

Dane County Conditional Use Permit Application

Application Date	C.U.P Number
02/29/2024	DCPCUP-2024-02614
Public Hearing Date	
05/28/2024	

OWNER INFORMATION	AGENT INFORMATION
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OWNER NAME LYNN AND JEROME ZANDER	Phone with Area Code (608) 669-5627	AGENT NAME RUEKERT MIELKE (CORY HORTON)	Phone with Area Code (262) 953-4153
BILLING ADDRESS (Number, Street) 9283 WINDY LN		ADDRESS (Number, Street) 4630 SOUTH BILTMORE LANE	
(City, State, Zip) MT HOREB, WI 53572		(City, State, Zip) Madison, WI 53718	
E-MAIL ADDRESS jelyzan@gmail.com		E-MAIL ADDRESS chorton@ruekert-mielke.com	

ADDRESS/LOCATION 1	ADDRESS/LOCATION 2	ADDRESS/LOCATION 3
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ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP	
East of 9283 Windy Lane					
TOWNSHIP CROSS PLAINS	SECTION 32	TOWNSHIP	SECTION	TOWNSHIP	SECTION
PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED	
0707-323-9000-4		---		---	

CUP DESCRIPTION

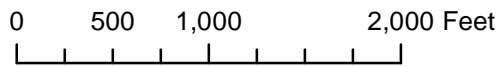
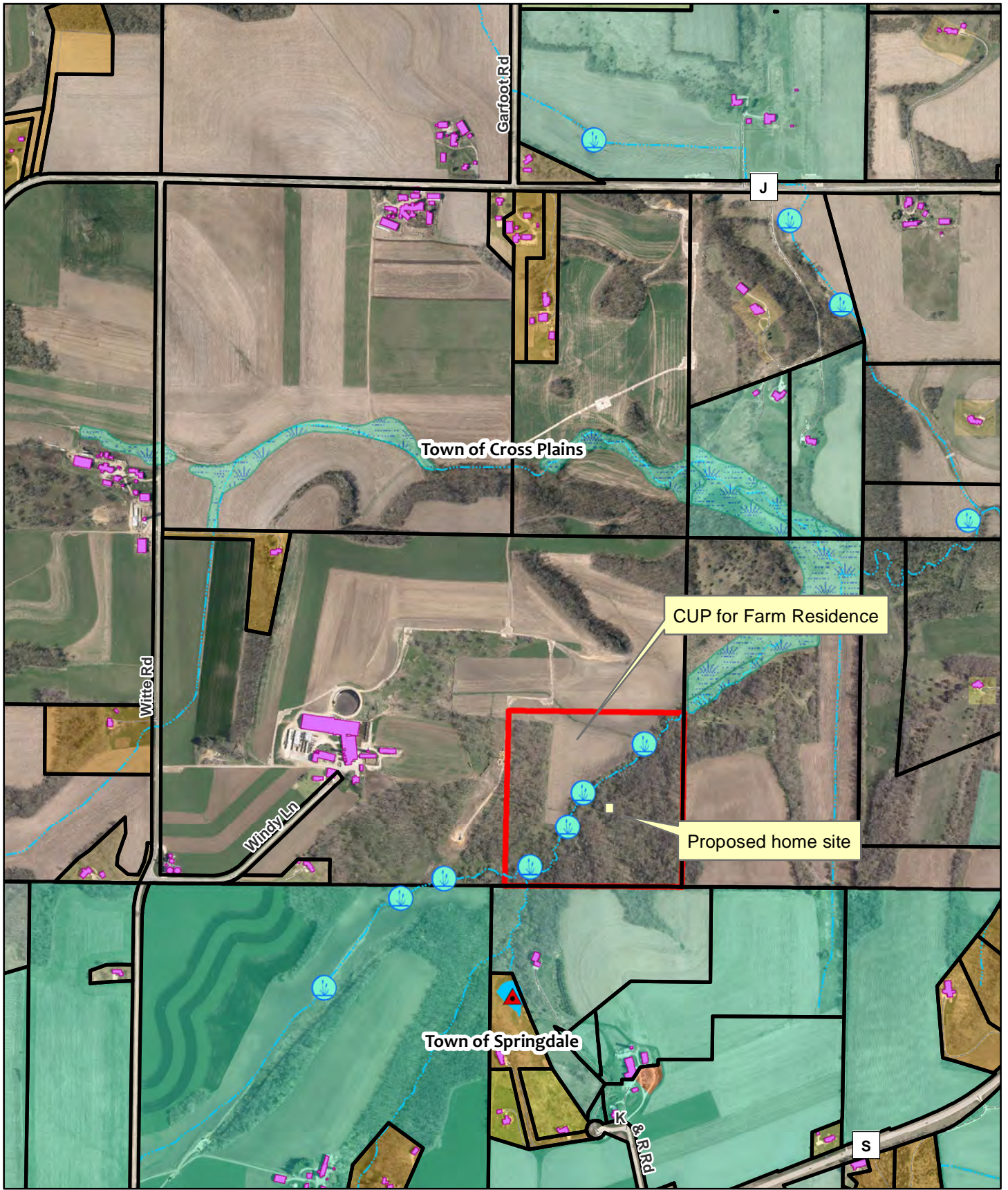
Farm residence

DANE COUNTY CODE OF ORDINANCE SECTION	ACRES
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10.222(3)	40
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DEED RESTRICTION REQUIRED? <input type="checkbox"/> Yes <input type="checkbox"/> No Applicant Initials _____	Inspectors Initials RUH1	SIGNATURE:(Owner or Agent) PRINT NAME: DATE:
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COMMENTS: PROJECT WILL REQUIRE SHORELAND ZONING PERMIT, SHORELAND EROSION CONTROL PERMIT, AND DNR PERMIT FOR OVER 1 ACRE OF LAND DISTURBANCE



CUP 2614



Dane County
 Department of Planning and Development
 Zoning Division
 Room 235, City-County Building
 210 Martin Luther King Jr. Blvd.
 Madison, Wisconsin 53703
 (608) 266-4266

Application Fees	
General	\$400
Special Extraction	\$1,000
Communication Fees	\$2,000 (1-800-85-4876 fee)

PERMIT FEE DOUBLE FOR VIOLATIONS OR WHEN WORK HAS STARTED PRIOR TO ISSUANCE OF PERMIT

CONDITIONAL USE PERMIT APPLICATION

APPLICANT INFORMATION

Property Owner Name:	Lynn and Jerone Zander	Agent Name:	Cory Horton, P.E.
Address (Number & Street):	9283 Windy Lane	Address (Number & Street):	4630 South Billmore Lane
Address (City, State, Zip):	Mc Horts, WI 53572	Address (City, State, Zip):	Madison, WI 53718
Email Address:	jelyzan@gmail.com	Email Address:	chorlon@ruksied-mielke.com
Phone#:	608-860-5627	Phone#:	262-953-4153

SITE INFORMATION

Township:	Cross Plains	Parcel Number(s):	0200707-323-9000-4
Section:	31/32	Property Address or Location:	32-7-7 SW1/4 SW1/4 (9283 Windy Lane)
Existing Zoning:	FP35	Proposed Zoning:	FP35
CUP Code Section(s):			

DESCRIPTION OF PROPOSED CONDITIONAL USE

Type of conditional use permit (for example: limited family business, animal boarding, mineral extraction, or any other listed conditional use):

Agricultural Residence

Provide a short but detailed description of the proposed conditional use:

The applicant is proposing to construct a primary agricultural residence on their existing dairy farm. The original farm house, where the applicant currently lives, will be lived in by their son and family, who also operate the farm. The new residence will be served by a driveway and will have private sewer and water, as well as electric service.

Is this application being submitted to correct a violation?

Yes No

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determined that all necessary information has been provided. **Only complete applications will be accepted.** All information from the checklist below must be included. Note that additional application submittal requirements apply for particular uses or as may be required by the Zoning Administrator. Applicants for significant and/or potentially controversial conditional uses are strongly encouraged to meet with staff prior to submittal.

- Complete attached information sheet for standards
- Site Plan drawn to scale
- Detailed operational plan
- Written legal description of boundaries
- Detailed written statement of intent
- Application fee (non-refundable), payable to Dane County Treasurer

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I hereby give permission for staff of the Dane County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the review of this application. I acknowledge that submittal of false or incorrect information may be grounds for denial of this application.

Owner/Agent Signature: Lynn Zander

Date: 2-26-24



Dane County
Department of Planning and Development
 Zoning Division
 Room 116, City-County Building
 210 Martin Luther King Jr. Blvd.
 Madison, Wisconsin 53703
 (608) 266-4266

Application Fees	
General:	\$495
Mineral Extraction:	\$1145
Communication Tower:	\$1145 (+\$3000 RF eng review fee)
PERMIT FEES DOUBLE FOR VIOLATIONS OR WHEN WORK HAS STARTED PRIOR TO ISSUANCE OF PERMIT	

CONDITIONAL USE PERMIT APPLICATION

APPLICANT INFORMATION

Property Owner Name:		Agent Name:	
Address (Number & Street):		Address (Number & Street):	
Address (City, State, Zip):		Address (City, State, Zip):	
Email Address:		Email Address:	
Phone#:		Phone#:	

SITE INFORMATION

Township:		Parcel Number(s):	
Section:		Property Address or Location:	
Existing Zoning:	Proposed Zoning:	CUP Code Section(s):	

DESCRIPTION OF PROPOSED CONDITIONAL USE

Type of conditional use permit (for example: limited family business, animal boarding, mineral extraction, or any other listed conditional use):	Is this application being submitted to correct a violation? Yes <input type="checkbox"/> No <input type="checkbox"/>
Provide a short but detailed description of the proposed conditional use:	

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determined that all necessary information has been provided. Only complete applications will be accepted. All information from the checklist below must be included. Note that additional application submittal requirements apply for particular uses or as may be required by the Zoning Administrator. Applicants for significant and/or potentially controversial conditional uses are strongly encouraged to meet with staff prior to submittal.

<input type="checkbox"/> Complete attached information sheet for standards	<input type="checkbox"/> Site Plan drawn to scale	<input type="checkbox"/> Detailed operational plan	<input type="checkbox"/> Written legal description of boundaries	<input type="checkbox"/> Detailed written statement of intent	<input type="checkbox"/> Application fee (non-refundable), payable to Dane County Treasurer
----------------------------------------------------------------------------	---------------------------------------------------	----------------------------------------------------	------------------------------------------------------------------	---------------------------------------------------------------	------------------------------------------------------------------------------------------------------

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I hereby give permission for staff of the Dane County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the review of this application. I acknowledge that submittal of false or incorrect information may be grounds for denial of this application.

Owner/Agent Signature: _____

Date: _____

STANDARDS FOR CONDITIONAL USE PERMITS

Applicants must provide adequate evidence demonstrating to the Town and Dane County Zoning & Land Regulation Committee that the proposed conditional use satisfies the following 8 standards for approval, along with any additional standards specific to the applicable zoning district or particular use found in sections [10.220\(1\)](#) and [10.103](#) of the code.

Please explain how the proposed land use will meet the following standards (attach additional pages, if necessary):

- | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. The establishment maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare. |
| 2. The uses, values, and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by establishment, maintenance or operation of the conditional use. |
| 3. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. |
| 4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the conditional use. |
| 5. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. |
| 6. That the conditional use shall conform to all applicable regulations of the district in which it is located. |
| 7. The conditional use is consistent with the adopted town and county comprehensive plans. |
| 8. If the conditional use is located in a Farmland Preservation (FP) Zoning district, the conditional use is subject to the following additional standards found in section 10.220(1). Attach additional pages, if necessary. <ul style="list-style-type: none">• Explain how the use and its location in the Farmland Preservation Zoning District are consistent with the purposes of the district:
• Explain how the use and its location in the Farmland Preservation Zoning district are reasonable and appropriate, considering alternative locations:
• Explain how the use is reasonably designed to minimize the conversion of land from agricultural use or open space use:
• Explain how the use does not substantially impair or limit the current or future agricultural use of surrounding parcels zoned for agricultural use:
• Explain how construction damage to land remaining in agricultural use is minimized and repaired, to the extent feasible: |

WRITTEN STATEMENT OF INTENT AND OPERATIONS PLAN

Applicants must provide a detailed written statement of intent describing the proposed conditional use along with an operational plan that explains how the conditional use will be operated. Please use the form below and provide responses, as applicable, to your proposed conditional use. Attach additional pages, if necessary.

