRELIMINARY DWGS:	INI:
SITE SKETCH - 12/15/2015	NAT
CD 90% REV.1 - 01/29/2016	CV
CD 90% REV.2 - 06/17/2016	NAT
STAMPED PERMIT DWGS:	
STAMPED FINAL DWGS:	

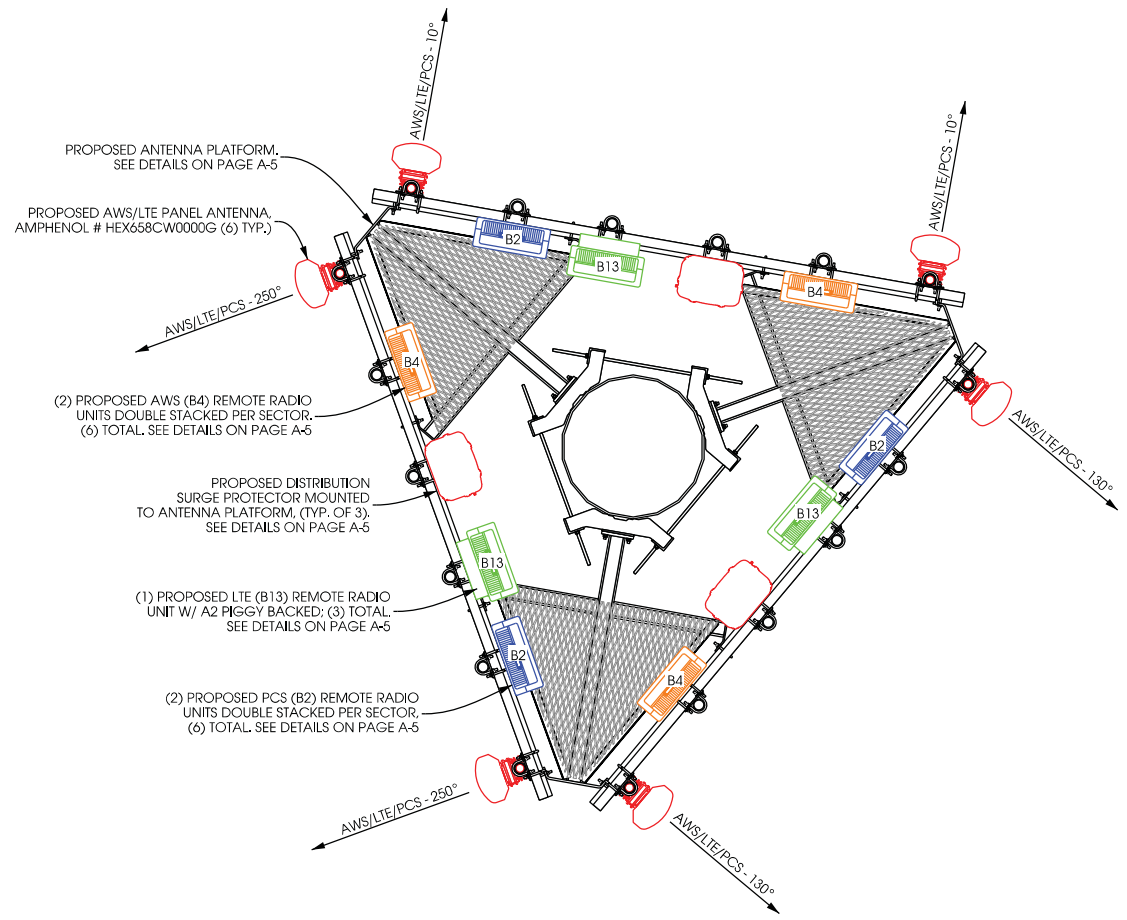
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PCM  
 PLOT DATE:  
6/17/2016  
 PROJECT #:  
13759  
 FILE NAME:  
A-1.dgn

SHEET NUMBER:  
**A-1**



**NOTE:**  
 CONTRACTOR TO VERIFY PORT HEIGHTS AND DIMENSIONS WITH FINAL TOWER PLANS

**A TOWER PROFILE [SOUTH ELEVATION]**  
 SCALE: 11" x 17" - 1" = 24'-0"  
 22" x 34" - 1" = 12'-0"



**B ANTENNA & EQUIPMENT ORIENTATION**  
 SCALE: NTS

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### **LEASE PARCEL**

A part of the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) of Section Two (2), Township Five (5) North, Range Eleven (11) East, Town of Dunkirk, Dane County, Wisconsin containing 10,000 square feet (0.230 acres) of land and being described by:

Commencing at the Southwest Corner of said Section 2; thence N88°-39'-05"E 547.02 feet along the South line of the SW1/4 of said Section 2; thence N01°-20'-55"W 523.89 feet to the point of beginning; thence N00°-00'-00"E 100.00 feet; thence N90°-00'-00"E 100.00 feet; thence S00°-00'-00"E 100.00 feet; thence S90°-00'-00"W 100.00 feet to the point of beginning being subject to any and all easements and restrictions of record.

### **30' WIDE UTILITY AND INGRESS/EGRESS EASEMENT**

A part of the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) of Section Two (2), Township Five (5) North, Range Eleven (11) East, Town of Dunkirk, Dane County, Wisconsin containing 19,389 square feet (0.445 acres) of land and being Fifteen (15) feet each side of and parallel to the following described line:

Commencing at the Southwest Corner of said Section 2; thence N88°-39'-05"E 547.02 feet along the South line of the SW1/4 of said Section 2; thence N01°-20'-55"W 508.88 feet to the point of beginning; thence N90°-00'-00"E 109.65 feet to a point herein after referred to as "Point A"; thence continue N90°-00'-00"E 5.00 feet; thence N00°-00'-00"E 110.00 feet to the point of termination. Also beginning at said "Point A" thence S00°-00'-00"E 226.92 feet; thence S04°-15'-36"W 194.72 feet to a point on the north line of U.S.H. 51 and the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said north line of U.S.H. 51.

### **PARENT PARCEL**

All that parcel of land in Dane County, State of Wisconsin, as more fully described in Deed Doc # 4923266, ID# 026/0511-023-9001-1, being known and designated as follows:

The Southwest 1/4 of the Southwest 1/4 of Section 2, T5N, R11E, in the Town of Dunkirk, Dane County, Wisconsin, except those lands conveyed in Instrument recorded August 9, 1990, as Document No. 2216081.

By fee simple deed from Laurie Swenson, as guardian of Harold L. Gilbertson as set forth in Doc # 4923266 dated 10/08/2012 and recorded 10/16/2012, Dane County Records, State of Wisconsin.

### **TITLE REPORT REVIEW**

Title Report: American Settlement Services

Order No. 11397253

Effective Date: November 13, 2015

Fee Simple Title Vested In: Donald P. Squires, Jr.

NOTE: The statement of applicability refers to the Lease Site and any Easements pertinent thereunto. Where specific encumbrances affect the Lease Site and/or a Pertinent Easement, they are identified as such.

Schedule B-II

(1-9) These are general statements and not specific encumbrances.

(10a) Subject to right of way from Harold L. Gilbertson to Wisconsin Bell, Inc. recorded 10/12/1990 in Doc# 2228757, Dane County Records. **Does Apply. Grant located along U.S.H. "51" and Pleasant Hill Road, plotted as shown.**

(10b) Subject to authorization for access to or across a controlled-access highway from Wisconsin Department of Transportation to Harold L. Gilbertson, recorded 06/29/2004 in Doc# 3934610, Dane County Records. **Does Apply. Access drive to field from U.S.H. "51", plotted as shown.**

(11-13) These are general statements and not specific encumbrances.