

Dane County Conditional Use Permit Application

Application Date	C.U.P Number
07/25/2018	DCPCUP-2018-02437
Public Hearing Date	
09/17/2018	

OWNER INFORMATION		AGENT INFORMATION	
OWNER NAME JANE C LIESS	Phone with Area Code (608) 838-0131	AGENT NAME PETE SCHAU	Phone with Area Code (773) 919-5112
BILLING ADDRESS (Number, Street) 2660 US HIGHWAY 51		ADDRESS (Number, Street) P.O. BOX 578790	
(City, State, Zip) MCFARLAND, WI 53558		(City, State, Zip) Chicago, IL 60657	
E-MAIL ADDRESS janeliess@ao.com		E-MAIL ADDRESS pschau@ton80realtyservices.com	

ADDRESS/LOCATION 1		ADDRESS/LOCATION 2		ADDRESS/LOCATION 3	
ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP	
2660 US Highway 51					
TOWNSHIP DUNN	SECTION 10	TOWNSHIP	SECTION	TOWNSHIP	SECTION
PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED	
0610-103-9190-6		---		---	

CUP DESCRIPTION
130' Communication Tower (extendable to 160')

DANE COUNTY CODE OF ORDINANCE SECTION	ACRES
10.194	0.23

DEED RESTRICTION REQUIRED? <input type="checkbox"/> Yes <input type="checkbox"/> No Applicant Initials _____	Inspectors Initials	SIGNATURE: (Owner or Agent)
	AMA1	<i>Pete Schau, Agent for Applicants</i>
		PRINT NAME: PETER SCHAU
		DATE: 7/26/2018

COMMENTS: 100' X 100' (10,000 SQFT.) CUP AREA.

SBA EXCLUSIVE EASEMENT AREA

A part of the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) Section Ten (10), Township Six (6) North, Range Ten (10) East, Town of Dunn, Dane County, Wisconsin containing 10,000 square feet (0.230 acres) of land and being described by:

Commencing at the Southwest Corner of said Section 10; thence N01°-00'-09"E (Recorded as N00°-59'-58"E) 417.21 feet along the West line of the SW1/4 of said Section 10; thence S88°-59'-51"E (Recorded as N89°-21'-52"E) 59.20 feet to a point on the Easterly Right of Way line of U.S.H. 51 (Also being the Northwest Corner of Lot 1 of Certified Survey Map No. 6609, Volume 17313, Page 17, Document No. 2307030 of Dane County Records) thence N04°-25'-25"E (Recorded as N04°-25'-14"E) 80.87 feet along said Easterly Right of Way line; thence N86°-31'-22"E 467.90 feet to the point of beginning; thence continue N86°-31'-22"E 100.00 feet; thence S03°-28'-38"E 100.00 feet; thence S86°-31'-22"W 100.00 feet; thence N03°-28'-38"W 100.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.



Via: USPS Priority Mail

Mr. Majid Allen
Senior Planner
Dane County-Planning and Development Department
210 Martin Luther King Jr. Blvd., Room 116
Madison, WI 53703-3342

June 27, 2018

Re: Conditional Use Permit Application Submittal/ SBA Towers V, LLC-New Mobile Service Support Structure and Facilities/Jane Liess and Phyllis Dube Property located at 2660 Hwy 51, McFarland, WI 53558. Town of Dunn. Parcel ID #028/0610-103-9210-1 (Access Easement) & 028/0610-103-9190-6 (Access Easement and Compound).

Dear Mr. Allen,

On behalf of our client(s) SBA Towers V, LLC (“SBA”) and Verizon Wireless, enclosed please find the required project information along with a completed Dane County Conditional Use Application form(s) and a check made payable to Dane County in the amount of \$3,000.00 for the applicable application and permit fees. This application and its corresponding submittal information have been prepared in accordance with the State of Wisconsin Mobile tower siting regulations found at Wis. Stat. Sect. 66.0404. The application procedures for a new wireless communications tower are found at Wis. Stat. Sect. 66.0404(2)(b) and list six (6) requirements for a completed application.

Below is a narrative on these six (6) requirements, including the specific project information. I have also enclosed a copy of the State of Wisconsin regulations for your reference as you review this submittal.

1. The name and business address of, and the contact individual of, the applicant.

Applicant (s):
SBA Towers V, LLC
Attn: Jessica Ross
8051 Congress Avenue
Boca Raton, FL 33487-2797

Contact Individual:
Peter Schau
Ton 80 Realty Services, Inc.
P.O. Box 578790
Chicago, IL 60657

Verizon Wireless Personal Communications LP,
d/b/a Verizon Wireless
1515 Woodfield Road
Schaumburg, IL 60173

2. The location of the proposed support structure.

2660 US Hwy 51, McFarland, WI 53558
Parcel ID #: 028/0610-103-9190-6



The location of the proposed 130' tall monopole tower structure (138' overall with lighting rod), which would be expandable to a 160' tall monopole tower structure (169' overall with lightning rod) as needed, is in the east half of the above referenced 5.35 acre parcel (Parcel ID #028/0610-103-9190-6 within a 100' x 100' lease area as depicted in the enclosed survey and construction drawings.

3. The location of the proposed mobile service facility.

2660 US Hwy 51, McFarland, WI 53558
Parcel ID #: 028/0610-103-9190-6

SBA proposes to construct an 130' tall monopole tower structure (138' overall with lighting rod), which would be expandable to a 160' tall monopole tower structure (169' overall with lightning rod) as needed, for the immediate use by Verizon Wireless Personal Communications LP d/b/a Verizon Wireless in the east half of the property at 2660 US Hwy 51, McFarland, WI 53558. This new tower structure will be located within a 100' x 100' ground lease area as depicted in the enclosed survey and construction drawings. Verizon Wireless will locate its antennas and equipment upon the tower at the 120' centerline, route its coax/cabling through the interior of the tower, and install an 8" x 9'4" concrete pad which will house the Verizon Wireless base station equipment and a separate 5' x 8' 6" concrete pad for its backup power generator both located near the base of the tower structure at grade all within the SBA ground lease area. Also, the monopole tower and compound are designed to accommodate at least two (2) additional wireless telecommunications equipment installations besides the one contemplated by Verizon Wireless.

4. If the application is to substantially modify an existing support structure...

The application is for a new 130' tall monopole tower structure (138' overall with lighting rod), which would be expandable to a 160' tall monopole tower structure (169' overall with lightning rod) as needed, therefore the submittal requirements of this section are not applicable.

5. If the application is to construct a new mobile service support structure, a construction plan which describes the proposed mobile services support structure and the equipment and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and related equipment to be placed on or around the new mobile service support structure.

See the enclosed construction drawings depicting the proposed SBA and Verizon Wireless installations containing the above described information.

6. If the application is to construct a new mobile service support structure, an explanation as to why the application chose the proposed location and why the applicant did not choose collocation, including a sworn statement from an individual who has the responsibility over the placement of the mobile service support structure attesting that collocation within the applicant's search ring would not result in the same mobile service functionality, coverage, and capacity; is technically infeasible; or is economically burdensome to the mobile service provider.

The Verizon Wireless search ring is depicted in the enclosed Delorme Map labeled "Verizon Wireless Search Area Map: Exchange Site", where there are no existing structures of any kind within the defined search area available for collocation by Verizon Wireless. Enclosed in the application materials is a sworn statement from the Verizon Wireless Radio Frequency Engineer assigned to the site attesting to the



fact that collocation is not feasible option for this site, as there are no existing structures of any kind which exist within the Verizon Wireless Search Area that could be utilized by Verizon Wireless for a collocation.

ADDITIONAL DISCUSSION

This is a joint application for a proposed new communications tower facility which will be owned by SBA Towers V, LLC ("SBA"), a national owner and operator of wireless communications infrastructure; and an antenna and equipment installation upon this new communications tower facility by its proposed tenant, Verizon Wireless. It is not uncommon for wireless telecommunications service providers to engage the services of a tower company to construct, own, and operate the infrastructure upon which they desire locate their equipment. In this case, Verizon Wireless needs the site to meet its service needs for the defined search area, and has engaged SBA to participate as the tower developer/owner for the project.

As described above, the proposed project is for the construction, installation, and operation of an unmanned wireless tower communications facility upon the property located at 2660 Hwy 51, McFarland, WI 53558 in the Town of Dunn. This facility will consist of Verizon Wireless antennas and equipment to be mounted at the 120' centerline of a newly constructed SBA owned 130' tall monopole tower structure (138' overall with lighting rod), which would be expandable to a 160' tall monopole tower structure (169' overall with lightning rod) as needed, associated coaxial/hybrid cable runs down the interior of the tower, and an 8" x 9'4" concrete pad which will house the Verizon Wireless base station equipment and a separate 5' x 8' 6" concrete pad for its backup power generator near the base of the tower, all within a 65' x 65' fenced SBA compound area as shown in the enclosed plans. Also, a 30' foot wide access and utility easement will be utilized to serve the site, entering the property from the public way via the existing access point from US Hwy 51 to the west.

This Conditional Use Permit will provide a great benefit for the community, in that it will allow for the provision of the highest quality and most technologically advanced wireless communication services to the area. Besides the services which will be provided by Verizon Wireless, the tower facility has been designed so it will be available for at least two (2) other comparable antenna and equipment installations, and shall conform to all applicable ANSI/TIA 222-G, FCC, and FAA regulations and standards governing such facilities. Multiple company collocations on its infrastructure is the core of SBA's business, and SBA actively markets its portfolio of tower sites for collocation to all communication users nationwide and will do so for this site as well.

The proposed facility will not require any public participation or result in any public cost for public facilities and services which would be detrimental to the economic welfare of the community. In fact, the wireless communication services offered by Verizon Wireless are desired by both businesses and individuals alike, and will be an economic asset to the community. The enhanced E-911 services provided by facilities such as these will also assist in the protection of the public health, safety, and welfare of the community.

The equipment will operate continuously at this unmanned facility and will require no additional parking or facilities for employees. Verizon Wireless' cell site technicians will visit the site periodically, typically a couple hours once per month, for the testing and monitoring of the maintenance and security of its equipment. SBA Communications personnel will also visit the site periodically to monitor the maintenance and security of the facility. The facility will not generate any substantial traffic, and besides



the new tower structure, the remainder of the equipment has a minimal visual impact and generates very little noise.

This site is located in the A-2, Agricultural Zoning District and has been positioned upon the underlying 5.35 acre parcel in location to best conform with the current uses of the underlying property, and to maximize its distance from the closest neighboring properties and public way viewsheds to the west. The location of the proposed tower upon the property is setback from the nearest property line by little over 79' 6", a distance that is less than the maximum overall height of the proposed tower structure. However, enclosed please find a stamped engineering letter from Sabre Industries Towers and Poles, SBA's tower manufacturer, ensuring that the tower will be designed to collapse within the subject property in the event of structural failure.

Besides the six (6) application requirements defined by Wis. Stat. Sect. 66.0404(2)(b), I have also enclosed the below listed items and provided additional narrative as requested by Dane County and agreed to by the applicant.

FAA Determination (see attached)
Fall Letter (see attached)
Site Plan (see attached which includes latitude/longitude and site elevation)
RF Propagation Maps (see attached Macro Cell site maps)
Tower Inventory 1.5 Mile Radius Map (see attached)
Google Earth Aerial and Street View Maps (see attached)
Ice Non-Hazard Statement (see below)
Visual Mitigation Statement (see below)

Ice Non-Hazard Statement

Wireless communications structures do not pose any greater ice fall hazard than other elevated man made or natural structures. The proposed communications structure is a monopole, the design of which significantly minimizes the areas at which ice can form. It has no guy wires. Further, the proposed communications structure is located on a 5.35 acre privately owned parcel with an agricultural use, which greatly minimizes public contact with the communications structure. Further, Wisconsin Statute 66.0404 prohibits the governing body from considering this issue in deliberating a tower approval.

Visual Mitigation Statement

As to minimizing visual impacts, the location chosen is the eastern most available upon the property maximizing its distance to the closest developed properties and public way to the west. It also utilizes proximity to the existing agricultural buildings upon the property to provide screening from those same westerly off-site views. The immediate surrounding area is mostly commercial properties and undeveloped land thus minimizing its visibility to the closest resident populations.

Finally, I believe the above information satisfies the applicable application requirements as defined by the Dane County Zoning Ordinance and as preempted by Wis. Stat. Sect. 66.0404; and is ready to be scheduled for consideration by the Dane County Zoning and Land Regulation Committee. I look forward to the public hearing for this request, and will be present at the meeting to address any remaining questions that the committee or members of the public may have regarding the application and proposed



use of the site. As you know, a copy of this application and the enclosed materials have been previously submitted to Dunn Township ensuring they are aware of this submittal.

Should you have any additional information needs or questions regarding the application, the enclosed materials, or the proposed use of the site, please contact me directly at (773) 919-5112, or by e-mail at pschau@ton80realtyservices.com.