Describe in detail the proposed conditional use. Provide the specific location of the use(s), type of equipment used, planned property improvements, including description / size of existing or proposed new buildings to be used, and any other relevant information. For existing or proposed commercial operations, provide the name of the business and describe the nature and type of business activity.
List the proposed days and hours of operation.
List the number of employees, including both full-time equivalents and maximum number of personnel to be on the premises at any time.
List any anticipated noise, odors, dust, soot, runoff or pollution associated with the conditional use, along with any proposed measures that will be taken to mitigate impacts to neighboring properties.
Describe any materials proposed to be stored outside and any activities, processing or other operations taking place outside an enclosed building.
For proposals involving construction of new facilities and/or infrastructure, describe, as applicable, any measures being taken to ensure compliance with county stormwater and erosion control standards under Chapter 11 of Chapter 14 , Dane County Code.
List and describe existing or proposed sanitary facilities, including adequate private onsite wastewater treatment systems, associated with the proposed conditional use. For uses involving domestic pets or livestock, list and describe measures taken to address manure storage or management.
List and describe any existing or proposed facilities for managing and removal of trash, solid waste and recyclable materials.
Describe anticipated daily traffic, types and weights of vehicles, and any provisions, intersection or road improvements or other measures proposed to accommodate increased traffic.
Provide a listing of any hazardous, toxic or explosive materials to be stored on site, and any spill containment, safety or pollution prevention measures.
Describe any existing or proposed outdoor lighting along with any measures that will be taken to mitigate light-pollution impacts to neighboring properties. The Zoning Administrator may require submittal of a photometric plan for outdoor lighting if deemed necessary to determine potential impacts to neighbors.
Describe any existing or proposed signage, including size, location, and materials, consistent with the county's sign ordinance found in s. 10.800 .
Briefly describe the current use(s) of the property on which the conditional use is proposed.
Briefly describe the current uses of surrounding properties in the neighborhood.

APPLICATION CHECKLIST FOR A CONDITIONAL USE PERMIT

A scaled site plan and detailed operations plan must be submitted with your Conditional Use Permit application. Please use the checklist below to ensure you are submitting all required information applicable to your request. Please attach to your application form the required maps and plans listed below, along with any additional pages.

SCALED SITE PLAN. Show sufficient detail on 11" x 17" paper. Include the following information, as applicable:

- Scale and north arrow.
- Date the site plan was created.
- Existing subject property lot lines and dimensions.
- Existing and proposed wastewater treatment systems and wells.
- All buildings and all outdoor use and/or storage areas, existing and proposed, including provisions for water and sewer.
- All dimension and required setbacks, side yards and rear yards.
- Location and width of all existing and proposed driveway entrances onto public and private roadways, and of all interior roads or driveways.
- Location and dimensions of any existing utilities, easements or rights-of-way.
- Parking lot layout in compliance with s. [10.102\(8\)](#).
- Proposed loading/unloading areas.
- Zoning district boundaries in the immediate area. All districts on the property and on all neighboring properties must be clearly labeled.
- All relevant natural features, including navigable and non-navigable waters, floodplain boundaries, delineated wetland areas, natural drainage patterns, archeological features, and slopes over 12% grade.
- Location and type of proposed screening, landscaping, berms or buffer areas if adjacent to a residential area.
- Any lighting, signs, refuse dumpsters, and possible future expansion areas.

NEIGHBORHOOD CHARACTERISTICS. Describe existing land uses on the subject and surrounding properties:

- Provide a brief written statement describing the current use(s) of the property on which the conditional use is proposed.
- Provide a brief written statement documenting the current uses of surrounding properties in the neighborhood.

OPERATIONS PLAN AND NARRATIVE. Describe in detail the following characteristics of the operation, as applicable:

- Hours of operation.
- Number of employees, including both full-time equivalents and maximum number of personnel to be on the premises at any time.
- Anticipated noise, odors, dust, soot, runoff or pollution and measures taken to mitigate impacts to neighboring properties.
- Descriptions of any materials stored outside and any activities, processing or other operations taking place outside an enclosed building.
- Compliance with county stormwater and erosion control standards under [Chapter 11](#) of [Chapter 14](#), Dane County Code.
- Sanitary facilities, including adequate private onsite wastewater treatment systems and any manure storage or management plans approved by the Madison and Dane County Public Health Agency and/or the Dane County Land and Water Resources Department.
- Facilities for managing and removal of trash, solid waste and recyclable materials.
- Anticipated daily traffic, types and weights of vehicles, and any provisions, intersection or road improvements or other measures proposed to accommodate increased traffic.
- A listing of hazardous, toxic or explosive materials stored on site, and any spill containment, safety or pollution prevention measures taken.
- Outdoor lighting and measures taken to mitigate light-pollution impacts to neighboring properties.
- Signage, consistent with section [10.800](#).

ADDITIONAL MATERIALS. Additional information is required for certain conditional uses listed in s. [10.103](#):

- Agricultural entertainment, special events, or outdoor assembly activities anticipating over 200 attendees must file an [event plan](#).
- [Domestic pet](#) or [large animal boarding](#) must provide additional information in site and operations plans.
- Communication towers must submit additional information as required in s. [10.103\(9\)](#).
- Farm residences proposed in the FP-35 district must submit additional information as required in s. [10.103\(11\)](#).
- Mineral extraction proposals must submit additional information as required in s. [10.103\(15\)](#).

ZANDER FAMILY FARM

We are Jerome and Lynn Zander and we own a dairy farm and operate it along with our three sons, Jake, Ben and Nick and their families. Our farm is located at 9283 Windy Lane, just a few miles northeast of Mount Horeb and consists of approximately 500 acres of land, 345 of which are tillable. We also rent an additional 1500 acres of land where we grow corn, beans, wheat and alfalfa for our dairy operation and cash crops. On our farm, we have 300 Holstein milk cows as well as 200 replacement heifers and young stock.

We are both very involved in the day-to-day operation of the farm. I feed the calves every day and keep the books. Jerome is in charge of all the mixing of the feed and feeding all the cattle every day as well as working with the boys, planting and harvesting the crops and maintaining all the farm machinery. We have three full-time employees and five part-time employees who do the majority of the milking.

100% of our income comes from the farm with the sale of milk, corn, beans, and wheat.

Residential Development
Zander Family
Town of Cross Plains

Contour Map

Project #: 5366-10000
Drawn By: TPS
Approved By: TPS
Name: 3Contour
Date Saved: 1/18/2024

Figure 3



Legend

- 5 foot Intervals
- 1 foot Intervals
- Offsite Waterway
- Offsite Wetland
- Delineated Wetland (45,230.3 SF)
- Unnamed Stream (3,397.5 SF)
- Driveway
- 75ftsetbackDCC2011



0 25 50
Fe

partial Reference: NAD 1983 NARN WISCONSIN Dane County Feet



Zander Farm

Calvin Lawrence, Dennis Weise, Nirra Rihn

070732390004

X Q

PARCEL # 0707-323-9000-4

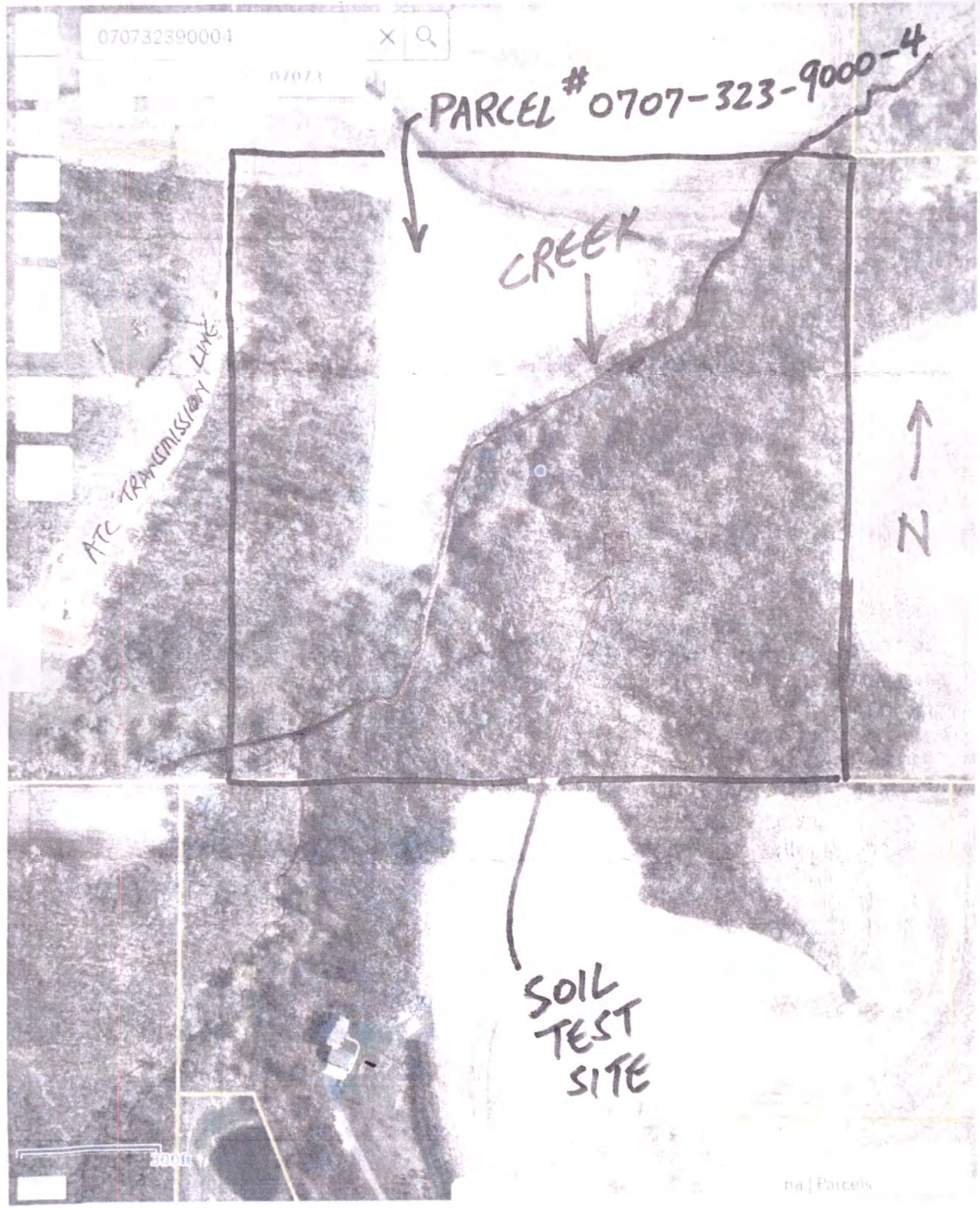
CREEK

ATE TRANSMISSION LINE

↑
N

SOIL TEST SITE

2000



CHECK BOX AS APPLICABLE.

SOIL EVALUATION
SITE MAP

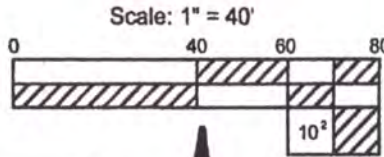
PROJECT NAME: _____

CHECK BOX AS APPLICABLE.

SYSTEM PAGE 6 OF 6
PLOT PLAN

DESIGN FLOW: 600 GPD

Attach design flow calculations for commercial plans.



Indicate north by drawing an arrow on the appropriate line.

Pipe Material / ASTM Standard (Tables 384.30-3 & 384.30-5)

Sanitary Sewer: _____ / _____

Force Main: _____ / _____

IMPORTANT:

Show ground elevation contours at suitable intervals.

PROJECT ADDRESS: _____

BM Symbol: BM Elevation: 100.0 FT

BM Description: NAIL SET IN TREE AS SHOWN

Slope Gradient (%) 3% Well Symbol (if applicable):

PARCEL # 0707-323-9000-4

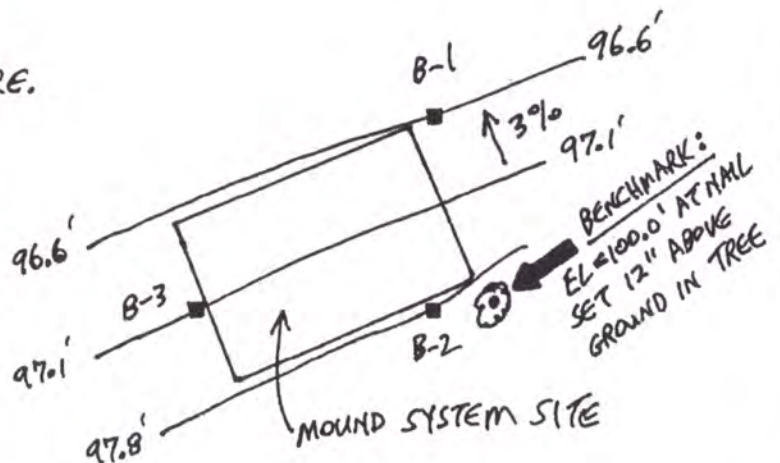
SOIL TEST SITE WILL BE LOCATED AFTER SURVEYOR DELINEATES HOUSE SITE ON SURVEY MAP.



NOTES: PROTECT MOUND SYSTEM SITE AND AREA 15 FEET DOWNSLOPE IN IT'S NATURAL CONDITION. NO SOIL COMPACTION, DISTURBANCE, EXCAVATION, OR VEHICULAR TRAFFIC IS ALLOWED.

TREES NEEDING TO BE REMOVED MUST BE CUT OFF CLOSE TO GROUND WITH STUMP AND ROOT SYSTEM LEFT IN PLACE SO AS TO NOT DISTURB SOIL STRUCTURE.

SITE IS WOODED



Richard C Herro

RICHARD C. HERRO CST-71536
11-9-2023

SCHEDULE F

Profit or Loss From Farming

OMB No. 1545-0074

2020

Attachment Sequence No. **14**

(Form 1040)

Department of the Treasury
Internal Revenue Service (99)

▶ Attach to Form 1040, Form 1040-SR, Form 1040-NR, Form 1041, or Form 1065.

▶ Go to www.irs.gov/ScheduleF for instructions and the latest information.

Social security number (SSN)

JEROME ZANDER

-**-*

A Principal crop or activity

B Enter code from Part IV

C Accounting method:

D Employer ID number (EIN)

CROPS

Cash Accrual

E Did you "materially participate" in the operation of this business during 2020? If "No," see instructions for limit on passive losses

Yes No

F Did you make any payments in 2020 that would require you to file Form(s) 1099? see instructions

Yes No

G If "Yes," did you or will you file required Form(s) 1099?

Yes No

Part I Farm Income - Cash Method. Complete Parts I and II (Accrual method. Complete Parts II and III, and Part I, line 9.)

1a	Sales of livestock and other resale items (see instructions)	1a		
b	Cost or other basis of livestock or other items reported on line 1a	1b		
c	Subtract line 1b from line 1a			1c
2	Sales of livestock, produce, grains, and other products you raised			2 650769.
3a	Cooperative distributions (Form(s) 1099-PATR)	3a	3858.	3b Taxable amount 3858.
4a	Agricultural program payments (see instructions)	4a	81578.	4b Taxable amount 81578.
5a	Commodity Credit Corporation (CCC) loans reported under election			5a
b	CCC loans forfeited	5b		5c Taxable amount 5c
6	Crop insurance proceeds and federal crop disaster payments (see instructions):			
a	Amount received in 2020	6a		6b Taxable amount 6b
c	If election to defer to 2021 is attached, check here		<input type="checkbox"/>	6d Amount deferred from 2019 6d
7	Custom hire (machine work) income			7
8	Other income, including federal and state gasoline or fuel tax credit or refund (see instructions) STMT. 11			8 13088.
9	Gross income. Add amounts in the right column (lines 1c, 2, 3b, 4b, 5a, 5c, 6b, 6d, 7, and 8). If you use the accrual method, enter the amount from Part III, line 50			9 749293.

Part II Farm Expenses - Cash and Accrual Method. Do not include personal or living expenses. See instructions.

10	Car and truck expenses (see instructions). Also attach Form 4562	10		23 Pension and profit-sharing plans 23
11	Chemicals	11	136146.	24 Rent or lease (see instructions):
12	Conservation expenses (see instructions)	12		a Vehicles, machinery, equipment 24a 180.
13	Custom hire (machine work)	13		b Other (land, animals, etc.) 24b 262385.
14	Depreciation and section 179 expense (see instructions)	14	65925.	25 Repairs and maintenance 25 78031.
15	Employee benefit programs other than on line 23	15		26 Seeds and plants 26
16	Feed	16	535.	27 Storage and warehousing 27
17	Fertilizers and lime	17	80497.	28 Supplies 28 91.
18	Freight and trucking	18		29 Taxes 29 4299.
19	Gasoline, fuel, and oil	19	23424.	30 Utilities 30 8248.
20	Insurance (other than health)	20	28295.	31 Veterinary, breeding, and medicine 31
21	Interest (see instructions):			32 Other expenses (specify):
a	Mortgage (paid to banks, etc.)	21a	8193.	a SEE STATEMENT 10 32a 13786.
b	Other	21b		b 32b
22	Labor hired (less employment credits)	22		c 32c
33	Total expenses. Add lines 10 through 32f. If line 32f is negative, see instructions			d 32d
34	Net farm profit or (loss). Subtract line 33 from line 9 If a profit, stop here and see instructions for where to report. If a loss, complete lines 35 and 36.			e 32e
35	Reserved for future use.			f 32f
36	Check the box that describes your investment in this activity and see instructions for where to report your loss:			
a	<input type="checkbox"/> All investment is at risk.			
b	<input type="checkbox"/> Some investment is not at risk.			
33		33	710035.	
34		34	39258.	

LHA For Paperwork Reduction Act Notice, see the separate instructions.

Schedule F (Form 1040) 2020

SCHEDULE F

Profit or Loss From Farming

OMB No. 1545-0074

2021

(Form 1040)
Department of the Treasury
Internal Revenue Service (99)

▶ Attach to Form 1040, Form 1040-SR, Form 1040-NR, Form 1041, or Form 1065.

▶ Go to www.irs.gov/ScheduleF for instructions and the latest information.

Attachment
Sequence No. **14**

Name of proprietor

Social security number (SSN)

-**-*

JEROME ZANDER

A Principal crop or activity

B Enter code from Part IV

C Accounting method:

D Employer ID number (EIN)

CROPS

Cash Accrual

E Did you "materially participate" in the operation of this business during 2021? If "No," see instructions for limit on passive losses Yes No

F Did you make any payments in 2021 that would require you to file Form(s) 1099? see instructions Yes No

G If "Yes," did you or will you file required Form(s) 1099? Yes No

Part I Farm Income - Cash Method. Complete Parts I and II (Accrual method. Complete Parts II and III, and Part I, line 9.)

1a	Sales of purchased livestock and other resale items (see instructions)	1a			
b	Cost or other basis of purchased livestock or other items reported on line 1a	1b			
c	Subtract line 1b from line 1a			1c	
2	Sales of livestock, produce, grains, and other products you raised			2	832099.
3a	Cooperative distributions (Form(s) 1099-PATR)	3a	5065.	3b Taxable amount	3b 5065.
4a	Agricultural program payments (see instructions)	4a	22110.	4b Taxable amount	4b 22110.
5a	Commodity Credit Corporation (CCC) loans reported under election			5a	
b	CCC loans forfeited	5b		5c Taxable amount	5c
6	Crop insurance proceeds and federal crop disaster payments (see instructions):				
a	Amount received in 2021	6a	1759.	6b Taxable amount	6b 1759.
c	If election to defer to 2022 is attached, check here <input type="checkbox"/>			6d Amount deferred from 2020	6d
7	Custom hire (machine work) income			7	
8	Other income, including federal and state gasoline or fuel tax credit or refund (see instructions) STMT 10			8	3435.
9	Gross income. Add amounts in the right column (lines 1c, 2, 3b, 4b, 5a, 5c, 6b, 6d, 7, and 8).			9	864468.
	If you use the accrual method, enter the amount from Part III, line 50				

Part II Farm Expenses - Cash and Accrual Method. Do not include personal or living expenses. See instructions.

10	Car and truck expenses (see instructions). Also attach Form 4562	10		23	Pension and profit-sharing plans	23	
11	Chemicals	11	355807.	24	Rent or lease (see instructions):		
12	Conservation expenses (see instructions)	12		a	Vehicles, machinery, equipment	24a	
13	Custom hire (machine work)	13		b	Other (land, animals, etc.)	24b	117868.
14	Depreciation and section 179 expense (see instructions)	14	113967.	25	Repairs and maintenance	25	13148.
15	Employee benefit programs other than on line 23	15		26	Seeds and plants	26	
16	Feed	16		27	Storage and warehousing	27	
17	Fertilizers and lime	17		28	Supplies	28	1155.
18	Freight and trucking	18		29	Taxes	29	19997.
19	Gasoline, fuel, and oil	19	22432.	30	Utilities	30	4948.
20	Insurance (other than health)	20	38638.	31	Veterinary, breeding, and medicine	31	
21	Interest (see instructions):			32	Other expenses (specify):		
a	Mortgage (paid to banks, etc.)	21a	1113.	a	SEE STATEMENT 9	32a	5405.
b	Other	21b		b		32b	
22	Labor hired (less employment credits)	22		c		32c	
23				d		32d	
24				e		32e	
25				f		32f	
33	Total expenses. Add lines 10 through 32f. If line 32f is negative, see instructions					33	694478.
34	Net farm profit or (loss). Subtract line 33 from line 9					34	169990.

If a profit, stop here and see instructions for where to report. If a loss, complete line 36.

35 Reserved for future use.

36 Check the box that describes your investment in this activity and see instructions for where to report your loss:

a All investment is at risk. b Some investment is not at risk.

LHA For Paperwork Reduction Act Notice, see the separate instructions.

Schedule F (Form 1040) 2021

SCHEDULE F

(Form 1040)
Department of the Treasury
Internal Revenue Service

Profit or Loss From Farming

Attach to Form 1040, Form 1040-SR, Form 1040-NR, Form 1041, or Form 1065.
Go to www.irs.gov/ScheduleF for instructions and the latest information.

OMB No. 1545-0074

2022

Attachment Sequence No. 14

Name of proprietor

Social security number (SSN)

-**-*

JEROME ZANDER

A Principal crop or activity

B Enter code from Part IV

C Accounting method:

D Employer ID number (EIN)

X Cash Accrual

CROPS

E Did you "materially participate" in the operation of this business during 2022? If "No," see instructions for limit on passive losses X Yes No

F Did you make any payments in 2022 that would require you to file Form(s) 1099? See instructions Yes X No

G If "Yes," did you or will you file required Form(s) 1099? Yes No

Part I Farm Income - Cash Method. Complete Parts I and II (Accrual method. Complete Parts II and III, and Part I, line 9.)

Table with 9 rows and 4 columns: Description, Sub-description, Taxable amount, Total amount. Includes lines 1a-1c, 2, 3a-3b, 4a-4b, 5a-5c, 6a-6d, 7, 8, 9.

Part II Farm Expenses - Cash and Accrual Method. Do not include personal or living expenses. See instructions.

Table with 34 rows and 4 columns: Description, Sub-description, Taxable amount, Total amount. Includes lines 10-32f, 33, 34.

35 Reserved for future use.
36 Check the box that describes your investment in this activity and see instructions for where to report your loss:

a All investment is at risk. b Some investment is not at risk.