Sincerely,

Peter Schau

Peter Schau
Ton 80 Realty Services, Inc.,
on behalf of SBA Towers V, LLC
and Verizon Wireless

Enclosures as described

CC: Ms. Erica Schmitz
Land Use Manager
Town of Dunn
4156 County Road B
McFarland, WI 53558

Section 1269i. 66.0404 of the statutes is created to read:

66.0404 Mobile tower siting regulations.

(1) Definitions. In this section:

- (a) "Antenna" means communications equipment that transmits and receives electromagnetic radio signals and is used in the provision of mobile services.
- (b) "Application" means an application for a permit under this section to engage in an activity specified in sub. (2) (a) or a class 2 collocation.
- (c) "Building permit" means a permit issued by a political subdivision that authorizes an applicant to conduct construction activity that is consistent with the political subdivision's building code.
- (d) "Class 1 collocation" means the placement of a new mobile service facility on an existing support structure such that the owner of the facility does not need to construct a free standing support structure for the facility but does need to engage in substantial modification.
- (e) "Class 2 collocation" means the placement of a new mobile service facility on an existing support structure such that the owner of the facility does not need to construct a free standing support structure for the facility or engage in substantial modification.
- (f) "Collocation" means class 1 or class 2 collocation or both.
- (g) "Distributed antenna system" means a network of spatially separated antenna nodes that is connected to a common source via a transport medium and that provides mobile service within a geographic area or structure.
- (h) "Equipment compound" means an area surrounding or adjacent to the base of an existing support structure within which is located mobile service facilities.
- (i) "Existing structure" means a support structure that exists at the time a request for permission to place mobile service facilities on a support structure is filed with a political subdivision.
- (j) "Fall zone" means the area over which a mobile support structure is designed to collapse.
- (k) "Mobile service" has the meaning given in [47 USC 153](#) (33).
- (L) "Mobile service facility" means the set of equipment and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and associated equipment, that is necessary to provide mobile service to a discrete geographic area, but does not include the underlying support structure.
- (m) "Mobile service provider" means a person who provides mobile service.
- (n) "Mobile service support structure" means a freestanding structure that is designed to support a mobile service facility.
- (o) "Permit" means a permit, other than a building permit, or approval issued by a political subdivision which authorizes any of the following activities by an applicant:
 - 1. A class 1 collocation.
 - 2. A class 2 collocation.
 - 3. The construction of a mobile service support structure.
- (p) "Political subdivision" means a city, village, town, or county.
- (q) "Public utility" has the meaning given in s. 196.01 (5).
- (r) "Search ring" means a shape drawn on a map to indicate the general area within which a mobile service support structure should be located to meet radio frequency engineering

requirements, taking into account other factors including topography and the demographics of the service area.

(s) "Substantial modification" means the modification of a mobile service support structure, including the mounting of an antenna on such a structure, that does any of the following:

1. For structures with an overall height of 200 feet or less, increases the overall height of the structure by more than 20 feet.
2. For structures with an overall height of more than 200 feet, increases the overall height of the structure by 10 percent or more.
3. Measured at the level of the appurtenance added to the structure as a result of the modification, increases the width of the support structure by 20 feet or more, unless a larger area is necessary for collocation.
4. Increases the square footage of an existing equipment compound to a total area of more than 2,500 square feet.

(t) "Support structure" means an existing or new structure that supports or can support a mobile service facility, including a mobile service support structure, utility pole, water tower, building, or other structure.

(u) "Utility pole" means a structure owned or operated by an alternative telecommunications utility, as defined in s. 196.01 (1d); public utility, as defined in s. 196.01 (5); telecommunications utility, as defined in s. 196.01 (10); political subdivision; or cooperative association organized under ch. 185; and that is designed specifically for and used to carry lines, cables, or wires for telecommunications service, as defined in s. 182.017 (1g) (cq); video service, as defined in s. 66.0420 (2) (y); for electricity; or to provide light.

(2) New construction or substantial modification of facilities and support structures.

(a) Subject to the provisions and limitations of this section, a political subdivision may enact a zoning ordinance under s. 59.69, 60.61, or 62.23 to regulate any of the following activities:

1. The siting and construction of a new mobile service support structure and facilities.
2. With regard to a class 1 collocation, the substantial modification of an existing support structure and mobile service facilities.

(b) If a political subdivision regulates an activity described under par. (a), the regulation shall prescribe the application process which a person must complete to engage in the siting, construction, or modification activities described in par. (a). The application shall be in writing and shall contain all of the following information:

1. The name and business address of, and the contact individual for, the applicant.
2. The location of the proposed or affected support structure.
3. The location of the proposed mobile service facility.
4. If the application is to substantially modify an existing support structure, a construction plan which describes the proposed modifications to the support structure and the equipment and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and related equipment associated with the proposed modifications.
5. If the application is to construct a new mobile service support structure, a construction plan which describes the proposed mobile service support structure and the equipment

and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and related equipment to be placed on or around the new mobile service support structure.

6. If an application is to construct a new mobile service support structure, an explanation as to why the applicant chose the proposed location and why the applicant did not choose collocation, including a sworn statement from an individual who has responsibility over the placement of the mobile service support structure attesting that collocation within the applicant's search ring would not result in the same mobile service functionality, coverage, and capacity; is technically infeasible; or is economically burdensome to the mobile service provider.

(c) If an applicant submits to a political subdivision an application for a permit to engage in an activity described under par. (a), which contains all of the information required under par. (b), the political subdivision shall consider the application complete. If the political subdivision does not believe that the application is complete, the political subdivision shall notify the applicant in writing, within 10 days of receiving the application, that the application is not complete. The written notification shall specify in detail the required information that was incomplete. An applicant may resubmit an application as often as necessary until it is complete.

(d) Within 90 days of its receipt of a complete application, a political subdivision shall complete all of the following or the applicant may consider the application approved, except that the applicant and the political subdivision may agree in writing to an extension of the 90 day period:

1. Review the application to determine whether it complies with all applicable aspects of the political subdivision's building code and, subject to the limitations in this section, zoning ordinances.
2. Make a final decision whether to approve or disapprove the application.
3. Notify the applicant, in writing, of its final decision.
4. If the decision is to disapprove the application, include with the written notification substantial evidence which supports the decision.

(e) A political subdivision may disapprove an application if an applicant refuses to evaluate the feasibility of collocation within the applicant's search ring and provide the sworn statement described under par. (b) 6.

(f) A party who is aggrieved by the final decision of a political subdivision under par. (d) 2. may bring an action in the circuit court of the county in which the proposed activity, which is the subject of the application, is to be located.

(g) If an applicant provides a political subdivision with an engineering certification showing that a mobile service support structure, or an existing structure, is designed to collapse within a smaller area than the set back or fall zone area required in a zoning ordinance, that zoning ordinance does not apply to such a structure unless the political subdivision provides the applicant with substantial evidence that the engineering certification is flawed.

(h) A political subdivision may regulate the activities described under par. (a) only as

provided in this section.

(i) If a political subdivision has in effect on the effective date of this subdivision [LRB inserts date], an ordinance that applies to the activities described under par. (a) and the ordinance is inconsistent with this section, the ordinance does not apply to, and may not be enforced against, the activity.

(3) Collocation on existing support structures.

(a) 1. A class 2 collocation is a permitted use under ss. 59.69, 60.61, and 62.23.

2. If a political subdivision has in effect on the effective date of this subdivision [LRB inserts date], an ordinance that applies to a class 2 collocation and the ordinance is inconsistent with this section, the ordinance does not apply to, and may not be enforced against, the class 2 collocation.

3. A political subdivision may regulate a class 2 collocation only as provided in this section.

4. A class 2 collocation is subject to the same requirements for the issuance of a building permit to which any other type of commercial development or land use development is subject.

(b) If an applicant submits to a political subdivision an application for a permit to engage in a class 2 collocation, the application shall contain all of the information required under sub. (2) (b) 1. to 3., in which case the political subdivision shall consider the application complete. If any of the required information is not in the application, the political subdivision shall notify the applicant in writing, within 5 days of receiving the application, that the application is not complete. The written notification shall specify in detail the required information that was incomplete. An applicant may resubmit an application as often as necessary until it is complete.

(c) Within 45 days of its receipt of a complete application, a political subdivision shall complete all of the following or the applicant may consider the application approved, except that the applicant and the political subdivision may agree in writing to an extension of the 45 day period:

1. Make a final decision whether to approve or disapprove the application.

2. Notify the applicant, in writing, of its final decision.

3. If the application is approved, issue the applicant the relevant permit.

4. If the decision is to disapprove the application, include with the written notification substantial evidence which supports the decision.

(d) A party who is aggrieved by the final decision of a political subdivision under par. (c) 1. may bring an action in the circuit court of the county in which the proposed activity, which is the subject of the application, is to be located.

(4) Limitations. With regard to an activity described in sub. (2) (a) or a class 2 collocation, a political subdivision may not do any of the following:

(a) Impose environmental testing, sampling, or monitoring requirements, or other compliance measures for radio frequency emissions, on mobile service facilities or

mobile radio service providers.

- (b) Enact an ordinance imposing a moratorium on the permitting, construction, or approval of any such activities.
- (c) Enact an ordinance prohibiting the placement of a mobile service support structure in particular locations within the political subdivision.
- (d) Charge a mobile radio service provider a fee in excess of one of the following amounts:
 1. For a permit for a class 2 collocation, the lesser of \$500 or the amount charged by a political subdivision for a building permit for any other type of commercial development or land use development.
 2. For a permit for an activity described in sub. (2) (a), \$3,000.
- (e) Charge a mobile radio service provider any recurring fee for an activity described in sub. (2) (a) or a class 2 collocation.
- (f) Permit 3rd party consultants to charge the applicant for any travel expenses incurred in the consultant's review of mobile service permits or applications.
- (g) Disapprove an application to conduct an activity described under sub. (2) (a) based solely on aesthetic concerns.
- (gm) Disapprove an application to conduct a class 2 collocation on aesthetic concerns.
- (h) Enact or enforce an ordinance related to radio frequency signal strength or the adequacy of mobile service quality.
- (i) Impose a surety requirement, unless the requirement is competitively neutral, nondiscriminatory, and commensurate with the historical record for surety requirements for other facilities and structures in the political subdivision which fall into disuse. There is a rebuttable presumption that a surety requirement of \$20,000 or less complies with this paragraph.
- (j) Prohibit the placement of emergency power systems.
- (k) Require that a mobile service support structure be placed on property owned by the political subdivision.
- (L) Disapprove an application based solely on the height of the mobile service support structure or on whether the structure requires lighting.
- (m) Condition approval of such activities on the agreement of the structure or mobile service facility owner to provide space on or near the structure for the use of or by the political subdivision at less than the market rate, or to provide the political subdivision other services via the structure or facilities at less than the market rate.

- (n) Limit the duration of any permit that is granted.
- (o) Require an applicant to construct a distributed antenna system instead of either constructing a new mobile service support structure or engaging in collocation.
- (p) Disapprove an application based on an assessment by the political subdivision of the suitability of other locations for conducting the activity.
- (q) Require that a mobile service support structure, existing structure, or mobile service facilities have or be connected to backup battery power.
- (r) Impose a setback or fall zone requirement for a mobile service support structure that is different from a requirement that is imposed on other types of commercial structures.
- (s) Consider an activity a substantial modification under sub. (1) (s) 1. or 2. if a greater height is necessary to avoid interference with an existing antenna.
- (t) Consider an activity a substantial modification under sub. (1) (s) 3. if a greater protrusion is necessary to shelter the antenna from inclement weather or to connect the antenna to the existing structure by cable.
- (u) Limit the height of a mobile service support structure to under 200 feet.
- (v) Condition the approval of an application on, or otherwise require, the applicant's agreement to indemnify or insure the political subdivision in connection with the political subdivision's exercise of its authority to approve the application.
- (w) Condition the approval of an application on, or otherwise require, the applicant's agreement to permit the political subdivision to place at or collocate with the applicant's support structure any mobile service facilities provided or operated by, whether in whole or in part, a political subdivision or an entity in which a political subdivision has a governance, competitive, economic, financial or other interest.

(5) Applicability. If a county enacts an ordinance as described under sub. (2) the ordinance applies only in the unincorporated parts of the county, except that if a town enacts an ordinance as described under sub. (2) after a county has so acted, the county ordinance does not apply, and may not be enforced, in the town, except that if the town later repeals its ordinance, the county ordinance applies in that town.

Section 1269k. 66.0406 of the statutes is created to read:

66.0406 Radio broadcast service facility regulations.

(1) Definitions. In this section:

- (a) "Political subdivision" means any city, village, town, or county.
- (b) "Radio broadcast services" means the regular provision of a commercial or noncommercial service involving the transmission, emission, or reception of radio waves

for the transmission of sound or images in which the transmissions are intended for direct reception by the general public.

(c) "Radio broadcast service facilities" means commercial or noncommercial facilities, including antennas and antenna support structures, intended for the provision of radio broadcast services.

(2) Limitations on local regulation. Beginning on May 1, 2013, if a political subdivision enacts an ordinance, adopts a resolution, or takes any other action that affects the placement, construction, or modification of radio broadcast service facilities, the ordinance, resolution, or other action may not take effect unless all of the following apply:

(a) The ordinance, resolution, or other action has a reasonable and clearly defined public health or safety objective, and reflects the minimum practical regulation that is necessary to accomplish that objective.

(b) The ordinance, resolution, or other action reasonably accommodates radio broadcast services and does not prohibit, or have the effect of prohibiting, the provision of such services in the political subdivision.

(3) Continued application of existing regulations. If a political subdivision has in effect on May 1, 2013, an ordinance or resolution that is inconsistent with the requirements that are specified in sub. (2) for an ordinance, resolution, or other action to take effect, the existing ordinance or resolution does not apply, and may not be enforced, to the extent that it is inconsistent with the requirements that are specified in sub. (2).

(4) Denial of placement, construction, or modification of facilities. If a political subdivision denies a request by any person to place, construct, or modify radio broadcast service facilities in the political subdivision, the denial may be based only on the political subdivision's public health or safety concerns. The political subdivision must provide the requester with a written denial of the requester's request, and the political subdivision must provide the requester with substantial written evidence which supports the reasons for the the political subdivision's action.