LHA For Paperwork Reduction Act Notice, see the separate instructions.

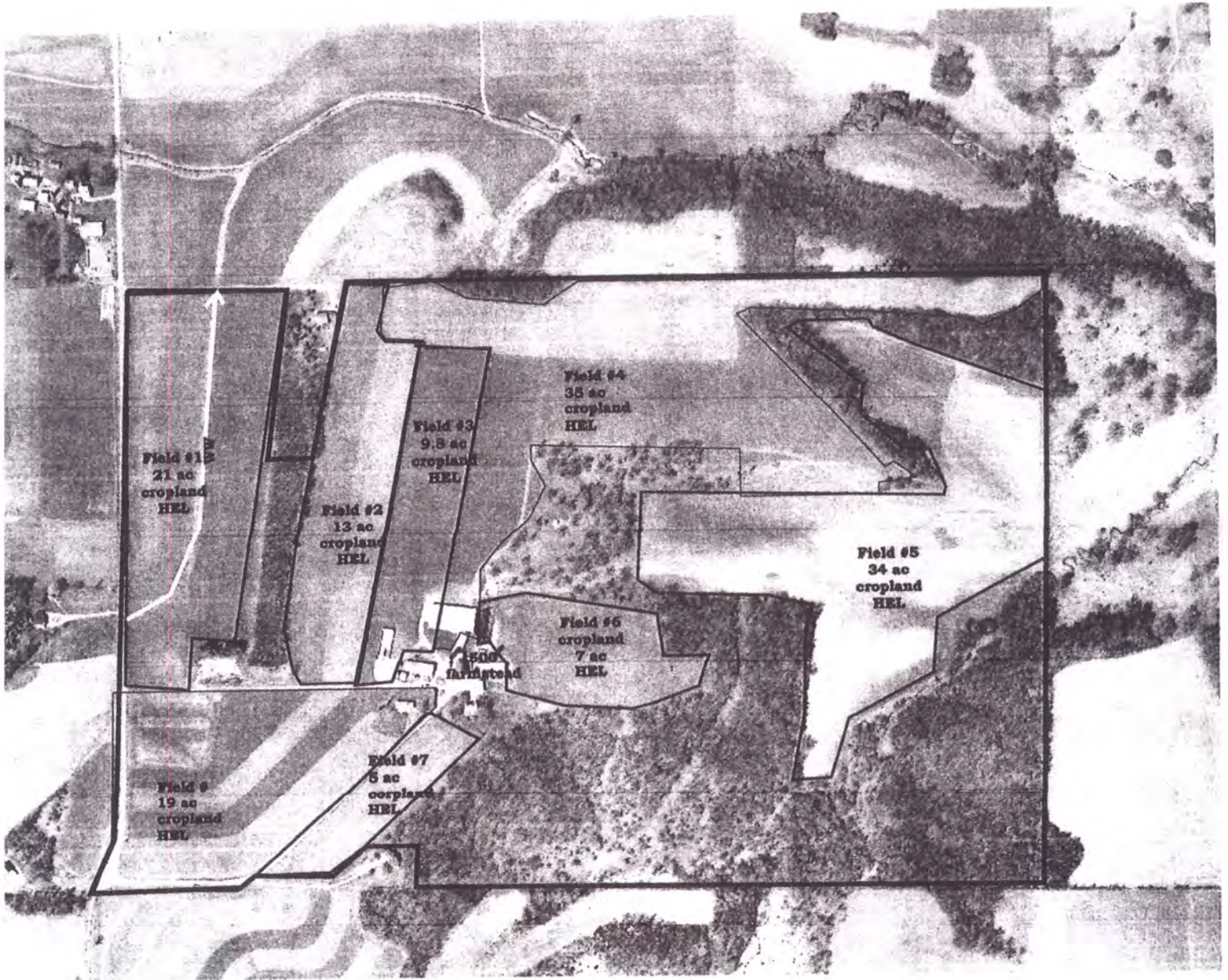
Schedule F (Form 1040) 2022

Conservation Plan Map

Owner: Jerome Zander
Operator: Jerome Zander

Township(s): Cross Plains
Section(s): 31 & 32
Tract(s): 392

Completed by: Lambert
Phone: (608) 224-3730
Date: 11-1-06



Conservation Plan Map

Owner: Jerome Zander
Operator: Jerome Zander

Township(s): Springdale
Section(s): 6
Tract(s): 4050

Completed by: Lambert
Phone: (608) 224-3730
Date: 11-1-06



330 0 330 660 Feet



Dane County Land Conservation Department
USDA Natural Resources Conservation Service

COOPERATOR: JEROME ZANDER

EM #	TRACT #	FIELD #	PLANNED AMOUNT MO/YR	APPLIED AMOUNT MO/YR	EST. TOTAL COST	LAND USE AND TREATMENT
------	---------	---------	-------------------------	-------------------------	--------------------	------------------------

ACT#:392 EROSION PLAN DATE: 02/25/1987

1	392	1	21.0 10/00	21.0 10/00		0 CONSERVATION CROPPING SEQUENCE - A cropping sequence will be used that will provide adequate organic residue for maintenance or improvement of soil tilth. ROTATION OF 3C3H 3 yrs of corn silage and 3 yrs of hay
2	392	1	21.0 10/00	21.0 10/00		0 CONSERVATION TILLAGE SYSTEM - A minimum of 20% residue will remain on the soil surface after planting. If applying liquid manure in the winter, till field in the fall on the contour. No-till the corn into the sod
3	392	1	21.0 10/00	21.0 10/00		0 GRASSES AND LEGUMES IN ROTATION - Grass/legume mix will be seeded and maintained according to the rotation.
4	392	1	1.0 10/00	1.0 10/00		0 GRASSED WATERWAY - A grassed waterway will be designed, constructed and maintained according to NRCS standards and specs. Existing grassed waterways will be maintained.
5	392	2	13.0 10/00	13.0 10/00		0 CONSERVATION CROPPING SEQUENCE - A cropping sequence will be used that will provide adequate organic residue for maintenance or improvement of soil tilth. ROTATION OF 3C03H Alternative plan: 2 yrs corn (1st yr no-tilled) and 3 yrs hay, direct seeded
6	392	2	13.0 10/00	13.0 10/00		0 CONSERVATION TILLAGE SYSTEM - A minimum of 40% residue will remain on the soil surface after planting. No-till 1st yr of corn. If applying manure in the winter, till field in the fall on the contour.
7	392	2	13.0 10/00	13.0 10/00		0 GRASSES AND LEGUMES IN ROTATION - Grass/legume mix will be seeded and maintained according to the rotation.

001 07/31/2006

CONSERVATION PLAN

OPERATOR: JEROME ZANDER

LINE #	TRACT #	FIELD #	PLANNED AMOUNT MO/YR	APPLIED AMOUNT MO/YR	EST. TOTAL COST	LAND USE AND TREATMENT
8	392	3	63.0 10/00	63.0 10/00	0	CONSERVATION CROPPING SEQUENCE - A cropping sequence will be used that will provide adequate organic residue for maintenance or improvement of soil tilth. ROTATION OF CBCO3H Corn can be removed as corn silage. If applying manure in the winter, till field in the fall on the contour.
9	392	3	63.0 07/06	63.0 07/06	0	CONSERVATION TILLAGE SYSTEM - A minimum of 80% residue will remain on the soil surface after planting. No-till will be used. 40% residue should remain on the surface when planting corn into the hay stubble
10	392	3	63.0 10/00	63.0 10/00	0	GRASSES AND LEGUMES IN ROTATION - Grass/legume mix will be seeded and maintained according to the rotation.
11	392	4	34.0 10/00	34.0 10/00	0	CONSERVATION CROPPING SEQUENCE - A cropping sequence will be used that will provide adequate organic residue for maintenance or improvement of soil tilth. ROTATION OF 3C3H 3 yrs of corn silage and 3 yrs of hay. No-till 1st yr of corn into the hay stubble.
12	392	4	34.0 10/00	34.0 10/00	0	CONSERVATION TILLAGE SYSTEM - A minimum of 20% residue will remain on the soil surface after planting. If applying liquid manure in the winter, till field in the fall No-till the 1st yr of corn
13	392	4	34.0 10/00	34.0 10/00	0	GRASSES AND LEGUMES IN ROTATION - Grass/legume mix will be seeded and maintained according to the rotation.
14	392	6	6.0 10/00	6.0 10/00	0	CONSERVATION CROPPING SEQUENCE - A cropping sequence will be used that will provide adequate organic residue for maintenance or improvement of soil tilth. ROTATION OF CBCO3H 1 year of corn can be taken as corn silage. Alternative plan: 2 yrs of corn (1st yr no-tilled) and 3 yrs of hay
15	392	6	6.0 10/00	6.0 10/00	0	CONSERVATION TILLAGE SYSTEM - A minimum of 30% residue will remain on the soil surface after planting. If applying manure in the winter, till field in the fall to create roughness

OPERATOR: JEROME ZANDER

M #	TRACT #	FIELD #	PLANNED AMOUNT MO/YR	APPLIED AMOUNT MO/YR	EST. TOTAL COST	LAND USE AND TREATMENT
1	392	6	6.0 10/00	6.0 10/00	0	GRASSES AND LEGUMES IN ROTATION - Grass/legume mix will be seeded and maintained according to the rotation.
2	392	7	7.0 10/00	7.0 10/00	0	CONSERVATION CROPPING SEQUENCE - A cropping sequence will be used that will provide adequate organic residue for maintenance or improvement of soil tilth. ROTATION OF CBC03H 1 yr. of corn can be taken for corn silage. Alternative plan: 2 yrs of corn (1st yr no-tilled) and 3 yrs of hay
8	392	7	7.0 10/00	7.0 10/00	0	CONSERVATION TILLAGE SYSTEM - A minimum of 30% residue will remain on the soil surface after planting. If applying liquid manure in the winter till field in the fall.
9	392	7	7.0 10/00	7.0 10/00	0	GRASSES AND LEGUMES IN ROTATION - Grass/legume mix will be seeded and maintained according to the rotation.
0	392	500	126.8 03/06	126.8 03/06	0	WINTER MANURE SPREADING PERMIT - The operator agrees to spread pumpable liquid manure on frozen or snow covered ground according to the conditions stated in the Winter Manure Spreading Plan.
1	392	500	144.7 03/02		1013	NUTRIENT MANAGEMENT - A nutrient management plan will be followed that applies nutrients in an environmentally sound manner, based on realistic goals with proper credits taken for legumes, manure and other sources.
2	392	500	144.7 03/03		1013	NUTRIENT MANAGEMENT - A nutrient management plan will be followed that applies nutrients in an environmentally sound manner, based on realistic goals with proper credits taken for legumes, manure and other sources.
3	392	500	144.7 03/04		1013	NUTRIENT MANAGEMENT - A nutrient management plan will be followed that applies nutrients in an environmentally sound manner, based on realistic goals with proper credits taken for legumes, manure and other sources.