DANE COUNTY PLANNING & DEVELOPMENT

Zoning Division
Room 116, City-County Building
210 Martin Luther King Jr. Blvd.
Madison, Wisconsin 53703-3342
Phone: (608) 266-4266
Fax: (608) 267-1540

Conditional Use Application

Application Fee: \$486 Mineral Extraction: \$1136 Cell Tower: \$3000

Items required to be submitted with application:

- Written Legal Description of Conditional Use Permit boundaries
Scaled drawing of the property showing existing/proposed buildings, setback requirements, driveway, parking area, outside storage areas, location/type of exterior lighting, any natural features, and proposed signs.
Scaled map showing neighboring area land uses and zoning districts
Written operations plan describing the items listed below (additional items needed for mineral extraction sites)
Written statement on how the proposal meets the 6 standards of a Conditional Use

Owner SBA Towers V, LLC & Verizon Wireless as tenants to Jane Liess and Phyllis Dube
Agent Peter Schau, Ton 80 Realty Services, Inc.
Address 2660 Hwy. 51, McFarland, WI 53558
Address P.O. Box 578790, Chicago, IL 60657
Phone 608-838-0131
Phone 773-919-5112
Email JaneLiess@aol.com
Email pschau@ton80realtyservices.com

Parcel numbers affected: 028/0610-103-9210-1
Town: Dunn
Section: S10, T6, R10E
028-0610-103-9190-6
Property Address: 2660 US Hwy. 51

Existing/ Proposed Zoning District : A-2 / No zoning change

Type of Activity proposed: Wireless communications

- Hours of Operation 24/7
Number of employees 0
Anticipated customers 0
Outside storage No
Outdoor activities No
Outdoor lighting Yes, equipment platform
Outside loudspeakers No
Proposed signs FCC stipulated signage and identification only
Trash removal No
Six Standards of CUP (see back)

The statements provided are true and provide an accurate depiction of the proposed land use. I authorize that I am the owner or have permission to act on behalf of the owner of the property.
Submitted By: [Signature], as agent for applicants
Date: 4/27/13

Six Standards of a Conditional Use Permit

Provide an explanation on how the proposed land use will meet all six standards.

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The use will positively impact public health, safety, comfort and general welfare by providing the most technologically advanced wireless communications to the area including E911 enhanced emergency response capabilities.

2. The uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by establishment, maintenance or operation of the conditional use.

There will be no substantial impairment or diminishment to the current surrounding uses as the use will create essentially no additional traffic and will not be audible to surrounding neighbors.

3. That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The use will have no adverse impact on the orderly development of surrounding uses currently agricultural, residential and commercial.

4. That adequate utilities, access roads, drainage and other necessary site improvements have been or are being made.

Adequate services including utilities, access and drainage have all been accounted for in the proposed use.

5. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Existing ingress/egress will be utilized for the use. Upon completion of construction traffic to the proposed site will average two-ten vehicles per month.

6. That the conditional use shall conform to all applicable regulations of the district in which it is located.

The use meets all applicable regulations as defined by WI State Statute 66.0404.

COMMUNICATION TOWER INFORMATION FORM (CTIF)

CONTACTS				
Property Owner's Name		SBA Towers V, LLC and Verizon Wireless, as tenants to Jane Liess and Phyllis Dube		
Property Owner's Mailing Address	2660 US Hwy. 51 Street	McFarland City	WI State	53558 ZIP
Property Owner's Phone Number		(608) 838-0131		
Agent's Name & Affiliation		Peter Schau, Ton 80 Realty Services, Inc.		
Agent's Relationship to Property Owner		Tenant's agent		
Agent's Relationship to the Proposed Tower (e.g. wireless service provider, site acquisition firm, tower builder, etc.)		Site Acquisition Specialist		
Agent's Mailing Address	PO. Box 578790 Street	Chicago City	IL State	60657 ZIP
Agent's Phone Number		(773) 919-5112		
PROPOSED ACTION				
Current Zoning	A2	CUP Acres	.23	
Proposed Zoning (only if rezoning)		Rezone Acres (if applicable)		
Have the property owner and the agent/tower sponsor formally completed a binding letter of intent, option to lease, or lease? Please attach a letter from the property owner(s) consenting to the application.			<input checked="" type="radio"/> Yes	<input type="radio"/> No
			<i>Circle One</i>	
If applicable, does the lease area coincide with the proposed CUP area? easement			<input checked="" type="radio"/> Yes	<input type="radio"/> No
			<i>Circle One</i>	
LOCATION				
Town	Dunn			
PLSS location (Township, Range, ¼ ¼ Section)	10/06/10 SW1/4SW1/6 and Lot 1 CSM 6609			
Parcel Number(s)	028/0610-103-9210-1 and 028/0610-103-9190-6			
Street Address (or Proximity to Nearest Address)	2660 US Hwy. 51, McFarland, WI			
Coordinates in Decimal Degrees (00.000000 Lat., - 00.000000 Long.)	42.991836 Lat, -89.305194 Long			
Is the subject property located in the Height Limitation Zoning Overlay District (HLZO), roughly within three miles of the Dane County Regional Airport (check with Zoning staff)?			<input type="radio"/> Yes	<input checked="" type="radio"/> No
			<i>Circle One</i>	

TOWER DETAILS							
Applicant's Intended Purpose of Tower (e.g. coverage, capacity, other). Explain.			Capacity				
Type of Tower (e.g. monopole, self-support lattice, guyed lattice, etc.)				Monopole			
Above Ground Level (AGL) Height (ft.) (i.e. maximum design potential).				169'			
Base/Ground Elevation (ft.)				856.4			
What is the "fall-down radius" (ft.) of the proposed tower?				79.5'			
Technology to be Initially Sited on the Proposed Tower (e.g. Cellular, PCS, Radio, Television, Microwave, etc.) ⁴				Cellular, AWS, PCS, LTE			
Number & elevation (Feet AGL) of Antenna Arrays to be Accommodated		120' 1	150' 2	160' 3	4	5	6
Is the primary sponsor of this tower a wireless service provider or a tower builder?		Both		If a wireless service provider, please include FCC license number.		Verizon Wireless KNLF-240	
To the best of the applicant's knowledge, will this tower be lighted?		Yes	<input checked="" type="radio"/> No	If applicable, please explain in the box below to the greatest extent known in what manner the tower will be lighted.			
		Circle One					
<i>Lighting Configuration:</i>							
Are there any mitigation measures being taken to minimize the visual impact of this tower? If so, explain. Attach an additional page if necessary.							
N/A per WI Stats Sec 66.0404(4)(g)							
PRELIMINARY INFORMATION ON OPTIONS FOR COLLOCATION⁵							
What search area radius was used to determine the location of the proposed tower?						.5 miles	
Are there any existing towers or other potentially suitable structures in excess of 80 feet in height within a 1.5 mile radius? If yes, how many structures <u>total</u> are there? _____ structures. If yes, please attach map showing the location of these structures in proximity to the proposed tower. N/A Per WI Stats 66.0404(4)(p)						Yes	No
						Circle One	
Has the applicant examined each of the structures noted above to determine if an antenna array can or may be located on the structure?						Yes	No
N/A per WI Stats 66.0404(4)(p)						Circle One	

⁴ Note that this statement in itself does not necessarily preclude in the future the placement of alternative technologies on this structure.

⁵ Note that more detailed information regarding options for collocation and addressing s. 10.194(2) of the Dane County Code of Ordinances is required in the *Written Statement*.

Assign a number to each of the existing structures noted above and briefly explain in the spaces below why each one will not accommodate the proposed antenna array (e.g. structurally incapable, owner unwilling to enter into a lease, etc.). Attach additional pages if necessary.		
1. N/A per WI Stats 66.0404(4)(p)		
2.		
3.		
4.		
SUBJECT PROPERTY AND SURROUNDING AREA		
What is the current, primary use of the subject property (e.g. residential, agricultural, commercial, etc.)?	AG, Commercial, Residential	
What are the current, primary uses of all properties adjacent to the subject property?	AG, Commercial, Residential	
What is the current zoning of all properties adjacent to the subject property?	N: A-1 E: A-1 S: A-1 W: A-1, A-2, C-2, C-2	
How far (in feet) is the proposed tower from the nearest structure on an adjacent property (not on subject property)? What is the current use of the structure?	670' Auto Repair	
Are there any small, private airports within a 3-mile radius of the proposed tower? If yes, give the name(s) and distance(s) in the box below.	Yes	<input checked="" type="radio"/> No
	Circle One	
Name(s) and Distances of Private Airports:		
If applicable, have the listed private airports within a 3-mile radius of the proposed tower been notified of the petition?	Yes	No
	Circle One	

TON 80

REALTY SERVICES, INC.

Ms. Jane Liess
Ms. Phyllis Dube
2660 Hwy. 51
McFarland, WI 53558

July 25, 2018

**Re: SBA Towers V, LLC ("SBA")-New Mobile Service Support Structure and Facilities /
Liess-Dube Property: 2660 Hwy. 51, McFarland, WI 53558.**

Parcel ID #: 028/0610-103-9210-1 & 028/0610-103-9190-6

Dear Jane & Phyllis,

Please acknowledge this letter below as evidence of your consent for Ton 80 Realty Services, Inc. to file any and all necessary zoning, building, erosion control, and other governmental use applications required for the proposed use of a Mobile Service Support Structure and Facilities upon the property by SBA as your tenant, and Verizon Wireless as SBA's prospective subtenant, with Dane County and the Town of Dunn, on your behalf as the fee owner of the property.

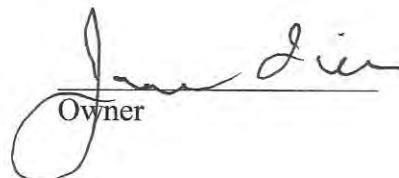
Thank you for all of your time and assistance in the matter.

Best regards,

Peter Schau

Peter Schau
On behalf of SBA Communications
and Verizon Wireless

Acknowledged this 27th
day of June, 2018


Owner



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2017-AGL-60-OE

Issued Date: 04/14/2017

Clinton Papenfuss
 SBA Towers
 8051 Congress Avenue
 Boca Raton, FL 33487-1310

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower WI 15646-B
 Location: McFarland, WI
 Latitude: 42-59-30.61N NAD 83
 Longitude: 89-18-18.70W
 Heights: 856 feet site elevation (SE)
 140 feet above ground level (AGL)
 996 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 1.

This determination expires on 10/14/2018 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (847) 294-7575. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2017-AGL-60-OE.

Signature Control No: 313894218-328432282

(DNE)

Vivian Vilaro
Specialist

Attachment(s)
Frequency Data

cc: FCC

Frequency Data for ASN 2017-AGL-60-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W

June 12, 2018

Ms. Andrea Gassner
SBA Network Services, Inc.
8051 Congress Avenue
Boca Raton, FL 33487-1307

RE: Proposed 160' Sabre Monopole for #WI15656-B, McFarland 2, WI

Dear Ms. Gassner,

Upon receipt of order, we propose to design and supply the above referenced Sabre monopole for a Basic Wind Speed of 90 mph with no ice and 40 mph with 3/4" radial ice, Structure Class II, Exposure Category C and Topographic Category 1 in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-G, "Structural Standard for Antenna Supporting Structures and Antennas".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors, resulting in an overall minimum safety factor of 25%. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the upper portion of the monopole shaft. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the upper portion of the monopole shaft. This is likely to result in the portion of the monopole above "folding over" onto the portion below, essentially collapsing on itself. **Please note that this letter only applies to the above referenced monopole designed and manufactured by Sabre Towers & Poles.** In the unlikely event of total separation, this would result in the portion above collapsing within a radius of 79 feet.

Sincerely,

Keith J. Tindall, P.E.
Vice President, Telecom Engineering



**SWORN STATEMENT OF CHRISTIAN JENNINGS IN SUPPORT OF NEW TOWER CONSTRUCTION
PURSUANT TO WIS. STAT. §66.0404**

WAUKESHA COUNTY)
)
STATE OF WISCONSIN)


CHRISTIAN JENNINGS, being first duly sworn on oath, deposes and says that:

1. I am an adult resident of the State of Wisconsin and serve as RF Engineer at Verizon Wireless.

2. My job duties include responsibility over the placement of the mobile service support structure being proposed by SBA Towers V, LLC and Verizon Wireless Personal Communications LP ("Verizon Wireless") at the property commonly known as 2660 U.S. Hwy 51, McFarland, WI 53558 (the "Verizon Wireless Proposal").

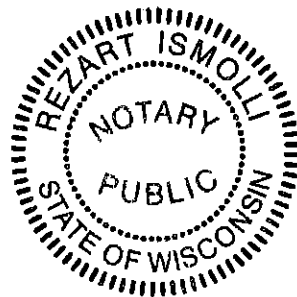
3. This sworn statement is made pursuant to Wis. Stat. §66.0404(2)(b)6.

4. The Verizon Wireless Proposal is being submitted because collocation within Verizon Wireless' search ring for the area covered by the Verizon Wireless Proposal is infeasible, as no existing structures of any kind currently exist which could be utilized for such collocation.


Christian Jennings

Subscribed and sworn to before me
this day of June 22nd, 2018

Rezart Smolli
Notary Public, State of Wisconsin
My commission: 11-15-2019



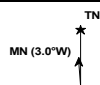
VZW Search Area Map: Exchange Site



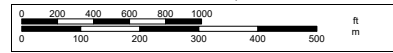
Data use subject to license.

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www.delorme.com



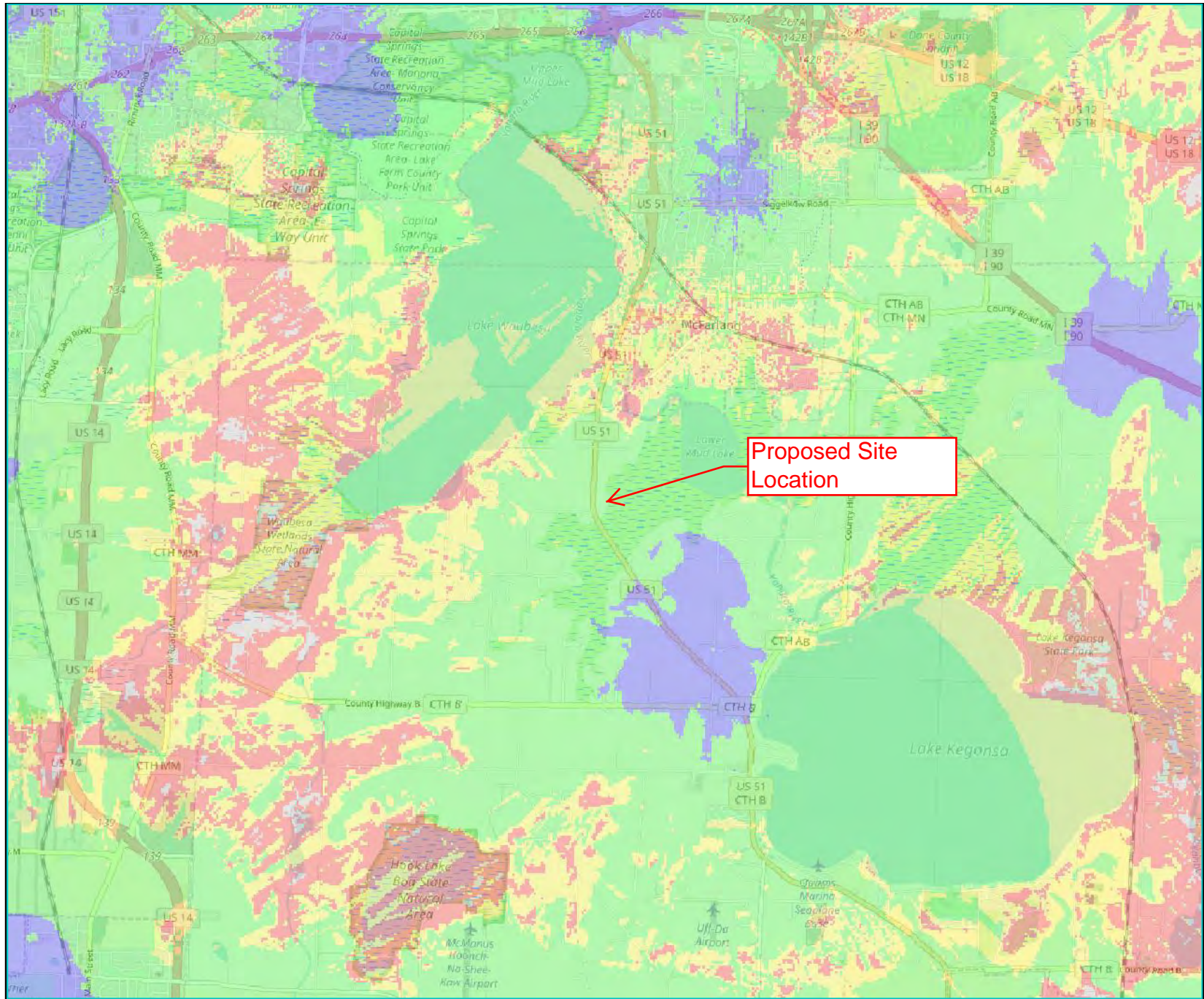
Scale 1 : 12,800



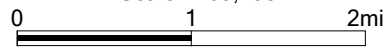
1" = 1,066.7 ft

Data Zoom 14-0

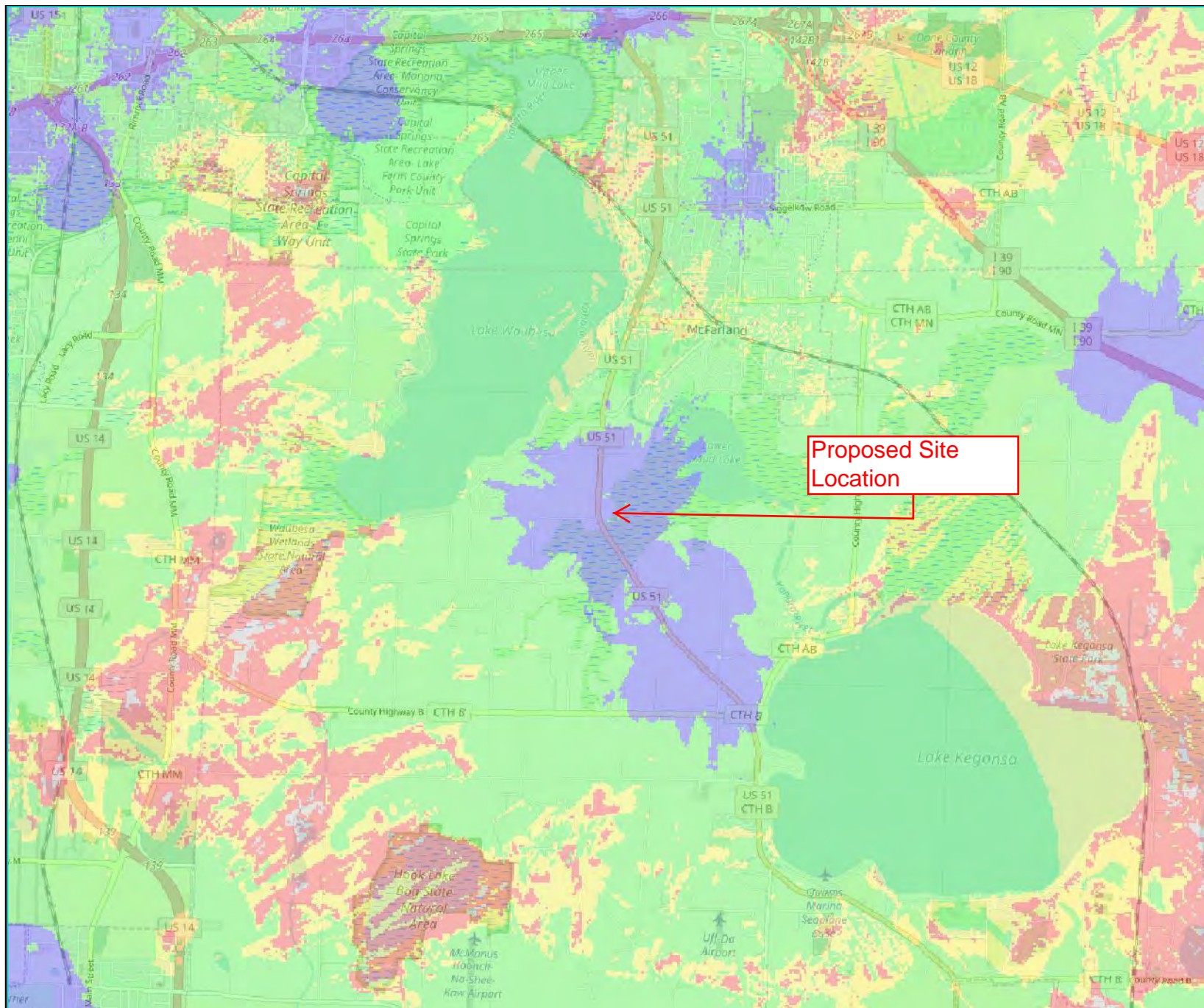
SBA: McFarland 2, WI /Verizon Wireless: Exchange-Propagation Map-Current



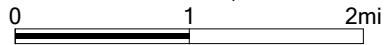
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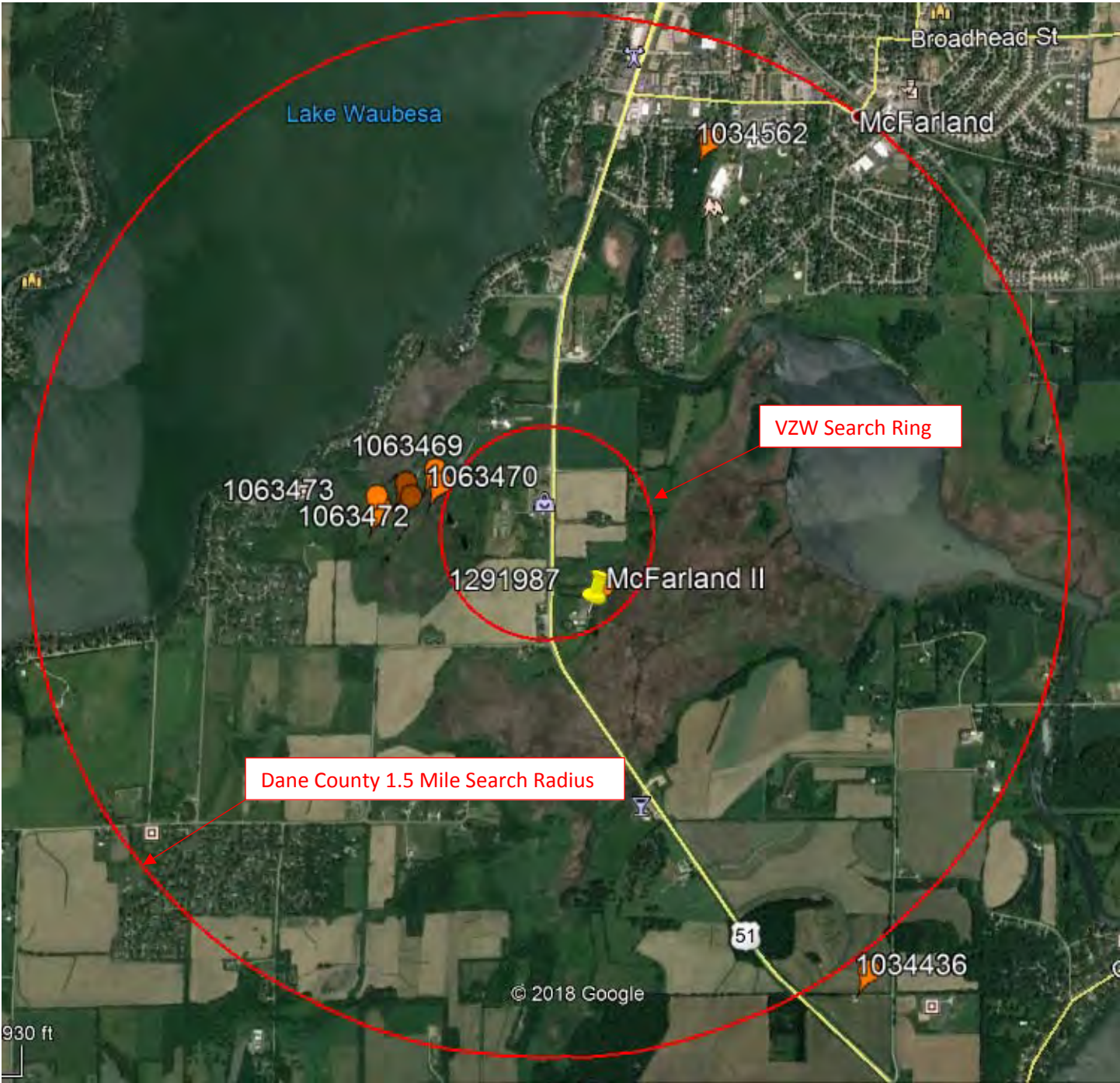


SBA: McFarland 2, WI /Verizon Wireless: Exchange-Propagation Map-Future

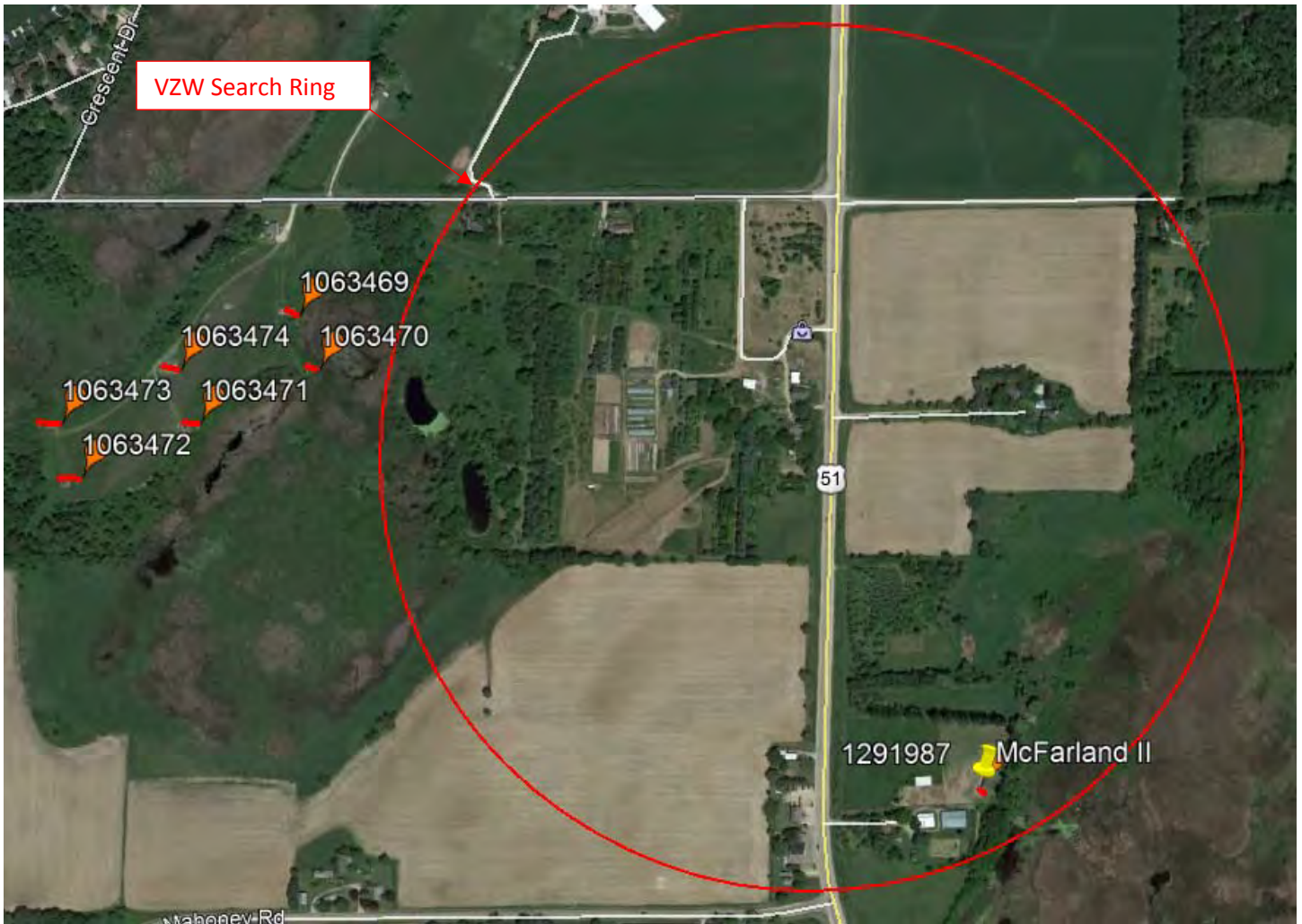


Scale: 1:69,798





Map Inset



ASR ANTENNA/TOWER REGISTRATION LEGEND:

Inside VZW Search Ring:

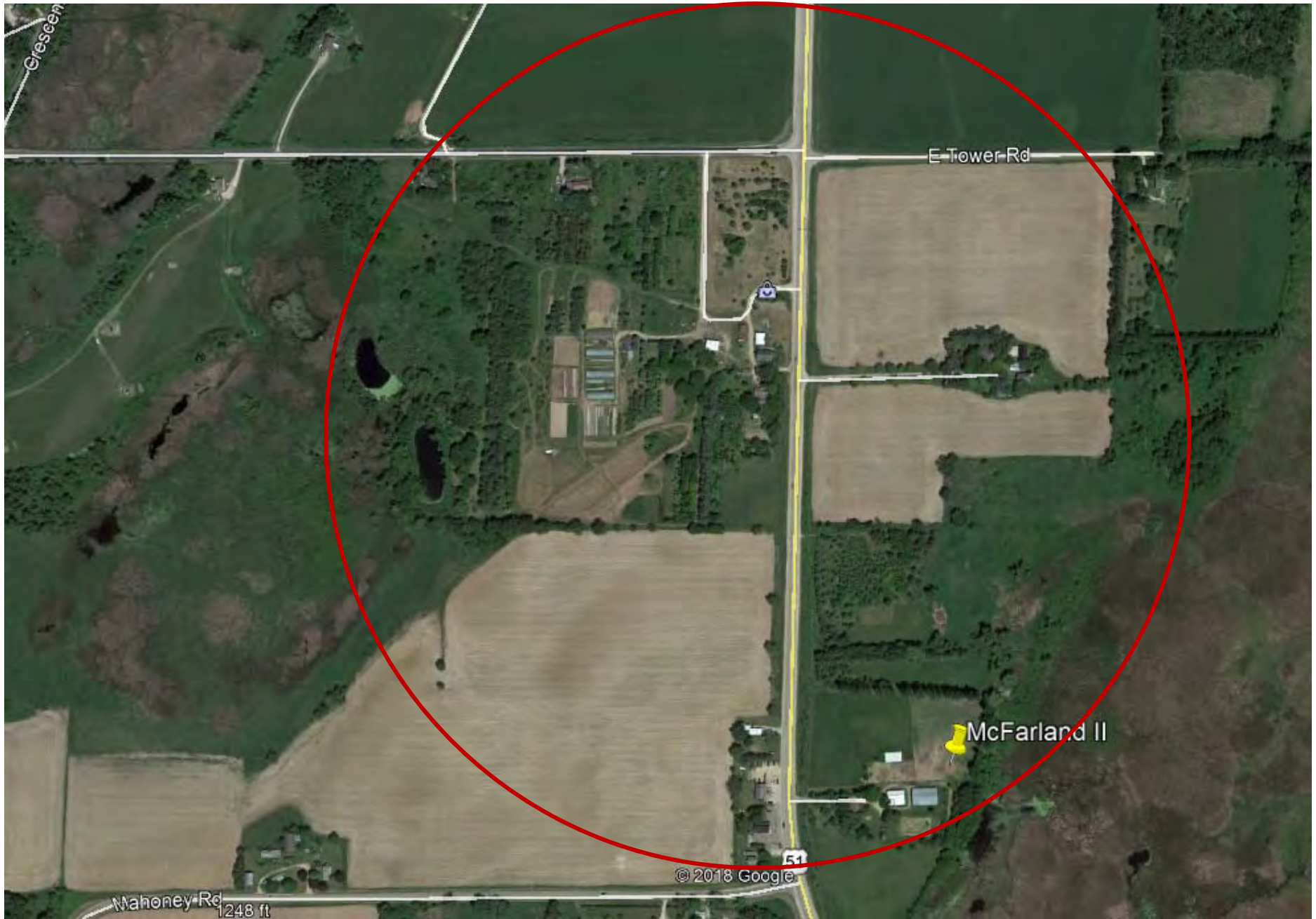
1291987: SBA McFarland II Site

Outside VZW Search Ring:

1034562: Former Airadigm antenna array on water tank

1063469 - 1063473: Vertical Bridge (former Clear Chanel AM Antenna Array; 6 x 256' guyed towers).

1034436: American Towers 281' Self-Support Tower.



Aerial Search Ring with Proposed Tower Location Indicated



Aerial Indicating Nearest Neighbor at +/- 670'



View facing southeast from Hwy. 51 toward proposed tower site

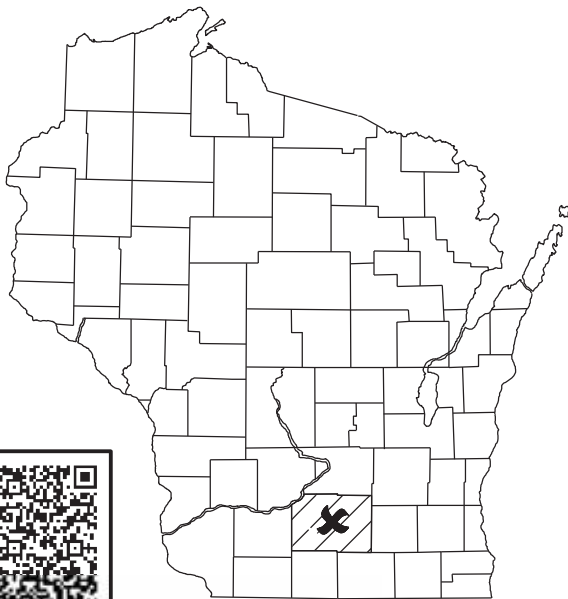
All tower depictions are approximated and not to scale.



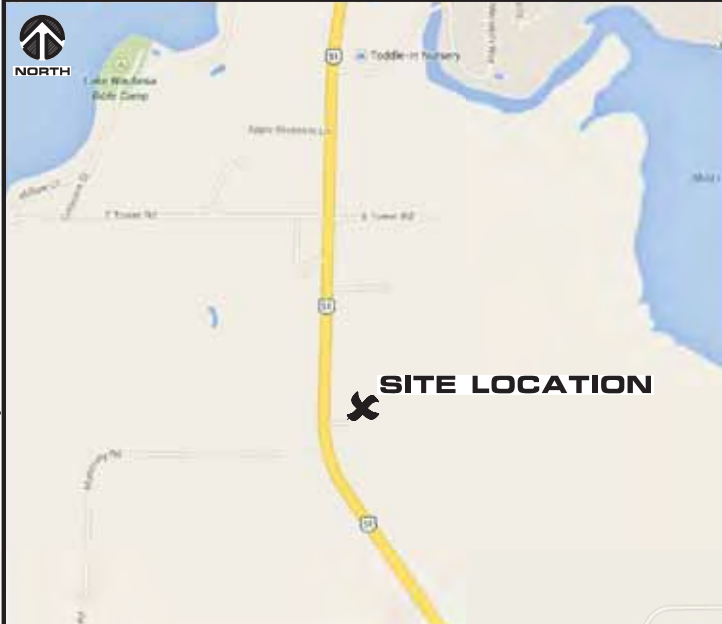
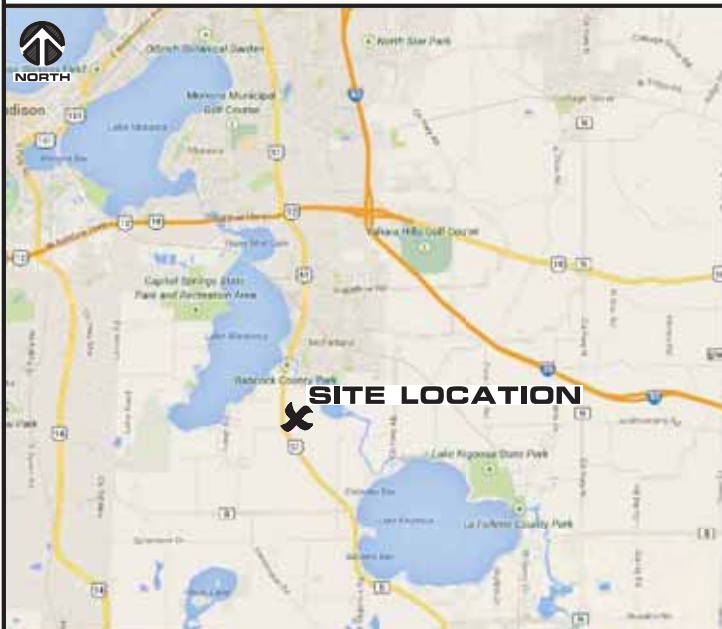
View facing east from Hwy. 51 toward proposed tower site



View facing northeast from Hwy. 51 toward proposed tower site



SITE LOCATION MAPS



**EXCHANGE [#269139]
MCFARLAND, WISCONSIN
CONSTRUCTION DRAWINGS
130' MONOPOLE TOWER
[EXTENDABLE TO 160']**

Edge Consulting Engineers, Inc.
624 Water Street
Prairie du Sac, WI 53578
608.644.1449 vo/ce
608.644.1519 fax
www.edgeconsult.com

**TITLE SHEET
EXCHANGE [#269139]
MCFARLAND, WISCONSIN**

SHEET INDEX	
NO:	SHEET TITLE
SBA TOWERS V, LLC. CONSTRUCTION SECTION	
T-1	TITLE SHEET
C-1	SITE PLAN
C-2	COMPOUND PLAN
C-3	FENCE DETAILS
C-4	CONSTRUCTION DETAILS
C-5	GRADING PLAN
C-6	SITE DETAILS
C-7	FENCE DETAILS
A-1	TOWER ELEVATION
E-1	UTILITY PLAN
E-2	UTILITY RACK DETAILS
G-1	GROUNDING PLAN
G-2	GROUNDING DETAILS
SP-1	SPECIFICATIONS
SP-2	SPECIFICATIONS
VERIZON WIRELESS CONSTRUCTION SECTION	
T-4	SURVEY *
VZW C-1	SITE PLAN
VZW C-2	COMPOUND PLAN
VZW C-3	ENLARGED COMPOUND PLAN
VZW S-1	EQUIPMENT DETAILS
VZW S-2	EQUIPMENT DETAILS
VZW S-3	FOUNDATION DETAILS
VZW S-4	EQUIPMENT ELEVATIONS
VZW A-1	TOWER ELEVATION
VZW A-2	ANTENNA CONFIGURATION
VZW A-3	ANTENNA CONFIGURATION
VZW A-4	ICE BRIDGE DETAILS
VZW A-5	ANTENNA/EQUIP. MOUNTING
VZW E-1	UTILITY PLAN
VZW E-2	UTILITY DETAILS
VZW E-3	GENERATOR DETAILS
VZW E-4	GENERATOR DETAILS
VZW G-1	GROUNDING PLAN
VZW G-2	GROUNDING DETAILS
VZW G-3	GROUNDING DETAILS
VZW N-1	NOTICE TO CONTRACTOR *
VZW N-2	NOTICE TO CONTRACTOR *
VZW P-1	SITE PHOTOS
* COMPLETED BY OTHERS	
CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS/CONDITIONS ON SITE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE FOR THE SAME.	

DIRECTORY
<p>CLIENT: CHICAGO SMSA LIMITED PARTNERSHIP d/b/a VERIZON WIRELESS 1515 E. WOODFIELD ROAD 10TH FLOOR SCHAUMBURG, IL 60173 REAL ESTATE MANAGER: DENA RANIERI PHONE: 630.640.4830</p> <p>ENGINEERING COMPANY: EDGE CONSULTING ENGINEERS, INC. 624 WATER STREET PRAIRIE DU SAC, WI 53578 CONTACT: PAUL MOLITOR PHONE: 608.644.1449</p> <p>SITE ACQUISITION: TON 80 REALTY SERVICES, INC. 2331 W. SCHOOL STREET CHICAGO, IL 60618 CONTACT: PETE SCHAU PHONE: 773.919.5112</p> <p>SURVEYOR: MERIDIAN SURVEYING, LLC. N9637 FRIENDSHIP DRIVE KAUKAUNA, WI 54130 CONTACT: CRAIG KEACH PHONE: 920.993.0881</p>

PROJECT INFO
<p>SITE LOCATION: E911 ADDRESS TO BE DETERMINED 2660 U.S.H. 51 MCFARLAND, WI 53558</p> <p>PROPERTY OWNER: JANE LIESS & PHYLLIS DUBE 2660 U.S.H. 51 MCFARLAND, WI 53558</p> <p>TOWER OWNER: SBA 2012 TC ASSETS, LLC 8051 CONGRESS AVENUE BOCA RATON, FL 33487 CONTACT: ANDREA GOMEZ PHONE: 561.226.9207 SITE NAME: MCFARLAND 2 SITE #: WI-15646-B</p> <p>1A INFORMATION (NAD 1983/2011) -TOWER BASE- LAT: 42°-59'-30.61" LONG: 89°-18'-18.70" GROUND ELEVATION (NAVD 88): 856.4'</p> <p>PLSS INFORMATION: PART OF SW1/4 OF THE SW1/4, SECTION 10, T.6N. R.10E, TOWN OF DUNN, DANE COUNTY WISCONSIN</p> <p>TAX PARCEL NUMBER: LEASE & EASEMENT: 0610-103-9190-6 EASEMENT: 0610-103-9210-1</p> <p>ZONED: A-2, AGRICULTURAL DISTRICT</p>