OPERATOR: JEROME ZANDER

LINE #	TRACT #	FIELD #	PLANNED AMOUNT MO/YR	APPLIED AMOUNT MO/YR	EST. TOTAL COST	LAND USE AND TREATMENT
4	392	500	144.7	03/05		1013 NUTRIENT MANAGEMENT - A nutrient management plan will be followed that applies nutrients in an environmentally sound manner, based on realistic goals with proper credits taken for legumes, manure and other sources.
5	392	500	144.7	03/06		1013 NUTRIENT MANAGEMENT - A nutrient management plan will be followed that applies nutrients in an environmentally sound manner, based on realistic goals with proper credits taken for legumes, manure and other sources.
ACT#:4050			EROSION PLAN DATE: 07/31/2006			
6	4050	1	41.0	07/06	41.0 07/06	0 CONSERVATION CROPPING SEQUENCE - A cropping sequence will be used that will provide adequate organic residue for maintenance or improvement of soil tilth. ROTATION OF 2C3H 2C3H = 1 yr of corn, 1 yr of corn silage and 3 or more yrs of hay
7	4050	1	41.0	07/06	41.0 07/06	0 CONSERVATION TILLAGE SYSTEM - A minimum of 40% residue will remain on the soil surface after planting. No-till corn into hay stubble
8	4050	1	41.0	07/06	41.0 07/06	0 CONTOUR FARMING - All tillage and planting operations will be done on the contour according to NRCS standards and specs.
9	4050	1	41.0	07/06	41.0 07/06	0 GRASSES AND LEGUMES IN ROTATION - Grass/legume mix will be seeded and maintained according to the rotation.
0	4050	2	21.0	07/06	21.0 07/06	0 CONSERVATION CROPPING SEQUENCE - A cropping sequence will be used that will provide adequate organic residue for maintenance or improvement of soil tilth. ROTATION OF 2C3H 2C3H = 1 yrs of corn, 1 yr of corn silage and 3 yrs of hay, direct seeded

OPERATOR: JEROME ZANDER

#	TRACT #	FIELD #	PLANNED AMOUNT MO/YR	APPLIED AMOUNT MO/YR	EST. TOTAL COST	LAND USE AND TREATMENT
4	4050	2	21.0 07/06	21.0 07/06	0	CONSERVATION TILLAGE SYSTEM - A minimum of 40% residue will remain on the soil surface after planting. No-till corn into hay stubble
	4050	2	21.0 07/06	21.0 07/06	0	GRASSES AND LEGUMES IN ROTATION - Grass/legume mix will be seeded and maintained according to the rotation.
...	4050	3	35.0 07/06	35.0 07/06	0	CONSERVATION CROPPING SEQUENCE - A cropping sequence will be used that will provide adequate organic residue for maintenance or improvement of soil tilth. ROTATION OF 2C3H 2C3H = 2 yrs of corn and 3 yrs of hay
;	4050	3	35.0 07/06	35.0 07/06	0	CONSERVATION TILLAGE SYSTEM - A minimum of 40% residue will remain on the soil surface after planting. No-till corn into hay stubble
;	4050	3	35.0 07/06	35.0 07/06	0	GRASSES AND LEGUMES IN ROTATION - Grass/legume mix will be seeded and maintained according to the rotation.
;	4050	4	45.0 07/06	45.0 07/06	0	CONSERVATION CROPPING SEQUENCE - A cropping sequence will be used that will provide adequate organic residue for maintenance or improvement of soil tilth. ROTATION OF 2C3H 2C3H = 1 yr of corn, 1 yr of corn silage, and 3 yrs of hay
7	4050	4	45.0 07/06	45.0 07/06	0	CONSERVATION TILLAGE SYSTEM - A minimum of 40% residue will remain on the soil surface after planting. No-till corn into hay stubble
8	4050	4	45.0 07/06	45.0 07/06	0	CONTOUR FARMING - All tillage and planting operations will be done on the contour according to NRCS standards and specs.

OPERATOR: JEROME ZANDER

#	TRACT #	FIELD #	PLANNED AMOUNT MO/YR	APPLIED AMOUNT MO/YR	EST. TOTAL COST	LAND USE AND TREATMENT
	4050	4	45.0 07/06	45.0 07/06	0	GRASSES AND LEGUMES IN ROTATION - Grass/legume mix will be seeded and maintained according to the rotation.
	4050	500	142.0 03/06	142.0 03/06	0	WINTER MANURE SPREADING PERMIT - The operator agrees to spread pumpable liquid manure on frozen or snow covered ground according to the conditions stated in the Winter Manure Spreading Plan.
	4050	500	154.9 03/02		1084	NUTRIENT MANAGEMENT - A nutrient management plan will be followed that applies nutrients in an environmentally sound manner, based on realistic goals with proper credits taken for legumes, manure and other sources.
	4050	500	154.9 03/03		1084	NUTRIENT MANAGEMENT - A nutrient management plan will be followed that applies nutrients in an environmentally sound manner, based on realistic goals with proper credits taken for legumes, manure and other sources.
	4050	500	154.9 03/04		1084	NUTRIENT MANAGEMENT - A nutrient management plan will be followed that applies nutrients in an environmentally sound manner, based on realistic goals with proper credits taken for legumes, manure and other sources.
	4050	500	154.9 03/05		1084	NUTRIENT MANAGEMENT - A nutrient management plan will be followed that applies nutrients in an environmentally sound manner, based on realistic goals with proper credits taken for legumes, manure and other sources.
	4050	500	154.9 03/06		1084	NUTRIENT MANAGEMENT - A nutrient management plan will be followed that applies nutrients in an environmentally sound manner, based on realistic goals with proper credits taken for legumes, manure and other sources.

AREAS WITH EROSION PROBLEM RESULTING FROM CONCENTRATED FLOW(RUNOFF) NOT IDENTIFIED AT THE TIME THIS PLAN WAS DEVELOPED WILL REQUIRE APPLICATION OF GRASSED WATERWAYS OR OTHER CONSERVATION PRACTICES.

ASSISTED BY: LAURIE LAMBERT

Jerome Zander
JEROME ZANDER (Owner)

9-13-06
Date

[Signature]
DANE COUNTY LAND CONSERVATION COMMITTEE
Terence T. Kelly

11/2/06
Date
11/3/06

DISTRICT CONSERVATIONIST - USDA-NRCS

Date

COUNTY EXECUTIVE DIRECTOR USDA-FSA

Date

WE CONCUR IN THIS PLAN, WHICH WHEN APPLIED AND MAINTAINED, WILL MEET THE FOOD SECURITY ACT AND
WISCONSIN FARMLAND PRESERVATION TAX CREDIT COMPLIANCE REQUIREMENTS

INTED ON: 07/31/2006 12:25:23

**ELECTRIC TRANSMISSION LINE AND
ACCESS EASEMENT**

Document Number

Wis. Stat. Sec. 182.01(7)

The undersigned grantor(s), Jerome J. Zander and Lynn P. Zander, for themselves and their respective heirs, successors and assigns (hereinafter cumulatively referred to as "Landowner"), in consideration of the sum of one dollar (\$1.00) and other good and valuable consideration, receipt of which is hereby acknowledged, does hereby grant, convey and warrant unto American Transmission Company LLC, a Wisconsin limited liability company, and its manager ATC Management Inc., a Wisconsin corporation, and Dairyland Power Cooperative, a Wisconsin cooperative association, as tenants in common, and their respective successors, assigns, licensees and managers (hereinafter cumulatively referred to as "Grantee"), the perpetual right and easement to construct, install, operate, maintain, repair, replace, rebuild, remove, relocate, inspect and patrol a line of structures, comprised of wood, concrete, steel or of such material as Grantee may select, and wires, including associated appurtenances for the transmission of electric current, together with communication signals and equipment restricted solely for the purpose of electric utility communication (hereinafter referred to as the Electric Transmission Facilities) and the perpetual right and easement of ingress to and egress from the transmission line easement upon, in, over and across property owned by the Landowner in the Town of Cross Plains and Town of Springdale, County of Dane, State of Wisconsin, described as follows:

A parcel of land being part of the Northeast Quarter and Southwest Quarter and Southwest Quarter and Northwest Quarter of the Southeast Quarter of Section 31 and the Northwest Quarter and Southwest Quarter of the Southwest Quarter of Section 32, all in Township 7 North, Range 7 East, Town of Cross Plains, Dane County, Wisconsin and being a part of the Northwest Quarter and Northeast Quarter and Southwest Quarter of the Northwest Quarter of Section 5, Township 6 North, Range 7 East, Town of Springdale, Dane County, Wisconsin.

The easement on which the Electric Transmission Facilities are located is referred to as the "transmission line easement." The easement for access to and from the transmission line easement is referred to as the "access easement." The areas encompassing the transmission line easement and the access easement are collectively referred to as the "Perpetual Easement Strips." The legal descriptions and locations of the Perpetual Easement Strips are as shown on the Exhibits B and B-1, attached hereto and incorporated by reference in this easement document.

The perpetual transmission line easement has the following specifications:

TRANSMISSION LINE EASEMENT:

Length: Approximately 5,957 feet
Width: Variable, not to exceed 150 feet

TRANSMISSION STRUCTURES:

Type: Woodpole
Number: Seven
Maximum height above existing ground level: 175 feet

TRANSMISSION LINE:

Maximum nominal voltage: 240,000 volts and 138,000 volts
Number of circuits: Two
Number of conductors: Nine
Number of static wires: Two
Minimum height above existing landscape (ground level): 20.7 feet

Grantee is also granted the associated perpetual and necessary rights to:

- 1) Enter upon the Perpetual Easement Strips for the purposes of fully exercising and enjoying the rights conferred by this perpetual easement; and
- 2) Trim, cut down and remove any or all brush, trees and overhanging branches now or hereafter existing in, on and over the Perpetual Easement Strips; and
- 3) Cut down and remove such dead, dying, diseased, decayed, leaning trees or tree pods now or hereafter existing on

KRISTI CHLUBONSKI
DANE COUNTY
REGISTER OF DEEDS

DOCUMENT #
5763261

08/23/2023 09:58 AM

Trans Fee:

Exempt #:

Rec. Fee: 38.00

Pages: 18

**The above recording information
verifies that this document has
been electronically recorded and
returned to the submitter.**

Recording Area

Name and Return Address

HDR Engineering, Inc
1601 Ultra Avenue South, Suite 600
Minneapolis, MN 55416-3400

Parcel Identification Number(s)
See attached Exhibit C

The property of the Landowner located outside of said Perpetual Easement Strips that in Grantee's judgment may interfere with Grantee's full use of the Perpetual Easement Strips for the purposes stated herein or that pose a threat to the safe and reliable operation of the Electric Transmission Facilities, together with the right, permission and authority to enter in a reasonable manner upon the property of the Landowner adjacent to said Perpetual Easement Strips for such purpose; and

- 4) Construct any road or access way for the use of the access easement and the Landowner agrees not to obstruct or interfere with Grantee's use of the access identified herein; and
- 5) As part of the access easement, use existing field roads and lanes for ingress and egress over and across the Landowner's property to the transmission line easement.

If, after initial construction of the Electric Transmission Facilities is complete, the Landowner reasonably determines that the access easement needs to be relocated, the Landowner may request, in writing, that Grantee relocate the access easement to a mutually agreeable location. The relocated access easement shall provide Grantee reasonable access to and from the transmission line easement. If the access easement is relocated, Grantee and the Landowner shall execute a recordable document amending Exhibit B-1, and record the document with the Register of Deeds of Dane County.

Grantee shall pay a reasonable sum for all damages to property, crops, fences, livestock, barns, roads, fields and field tile (other than brush, trees and overhanging branches trimmed or cut down and removed from the Perpetual Easement Strips), caused by the construction, installation, operation, maintenance, repair, replacement, resubdividing, relocation, inspection, patrol or removal of said Electric Transmission Facilities.

Within the Perpetual Easement Strips, and without first securing the prior written consent of Grantee, the Landowner agrees that they will not:

- 1) Locate any dwelling or mobile home intended for residential occupancy; or
- 2) Construct, install or erect any structures or fixtures, including, but not limited to swimming pools, or
- 3) Construct any non-residential type building; or
- 4) Store farmable goods or products; or
- 5) Plant trees or shrubs; or
- 6) Place water, sewer or drainage facilities; or
- 7) Change the grade more than one (1) foot.

The parties hereto do hereby agree to the terms and conditions set forth in Exhibits "A", "B", and "B-1", attached hereto and incorporated by reference herein. The term "utility" in Exhibit "A" shall mean Grantee.

This perpetual easement agreement is binding, in its entirety, upon the heirs, successors and assigns of the parties hereto, and shall run with the lands described herein.

As provided by PSC 113, the Landowner shall have a minimum period of five days to examine materials approved or provided by the Public Service Commission of Wisconsin describing the Landowner's rights and options in the easement negotiating process. The Landowner hereby voluntarily waives the five-day review period, or acknowledges that they have had at least five (5) days to review such materials.