SCOPE OF WORK
<p><u>PROJECT DESCRIPTION:</u> PROJECT TYPE: 130' MONOPOLE TOWER EQUIPMENT: 8'-0" x 9'-4" EQUIPMENT PAD GENERATOR: TERTIARY GENERATOR</p> <p><u>RF DESCRIPTION (VERIFY WITH EGR):</u> PRO: ANTENNA C/L: 120' ABOVE T.O.C. ANTENNAS: (3) LTE/AWS ANTENNAS (3) LTE/AWS3 ANTENNAS (3) LTE/PCS ANTENNAS CABLES: (6) PRO. HYBRID CABLES EQUIPMENT: (6) PRO. SURGE PROTECTORS (9) PRO. REMOTE RADIO UNITS</p> <p>NOTE: FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT). PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.</p>

UTILITY INFO	
ELECTRIC PROVIDER:	NAME: ALLIANT ENERGY CONTACT: BRADLEY NOACK PHONE: 608.877.1634
FIBER OPTIC PROVIDER:	NAME: TBD CONTACT: PHONE:
<p>MEMBER OF</p> <p>TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CALL DIGGER'S HOTLINE</p> <p>TOLL FREE 1-800-242-8511 FAX A LOCATE 1-800-338-3860</p> <p>WI STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS' NOTICE BEFORE YOU EXCAVATE</p>	

ENGINEER SEAL:

PRELIMINARY - NOT FOR CONSTRUCTION

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

Signature: _____

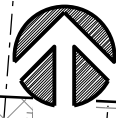
Date: _____

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV
STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK
STAMPED FINAL DWGS:	
CHECKED BY:	
PCM	
PLOT DATE:	
6/8/2018	
PROJECT #:	
19747	
FILE NAME:	
T-1.dgn	
SHEET NUMBER:	
T-1	

K:197200\19747\CAD\Plot\CD\1-1.dgn



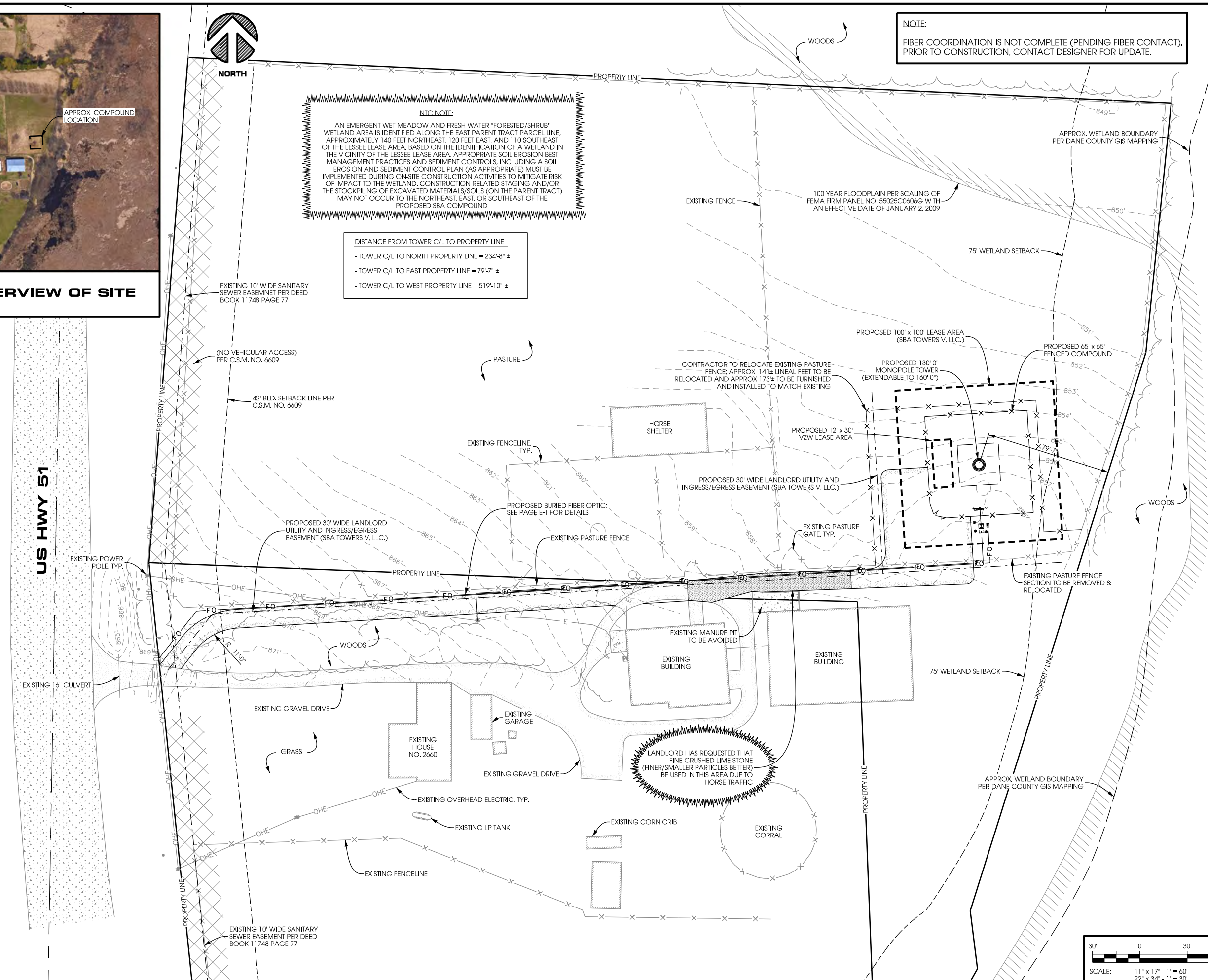
AERIAL OVERVIEW OF SITE



NOTE:
FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT).
PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.

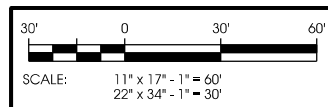
NIC NOTE:
AN EMERGENT WET MEADOW AND FRESH WATER "FORESTED/SHRUB" WETLAND AREA IS IDENTIFIED ALONG THE EAST PARENT TRACT PARCEL LINE, APPROXIMATELY 140 FEET NORTHEAST, 120 FEET EAST, AND 110 SOUTHEAST OF THE LESSEE LEASE AREA, BASED ON THE IDENTIFICATION OF A WETLAND IN THE VICINITY OF THE LESSEE LEASE AREA. APPROPRIATE SOIL EROSION BEST MANAGEMENT PRACTICES AND SEDIMENT CONTROLS, INCLUDING A SOIL EROSION AND SEDIMENT CONTROL PLAN (AS APPROPRIATE) MUST BE IMPLEMENTED DURING ON-SITE CONSTRUCTION ACTIVITIES TO MITIGATE RISK OF IMPACT TO THE WETLAND. CONSTRUCTION RELATED STAGING AND/OR THE STOCKPILING OF EXCAVATED MATERIALS/SOILS (ON THE PARENT TRACT) MAY NOT OCCUR TO THE NORTHEAST, EAST, OR SOUTHEAST OF THE PROPOSED SBA COMPOUND.

DISTANCE FROM TOWER C/L TO PROPERTY LINE:
- TOWER C/L TO NORTH PROPERTY LINE = 234'-8" ±
- TOWER C/L TO EAST PROPERTY LINE = 79'-7" ±
- TOWER C/L TO WEST PROPERTY LINE = 519'-10" ±



**SITE PLAN
EXCHANGE (#269139)
MCFARLAND, WISCONSIN**

SHEET TITLE:	
PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV
STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK
STAMPED FINAL DWGS:	
CHECKED BY:	
PCM	
PLOT DATE:	6/11/2018
PROJECT #:	19747
FILE NAME:	C-1.dgn
SHEET NUMBER:	





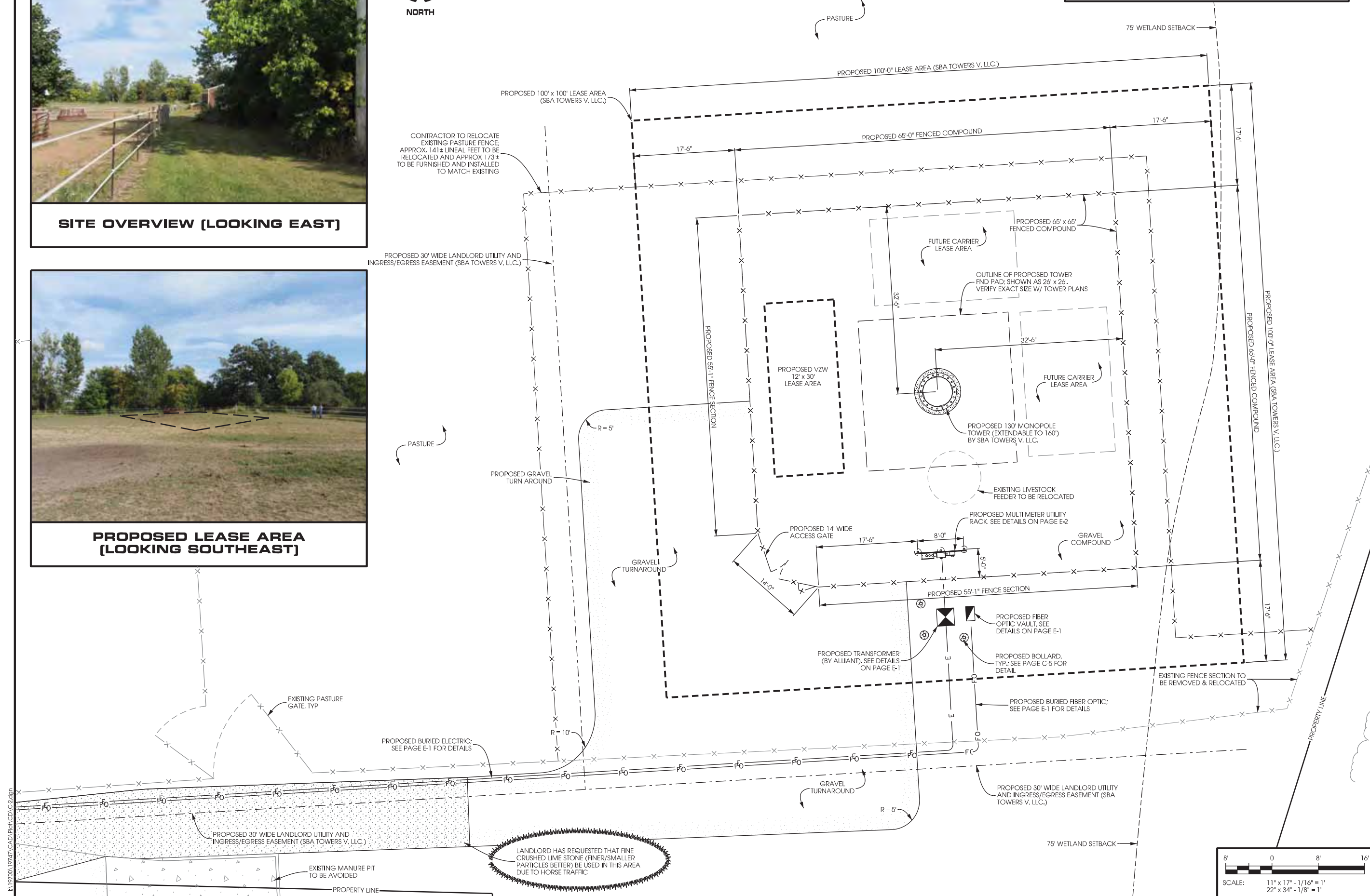
SITE OVERVIEW [LOOKING EAST]



PROPOSED LEASE AREA [LOOKING SOUTHEAST]



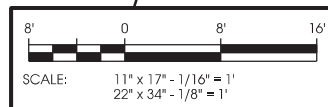
NOTE:
FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT).
PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.



COMPOUND PLAN EXCHANGE [#269139] MCFARLAND, WISCONSIN

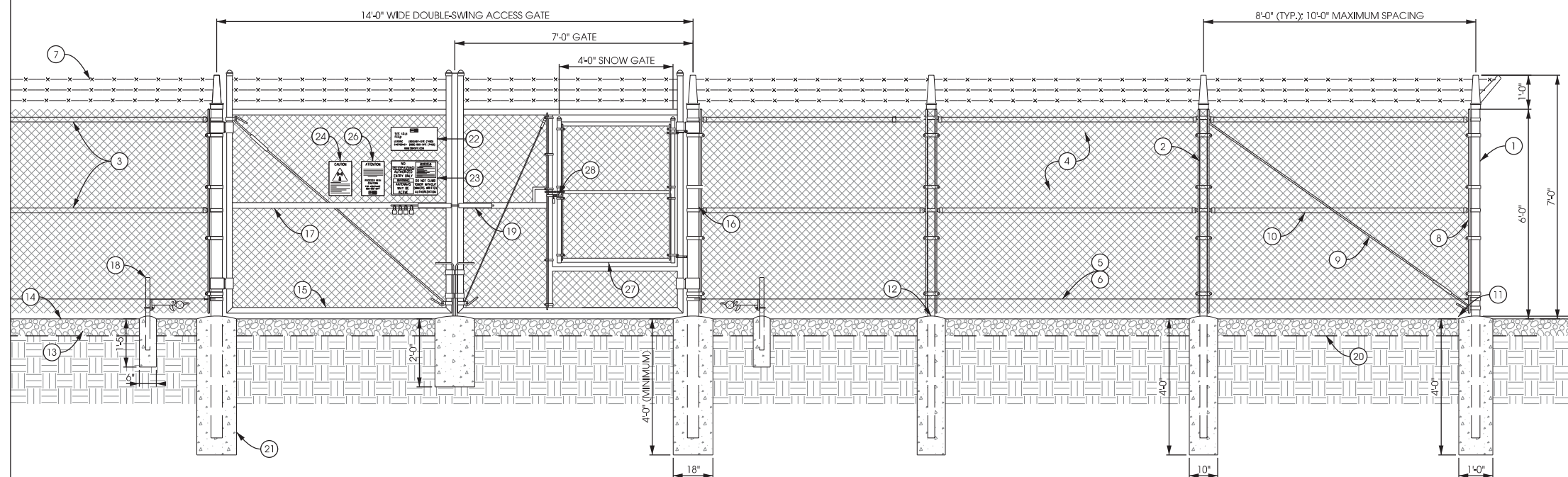
SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV
STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK
STAMPED FINAL DWGS:	
CHECKED BY:	
PCM	
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	C-2.dgn
SHEET NUMBER:	