The Landowner warrants and represents that the Landowner has good title to the property described herein, free and clear from all liens and encumbrances, except: Mortgage from Jerome J. Zander and Lynn P. Zander, husband and wife to BMO Harris Bank N.A. in the amount of \$900,000.00 dated June 24, 2013 and recorded July 8, 2013 as Document No. 5003811, Modification of Mortgage executed October 18, 2018 by Jerome J. Zander and Lynn P. Zander and BMO Harris Bank N.A., which was recorded November 18, 2018 as Document No. 5545893, and

Assignment of Rents from Jerome J. Zander and Lynn P. Zander, Husband and Wife to BMO Harris Bank N.A. recorded November 18, 2018 as Document No. 5545894.

The Landowner hereby accepts a lump sum payment in consideration of the grant of this perpetual easement.

[signature page follows]

WITNESS the signature(s) of the Landowner this 12 day of August, 2021

Jerome Zander
Signature
Jerome J Zander
Printed Name

Lynn P Zander
Signature
Lynn P Zander
Printed Name

ACKNOWLEDGEMENT

STATE OF WISCONSIN }
COUNTY OF Pane } SS

Personally came before me this 12 day of August, 2021 the above named Jerome and Lynn Zander to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.



Jeffrey D Marx
Signature of Notary
Jeffrey D. Marx
Printed Name of Notary
Notary Public, State of Wisconsin
My Commission expires (M) 2/13/2025

ACKNOWLEDGEMENT

STATE OF WISCONSIN }
COUNTY OF } SS

Personally came before me this _____ day of _____, 20____ the above named _____ to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

Signature of Notary

Printed Name of Notary

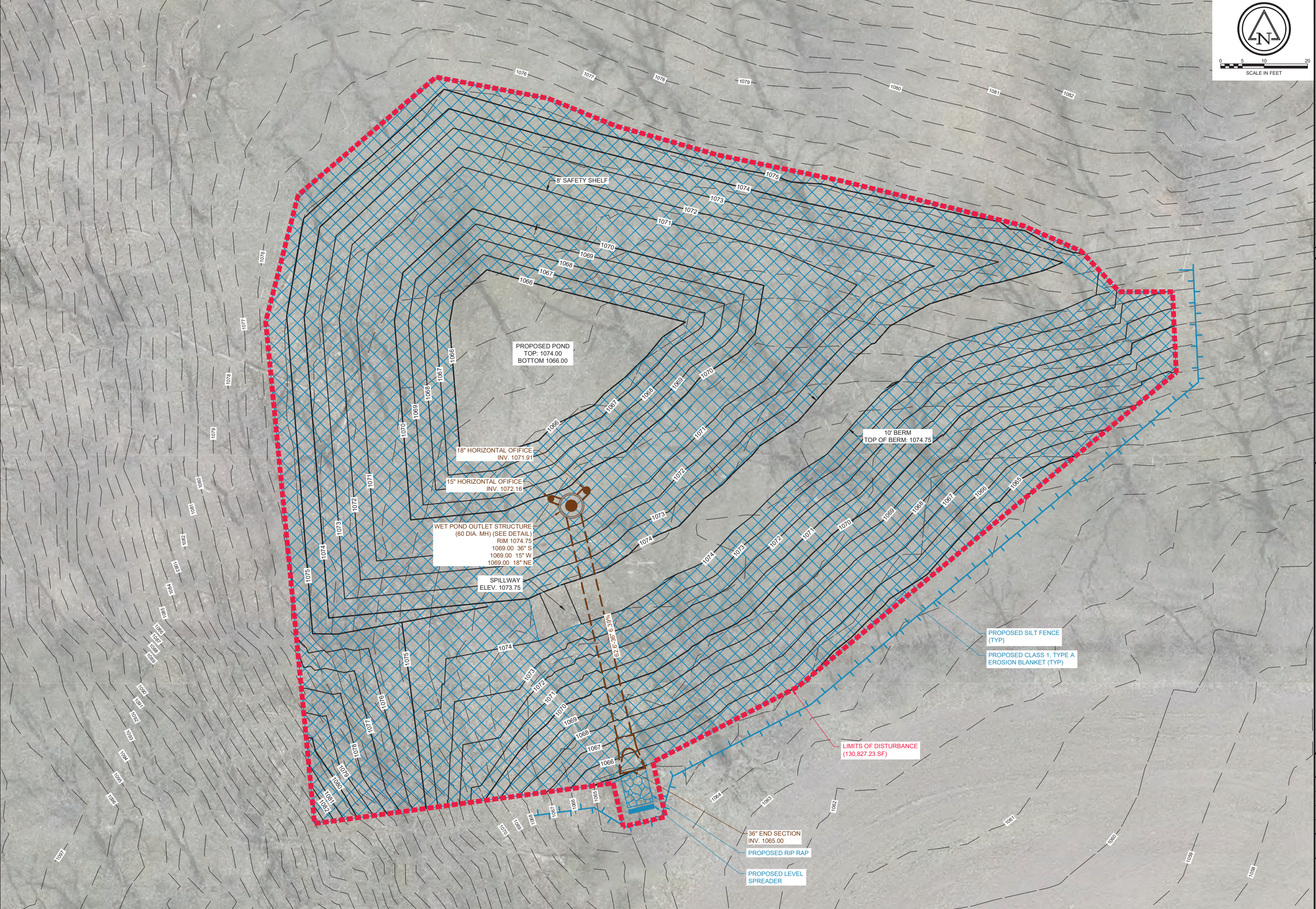
Notary Public, State of Wisconsin

My Commission expires (M) _____

EXHIBIT "A"
[Wis. Stat. Sec. 152.017(7)]

- (c) In constructing and maintaining high-voltage transmission lines on the property covered by the easement, the utility shall:
1. If excavation is necessary, ensure that the topsoil is stripped, piled and replaced upon completion of the operation.
 2. Restore to its original condition any slope, terrace, or waterway, which is disturbed by the construction or maintenance.
 3. Insofar as is practicable and when the landowner requests, schedule any construction work in an area used for agricultural production at times when the ground is frozen in order to prevent or reduce soil compaction.
 4. Clear all debris and remove all stones and rocks resulting from construction activity upon completion of construction.
 5. Satisfactorily repair to its original condition any fence damaged as a result of construction or maintenance operations. If cutting a fence is necessary, a temporary gate shall be installed. Any such gate shall be left in place at the landowner's request.
 6. Repair any drainage tile line within the easement damaged by such construction or maintenance.
 7. Pay for any crop damage caused by such construction or maintenance.
 8. Supply and install any necessary grounding of a landowner's fences, machinery or buildings.
- (d) The utility shall control weeds and brush around the transmission line facilities. No herbicidal chemicals may be used for weed and brush control without the express written consent of the landowner. If weed and brush control is undertaken by the landowner under an agreement with the utility, the landowner shall receive from the utility a reasonable amount for such services.
- J. Y. B.*
The foregoing statement notwithstanding, the Landowner, by INITIALING IN THE SPACE AT LEFT, hereby grants its written consent for the Utility to use HERBICIDAL chemicals for weed and brush control.
- (e) The Landowner shall be afforded a reasonable time prior to commencement of construction to harvest any trees located within the easement boundaries, and if the Landowner fails to do so, the Landowner shall nevertheless retain title to all trees cut by the utility.
- (f) The Landowner shall not be responsible for any injury to persons or property caused by the design, construction or upkeep of the high-voltage transmission lines or towers.
- (g) The Utility shall employ all reasonable measures to ensure that the landowner's television and radio reception is not adversely affected by the high-voltage transmission lines.
- (h) The utility may not use any lands beyond the boundaries of the easement for any purpose, including ingress to and egress from the right-of-way, without the written consent of the landowner.
- The foregoing statement notwithstanding, the Landowner, BY INITIALING IN THE SPACE AT LEFT, hereby grants its written consent for the Utility to use any land beyond the boundaries of the easement for ingress and egress for personnel, equipment and vehicles during construction and maintenance activities.

Feb 28, 2024 3:25pm PLOTTED BY: jkleve SAVED BY: jkleve
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ZANDER FARM RESIDENTIAL DEVELOPMENT
PROPOSED POND GRADING PLAN
 ZANDER FARMS
 DANE COUNTY, WISCONSIN