REFERENCE NOTES:

- 1 3.5" O.D. GALVANIZED STEEL SCHEDULE 40 CORNER POSTS (PER ASTM-F1083).
- 2 2.375" O.D. GALVANIZED STEEL SCHEDULE 40 INTERMEDIARY LINE POSTS (PER ASTM-F1083). LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" O.C.
- 3 1.66" O.D. ROUND TOP RAIL & BRACE RAIL PIPE (PER ASTM-F1083).
- 4 9 GAUGE FABRIC CORE WIRE WITH 2" MESH (TO CONFORM TO ASTM-A392).
- 5 9 GAUGE ALUMINUM TIE WIRE. PROVIDE HOG RING FABRIC TIES SPACED 12" O.C. FOR POSTS AND GATES AND 24" O.C. FOR RAILS AND WIRE.
- 6 9 GAUGE ALUMINUM TENSION WIRE.
- 7 3 STRANDS 1/4 GAUGE BARBED WIRE WITH 4 POINT BARBS. SPACE BARBS APPROXIMATELY 5" O.C.
- 8 3/16" x 3/4" STRETCHER BAR; TO EXTEND FULL HEIGHT OF FENCE.
- 9 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- 10 1.66" O.D. CORNER POST BRACE (PER ASTM-F1083).
- 11 MAINTAIN A 1" MAXIMUM CLEARANCE FROM FINISHED GRADE.
- 12 PROVIDE CROWNED / PITCHED FINISH FOR FENCE POST PIER FOUNDATIONS; TO EXTEND 1" ABOVE GRADE.
- 13 6" CRUSHED STONE (TYP.).
- 14 FINISH GRADE SHALL BE UNIFORM AND LEVEL.
- 15 1.9" O.D. GALVANIZED STEEL SCHEDULE 40 WELDED GATE FRAME (PER ASTM-F1083).
- 16 4" O.D. GALVANIZED STEEL SCHEDULE 40 GATE POSTS (PER ASTM-F1083).
- 17 1.66" O.D. PIPE FOR GATE FRAME BRACE RAIL, PER ASTM-F1083.
- 18 DUCK BILL OPEN GATE HOLDER. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO INSTALLATION.
- 19 STYMIE MULTITENANT LOCKING DEVICE.
- 20 PROPOSED GEOTEXTILE FABRIC.
- 21 CONCRETE PIER FOUNDATION: TO ACHIEVE A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DEPTH TO BE A MINIMUM OF 6" BELOW FROST LINE (48" MINIMUM, TYP.). SEE DETAIL FOR PROPOSED DIAMETER.
- 22 12" x 24" SBA SITE INFORMATION SIGN.
- 23 18" x 24" NO TRESPASSING SIGN.
- 24 18" x 12" RF CAUTION SIGN.
- 25 18" x 12" KEEP GATE CLOSED SIGN
- 26 18" x 12" ATTENTION SIGN
- 27 4' WIDE SNOW GATE WITH DOUBLE SWING GATE
- 28 FORK LATCH WITH COMBINATION LOCK



A FENCING DETAIL
 SCALE: NTS

FENCING NOTES:

ALL FENCING TO BE INSTALLED PER ASTM F-567. ALL SWING GATES TO BE INSTALLED PER ASTM F-900. BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLETED IF LOCAL ORDINANCE REQUIRES.

POST & GATE PIPE SIZES ARE GIVEN AS ACTUAL OUTER DIAMETERS. ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A53 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL). ALL OPEN POSTS SHALL HAVE END-CAPS.

ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC USING GALVANIZED HOG-RING WIRE.

MUSHROOM ANCHOR AND PLUNGER REQUIRED FOR GATE. GENERAL CONTRACTOR RESPONSIBLE FOR SBA GATE LOCK.

SHEET TITLE:

PRELIMINARY DWGS:	INT:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INT:
PERMIT CD's V.2 - 07/09/15	APK

STAMPED FINAL DWGS:

CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	C-3.dgn

SHEET NUMBER:

C-3

NOTES:

REMOVE ALL TOPSOIL, ORGANIC MATERIAL AND WET OR POOR SOILS ALONG ACCESS DRIVE. CONTRACTOR TO REVIEW SITE CONDITIONS AND CONSULT GEOTECHNICAL REPORT FOR ANTICIPATED DEPTH OF SOILS THAT WILL REQUIRE REMOVAL. IF POOR SOILS ARE ENCOUNTERED AT A DEPTH OF MORE THAN 12", CONTACT CONSTRUCTION MANAGER FOR GUIDANCE.

SUBGRADE TO BE COMPACTED TO 95% MODIFIED PROCTOR AND VERIFIED BY PROOF-ROLL OR GEOTECHNICAL RECOMMENDATIONS.

CONSULT GRADING PLAN OR SITE PLAN FOR FINAL SITE GRADES.

RESTORATION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRAVEL ACCESS DRIVE REPAIR AND RESTORATION FOLLOWING CONSTRUCTION COMPLETION. ANY DISTURBED OR DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION UPON COMPLETION OF WORK.

GRAVEL DRIVE REQUIREMENTS:

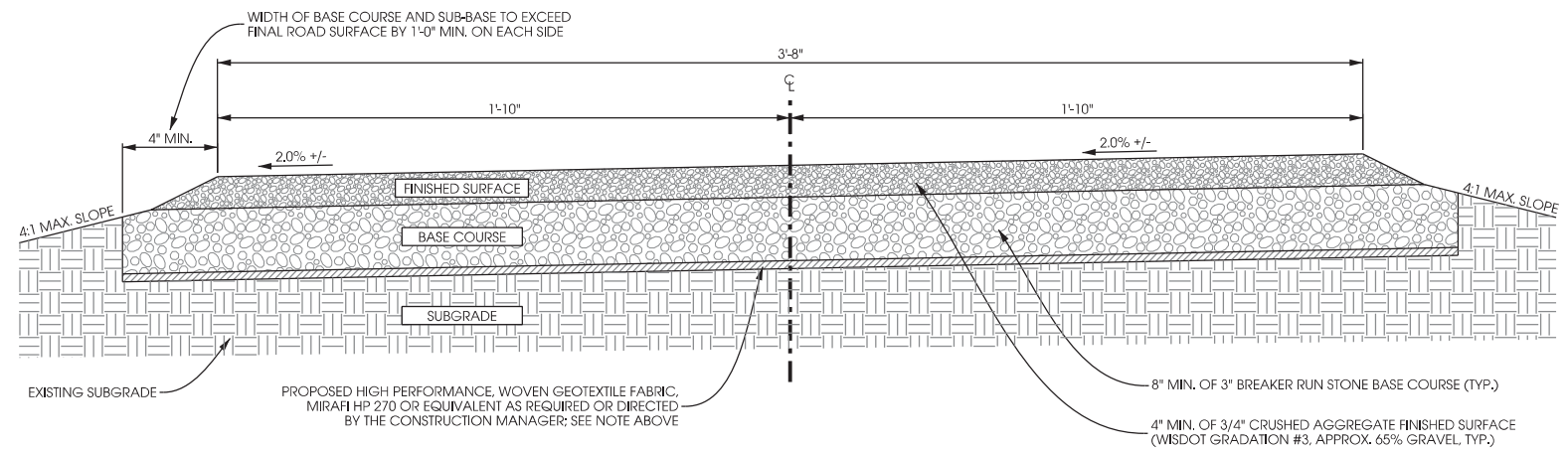
THICKNESS OF GRAVEL ACCESS DRIVE BASE COURSE TO BE DETERMINED BASED ON THE EXISTING SOIL BEARING CAPACITY (PER UFC DESIGN RECOMMENDATIONS):

BEARING CAPACITY	REQ'D AGGREGATE THICKNESS
1000 PSF	*16" MIN.
1500 PSF	12" MIN.
≥ 2000 PSF	8" MIN. (SEE DETAIL)

IF POOR OR WET SOILS ARE PRESENT BELOW BASE COURSE, CONTRACTOR TO INSTALL 6" MIN. WELL-GRADED GRAVEL/SAND SUB-BASE TO FACILITATE ADEQUATE DRAINAGE AND STABILITY.

FOR ACCESS DRIVE SLOPES GREATER THAN 10%, CONTRACTOR TO USE MIRAFI HP 270 OR EQUIVALENT GEOTEXTILE FABRIC.

CONSULT GEOTECHNICAL REPORT FOR ANTICIPATED SOIL CONDITIONS.



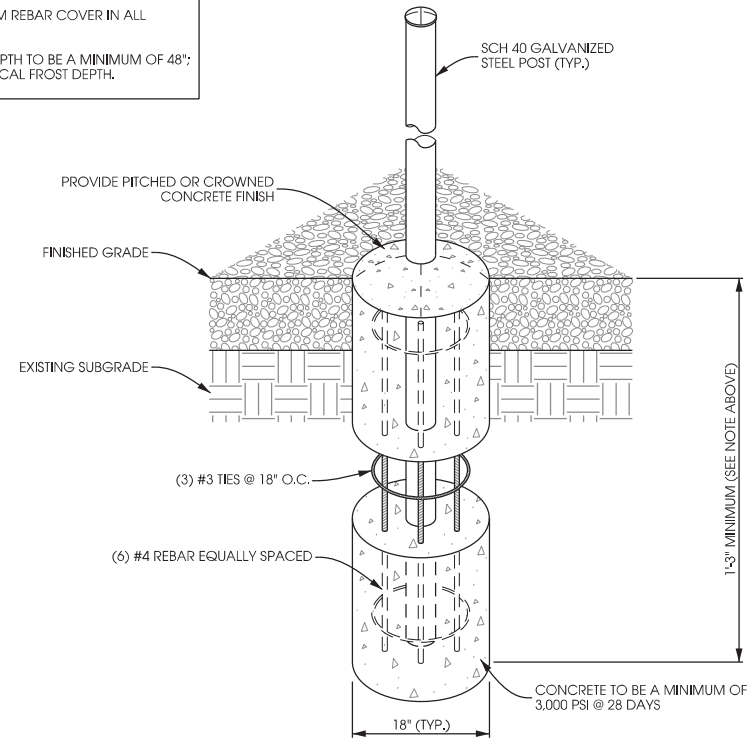
A GRAVEL DRIVE CROSS SECTION
SCALE: NTS

NOTES:

PIER REINFORCING USED FOR UTILITY RACKS AND ICE BRIDGE POSTS.

MAINTAIN 3" MINIMUM REBAR COVER IN ALL DIRECTIONS.

PIER FOUNDATION DEPTH TO BE A MINIMUM OF 48" DEPTH TO EXCEED LOCAL FROST DEPTH.

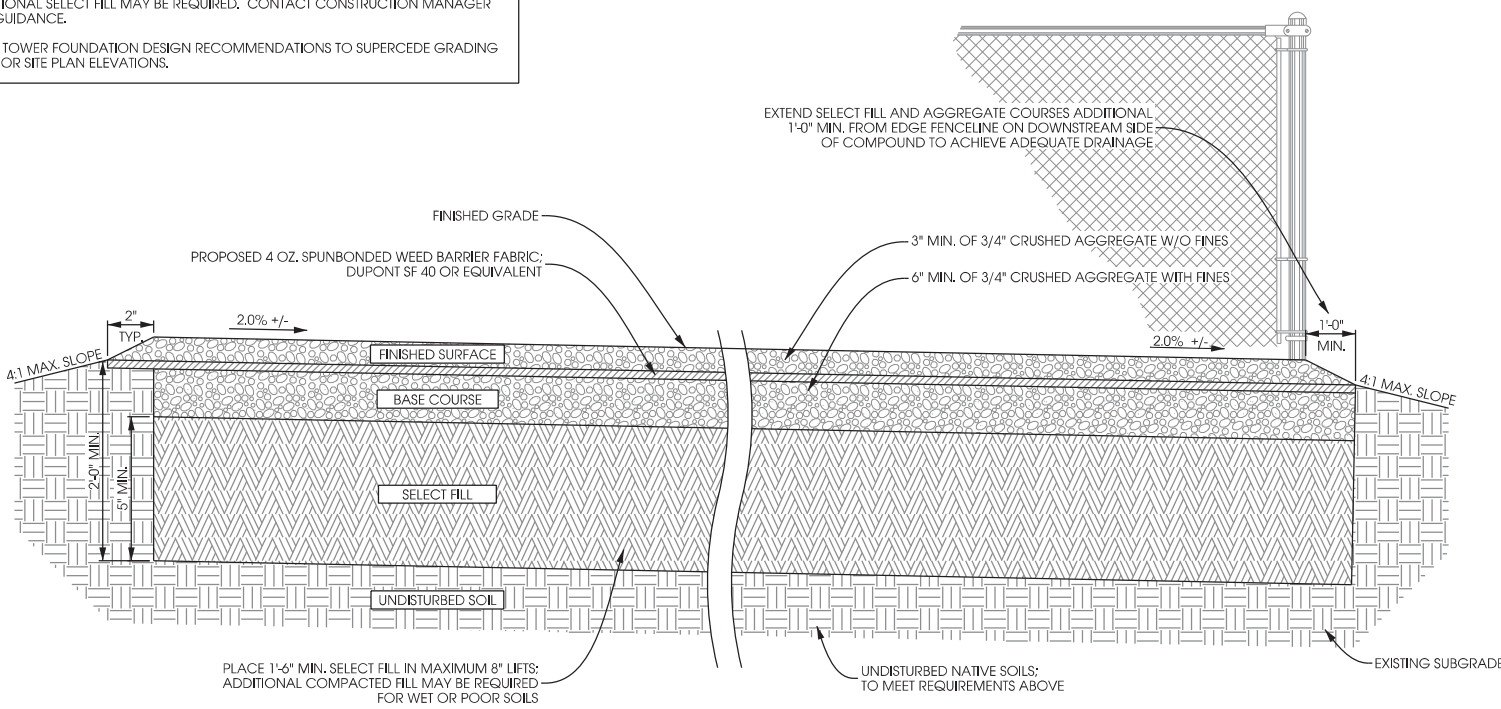


C FENCE PIER FOUNDATION DETAIL
SCALE: NTS

NOTES:

REMOVE ALL TOPSOIL, ORGANIC MATERIAL AND WET OR POOR SOILS WITHIN COMPOUND AREA. CONTRACTOR TO REVIEW SITE CONDITIONS AND CONSULT GEOTECHNICAL REPORT FOR ANTICIPATED DEPTH OF SOILS THAT WILL REQUIRE REMOVAL. IF POOR SOILS ARE ENCOUNTERED AT A DEPTH OF MORE THAN 2'-0", ADDITIONAL SELECT FILL MAY BE REQUIRED. CONTACT CONSTRUCTION MANAGER FOR GUIDANCE.