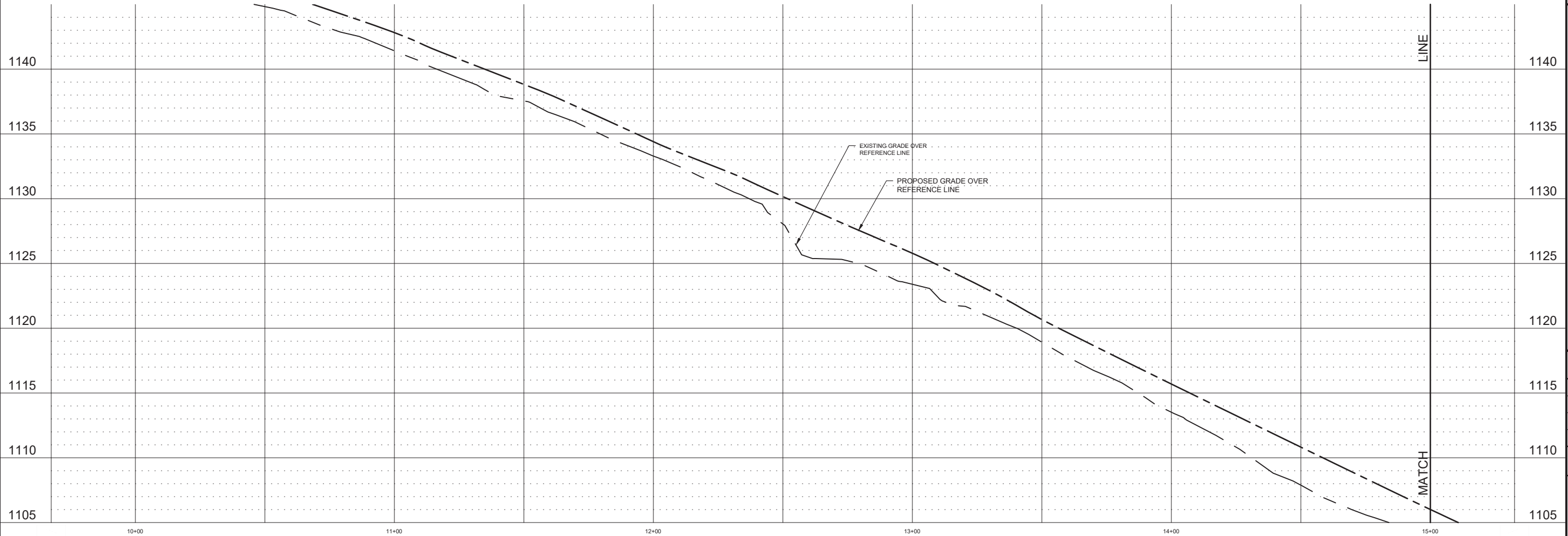
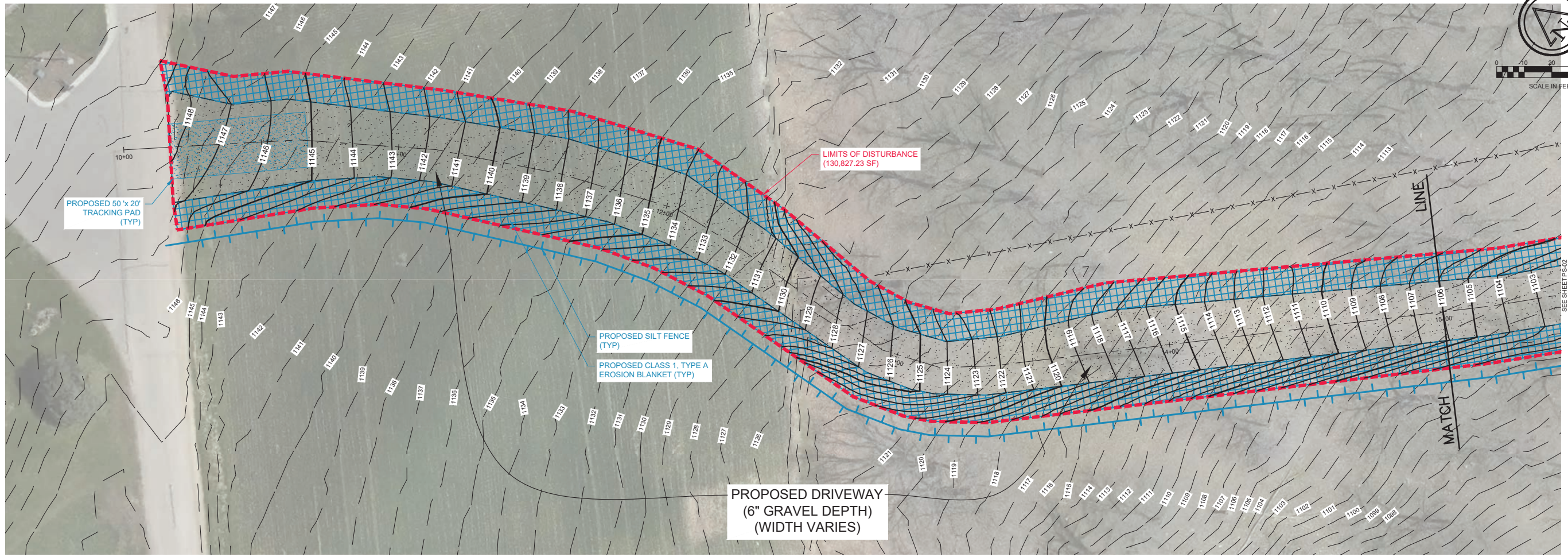
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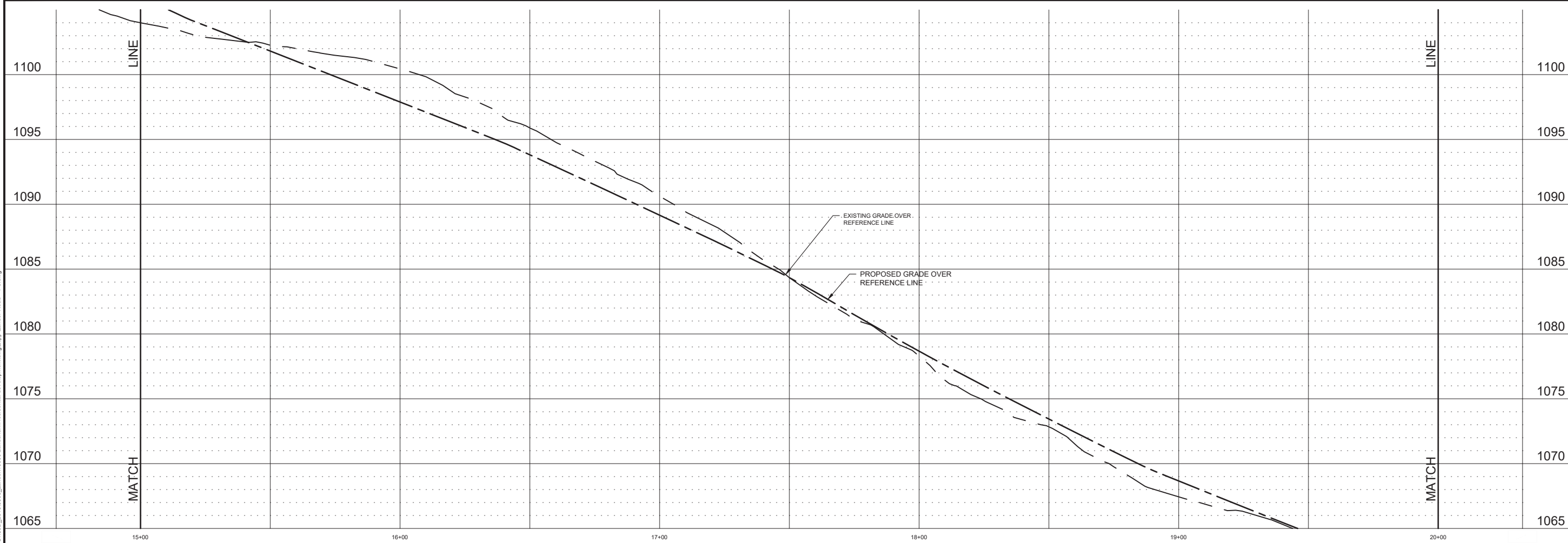
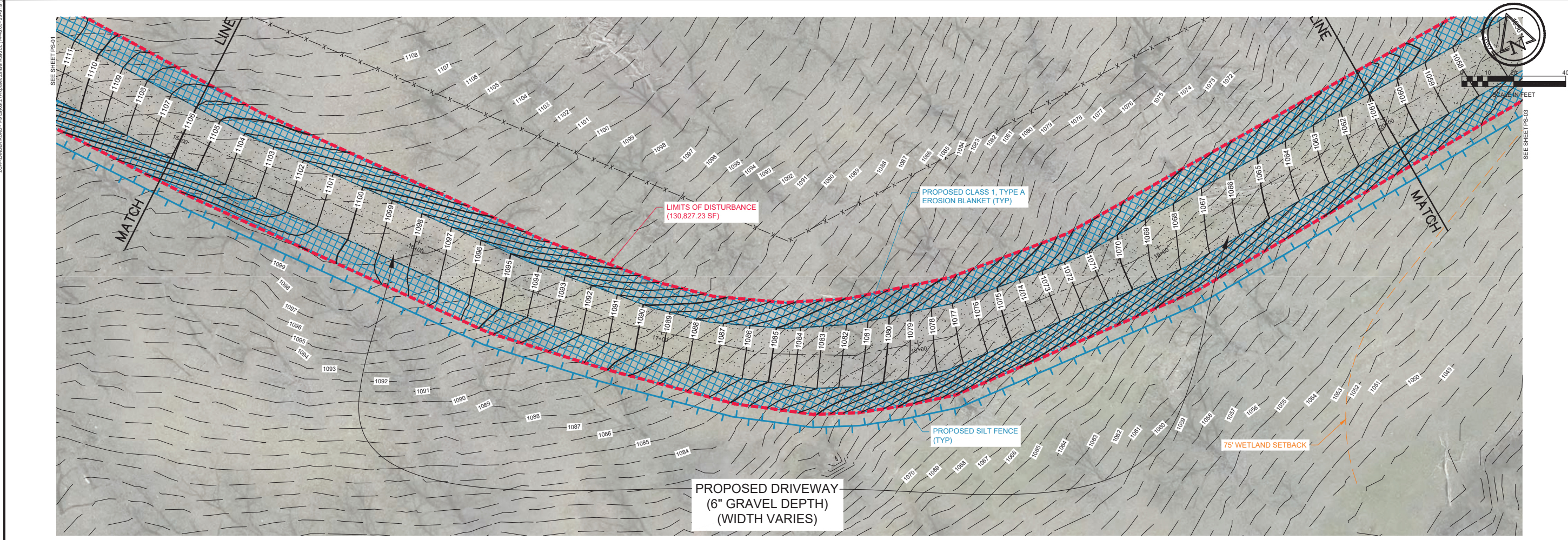
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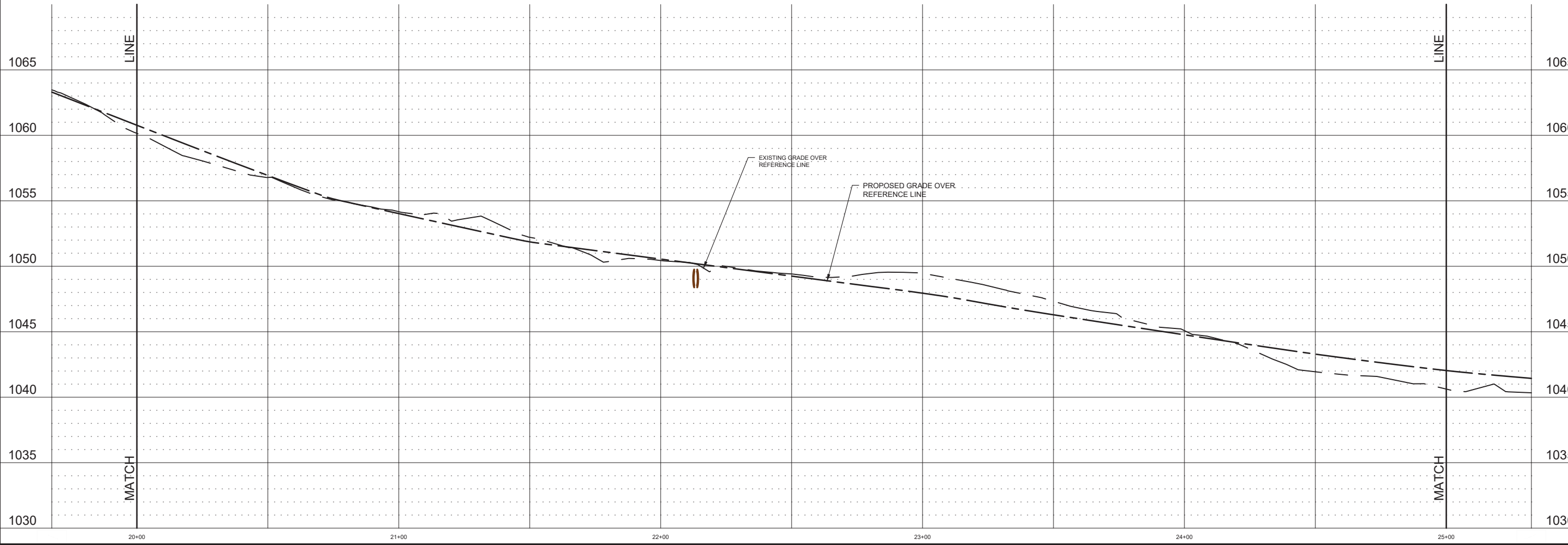
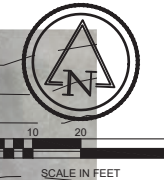
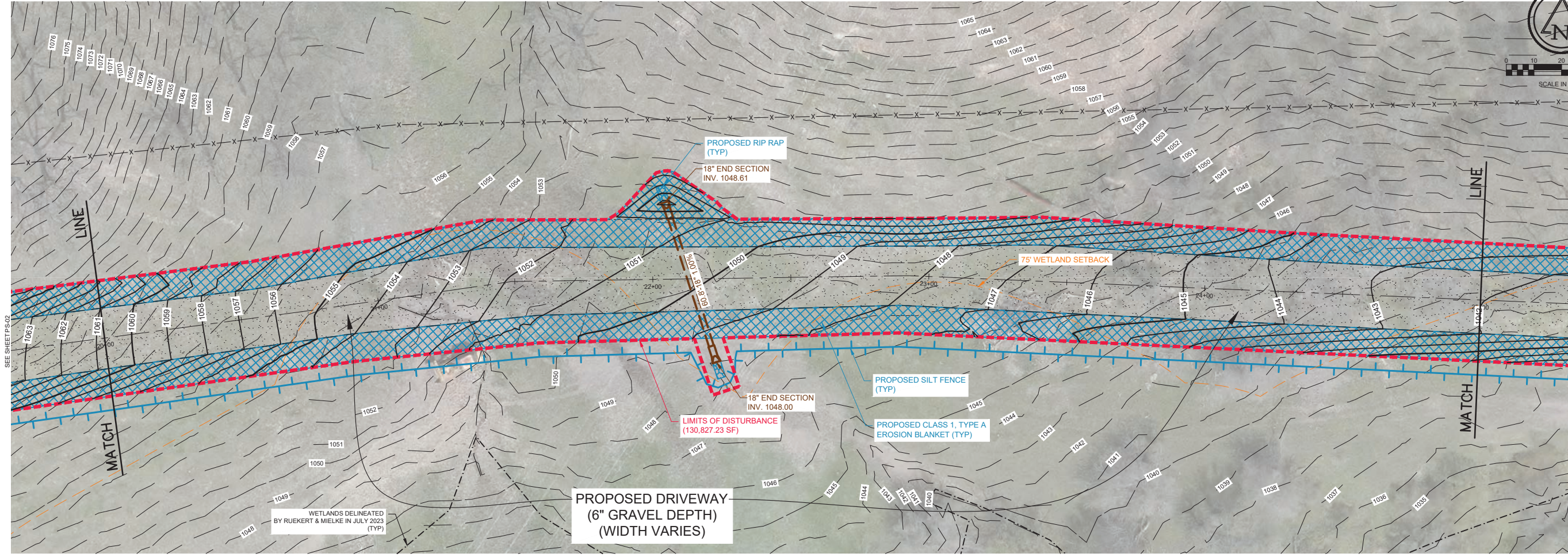
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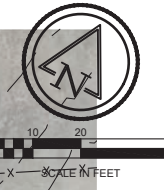
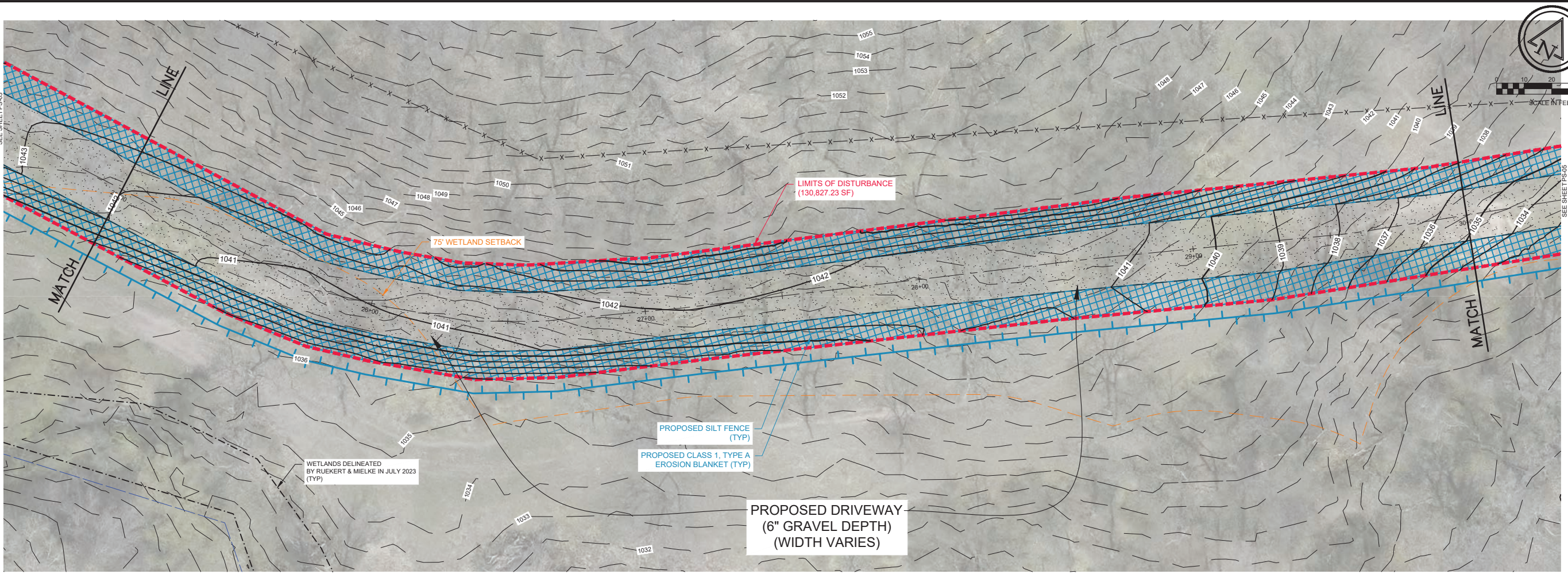
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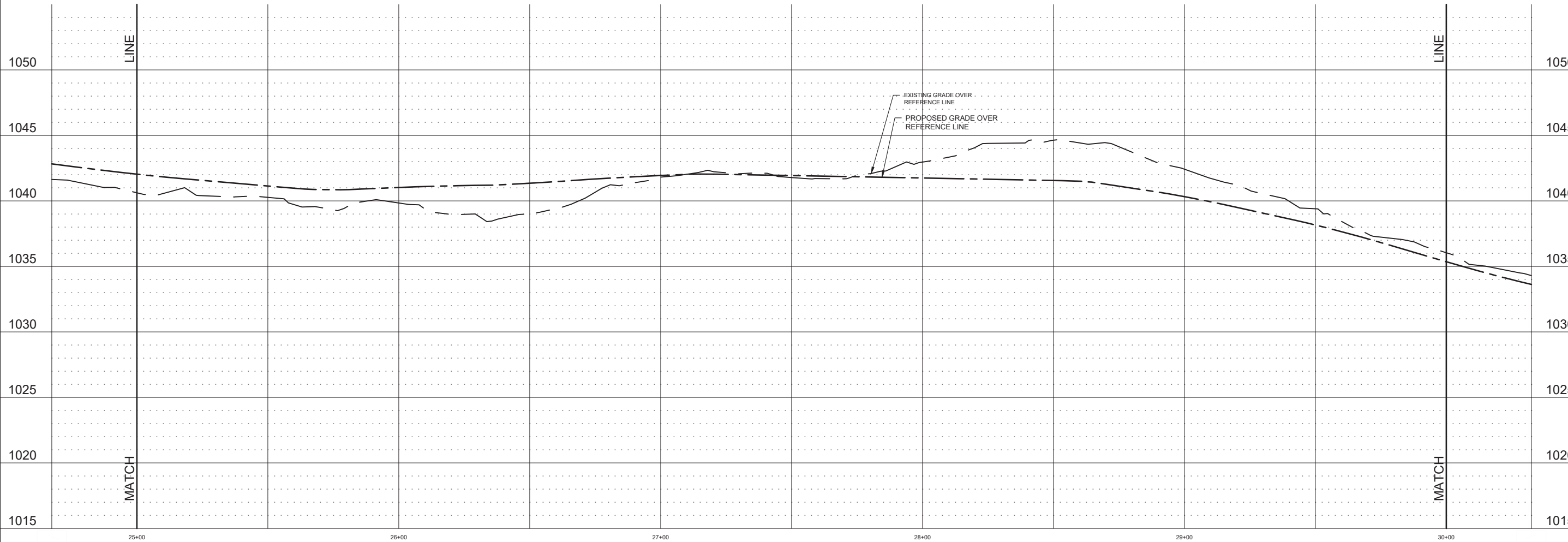
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REVISIONS

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 PROPOSED PAVEMENT & STORM SEWER PLAN
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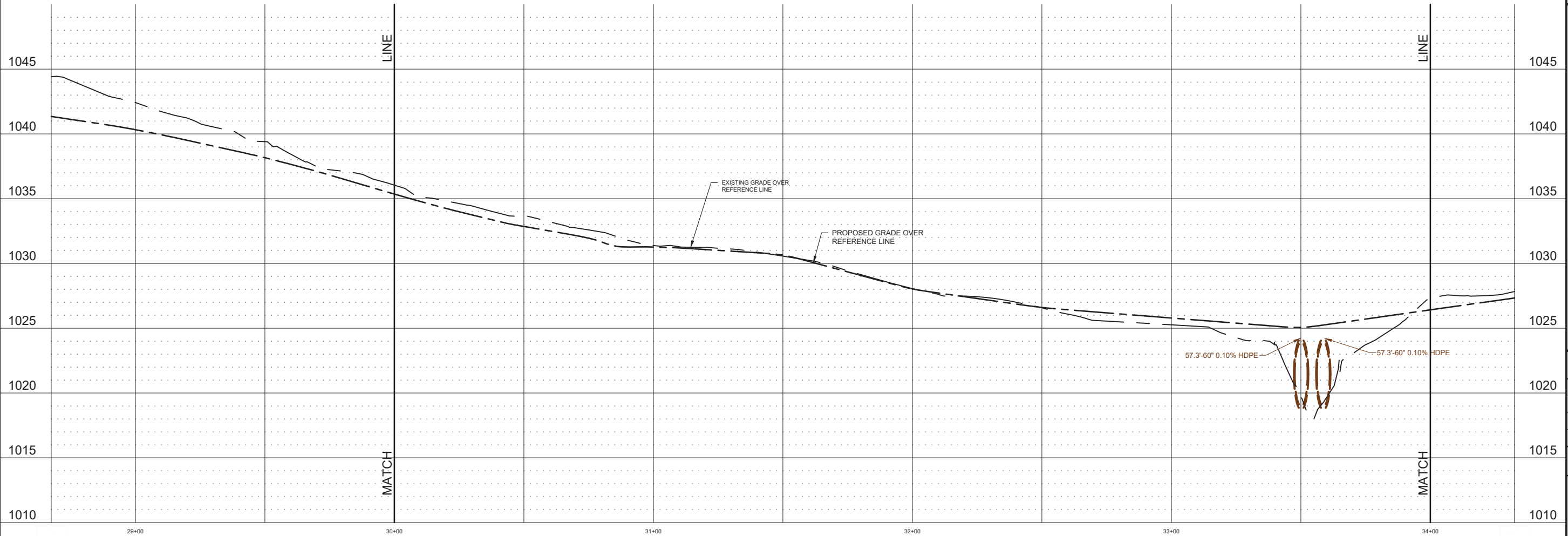
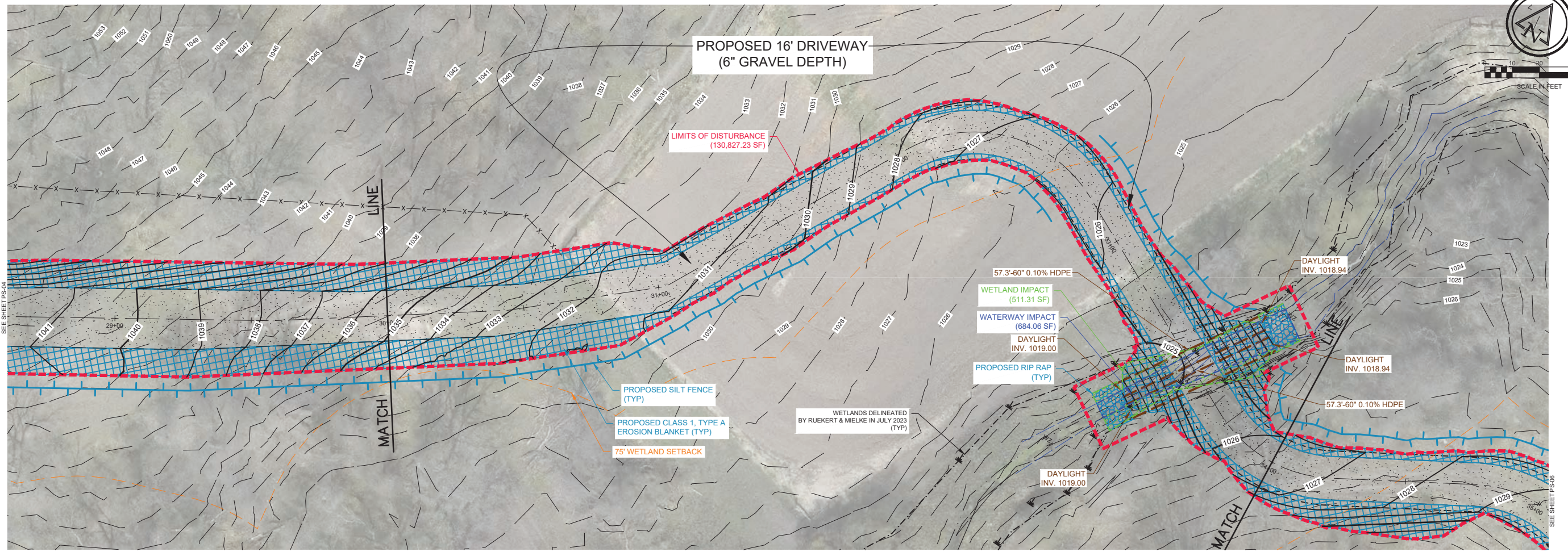
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