FINAL TOWER FOUNDATION DESIGN RECOMMENDATIONS TO SUPERCEDE GRADING PLAN OR SITE PLAN ELEVATIONS.

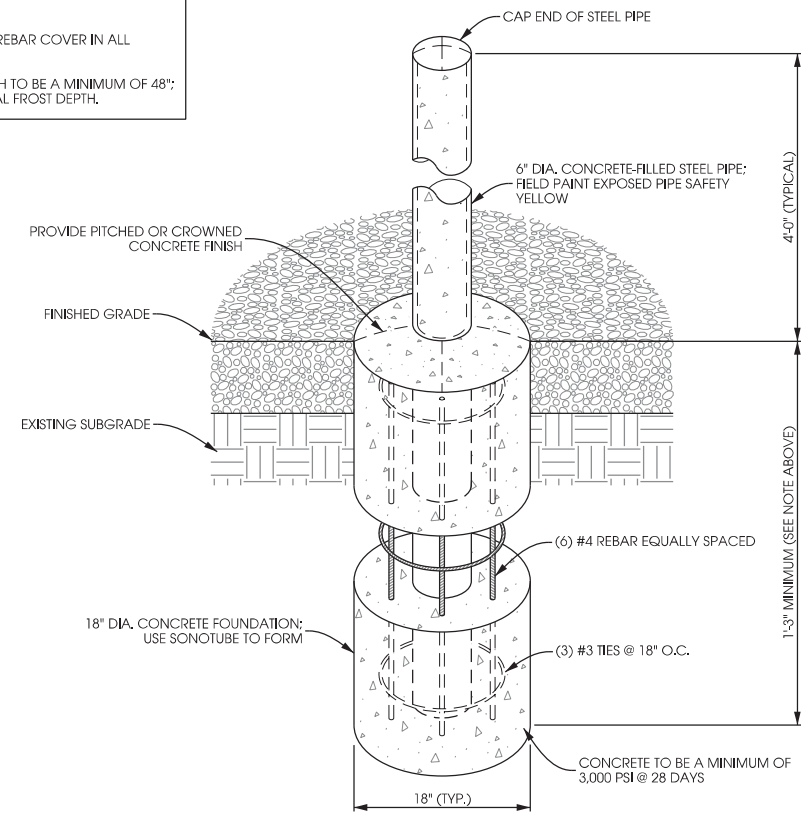


B COMPOUND CROSS SECTION
SCALE: NTS

NOTES:

MAINTAIN 3" MINIMUM REBAR COVER IN ALL DIRECTIONS.

PIER FOUNDATION DEPTH TO BE A MINIMUM OF 48" DEPTH TO EXCEED LOCAL FROST DEPTH.



D PIPE BOLLARD DETAIL
SCALE: NTS

SHEET TITLE:

REVISION	DATE	BY	DESCRIPTION
PRELIMINARY DWGS	INI:		
CD 90's REV.6	10/26/16	APK	
CD 90's REV.7	01/03/17	APK	
CD 90's REV.8	06/07/18	CV	
STAMPED PERMIT DWGS:	INI:		
PERMIT CDs V.2	07/09/15	APK	
STAMPED FINAL DWGS:			

CHECKED BY: PCM
PLOT DATE: 6/7/2018
PROJECT #: 19747
FILE NAME: C-4.dgn

EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING/TRENCHING OPERATIONS AND MAINTAINED THROUGHOUT CONSTRUCTION. MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADDITIONAL APPLICABLE EROSION CONTROL MEASURES WITHIN 24 HOURS IF THE REQUESTS.
2. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE WISCONSIN DNR TECHNICAL STANDARDS.
3. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH NR 216 AT ALL TIMES.
4. THE CONTRACTOR SHALL INSPECT AND MAINTAIN THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES AT A MIN. OF A WEEKLY BASIS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT 0.5 INCHES OR GREATER. CONTRACTOR SHALL CONTINUE INSPECTION AND MAINTENANCE UNTIL FULL VEGETATION ESTABLISHMENT AND/OR PROJECT ACCEPTANCE. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES IN ACCORDANCE WITH CITY REQUIREMENTS. RECORDS SHALL BE SUBMITTED WITH PROJECT CLOSEOUT MATERIALS.
5. SILT FENCE: SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION. SILT FENCE SHALL BE INSTALLED ALONG ALL SIDE SLOPED AND DOWN SLOPED SIDES OF THE PROJECT AND ALONG CHANNEL EDGES TO REDUCE SEDIMENT AMOUNTS REACHING THE CHANNEL. SEDIMENT SHALL BE REMOVED FROM BEHIND SILT FENCE WHEN DEPOSITS REACH HALF HEIGHT OF BARRIERS TYP. FABRIC TO BE INSTALLED 4 INCHES BELOW GRADE THROUGHOUT THE RUN. HORIZONTAL SPACING OF WOOD POSTS TO BE 8 FEET MAXIMUM.
6. SILT SOCK: SILT SOCK MAY BE UTILIZED IN LIEU OF SILT FENCE. INSTALL PER MANUFACTURERS REQUIREMENTS. SEDIMENT TO BE REMOVED FROM BEHIND SILT SOCK WHEN DEPOSITS REACH HALF HEIGHT OF THE BARRIER TYP. SILT SOCK TO BE USED WITHIN THE DRIP LINE OF ANY TREES OR SHRUBS TO BE PROTECTED.
7. SILT FENCE OR SILT SOCK SHALL BE INSTALLED ON THE DOWNSLOPES OF ALL SOIL STOCKPILES.
8. EROSION MAT: ALL EROSION MAT USED ON THIS PROJECT SHALL BE CLASS I, TYPE B.
9. ANY TOPSOIL OR EXCAVATED MATERIAL STORAGE PILES CONTAINING MORE THAN 10 CUBIC YARDS OF MATERIAL SHALL NOT BE LOCATED WITHIN A DOWN SLOPE DRAINAGE LENGTH OF LESS THAN 25 FEET TO A ROADWAY, POND OR DRAINAGE CHANNEL. PILES REMAINING FOR MORE THAN 7 DAYS SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
10. MATERIAL TRACKED TO ADJACENT STREETS SHALL BE SWEEPED AT THE END OF EACH WORK DAY, PRIOR TO ANTICIPATED PRECIPITATION, OR AS REQUIRED BY GOVERNING AUTHORITIES.
11. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH AND OTHER MATERIALS AT THE END OF EACH WORK DAY TO PREVENT RUNOFF OF MATERIALS TO WATERS OF THE STATE OR TRANSPORT TO NEIGHBORING PROPERTIES. ALL BUILDING & WASTE MATERIAL SHALL BE COLLECTED AND PROPERLY DISPOSED OF OFF-SITE. ABSOLUTELY NO MATERIAL SHALL BE BURIED ON-SITE.
12. CONTRACTOR TO REMOVE SEDIMENT FROM STORM WATER FACILITIES AFTER COMPLETION OF ALL SITE CONSTRUCTION AND PRIOR TO SUBSTANTIAL COMPLETION.
13. REMOVE ALL EROSION CONTROL MEASURES AFTER PROJECT ACCEPTANCE AND FILE NOTICE OF TERMINATION IN ACCORDANCE WITH WDNR REQUIREMENTS.

PROFESSIONAL ENGINEER

PRELIMINARY- NOT FOR CONSTRUCTION



624 Water Street
 Prairie du Sac, WI 53578
 608,644,1449 voice
 www.edgeconsult.com

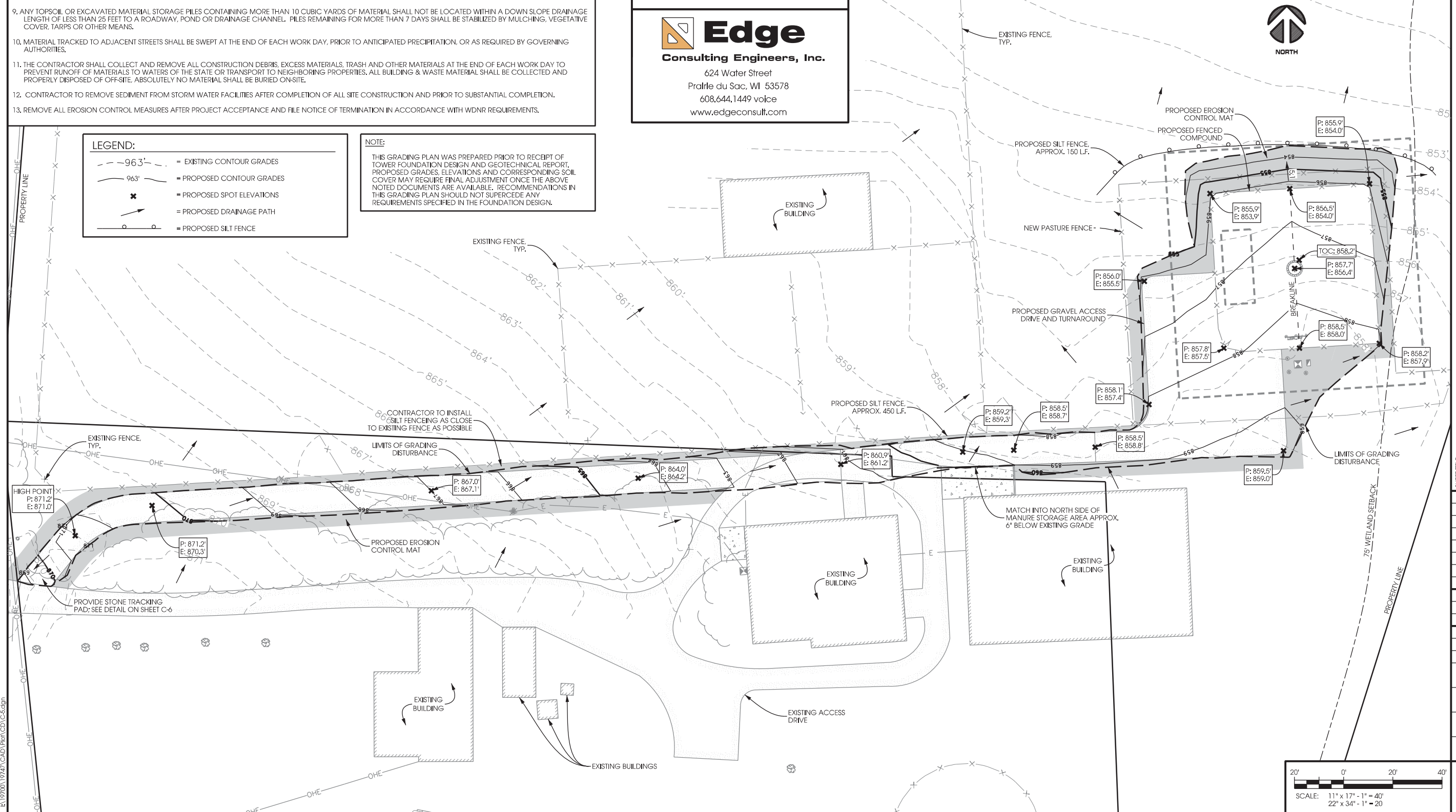
GRADING & RESTORATION NOTES:

1. BENCHMARK & HORIZONTAL CONTROL INFORMATION IS NOTED ON THE EXISTING SITE PLAN. CONTRACTOR SHALL CONFIRM ACCURACY OF CONTROL PRIOR TO USE. REPORT ALL DISCREPANCIES TO ENGINEER. CONTOUR INTERVAL IS 1 FOOT.
2. IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" AND DESIGNATED ON-SITE PRIVATE LOCATOR NOT LESS THEN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PREFORM WORK CONTAINED ON THESE DRAWINGS. EXCAVATION SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.
3. REMOVE ALL TOPSOIL AND UNSUITABLE MATERIAL FROM WITHIN PROJECT LIMITS.
4. CUT/FILL TO REQUIRED SUBGRADE LEVELS WITH STRUCTURAL GRANULAR MATERIAL. PLACE, COMPACT AND TEST PER SPECIFICATIONS.
5. FINISHED SITE TO BE GRADED TO MAINTAIN POSITIVE DRAINAGE IN ALL AREAS.
6. RESTORE ALL DISTURBED TURF AREAS (INCLUDING STAGING AREA) TO LAWN TYPE GRASS USING SOD OR OTHER MATERIALS AS NOTED IN THE LANDSCAPE PLANS. PREPARE SUBGRADE BY TILLING UP COMPACTED SOILS. INSTALL 12" MIN. TOPSOIL.
7. DUST DURING CONSTRUCTION SHALL BE MINIMIZED AS BEST AS POSSIBLE. THIS INCLUDES PROPER STAGING OF CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EXPOSURE AND USE OF A WATER TRUCK IF REQUIRED.
8. RESTORE SITE INCREMENTALLY AS WORK PROGRESSES IN A TIMELY MANNER.
9. ALL FINISH GRADED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINISH GRADING IS COMPLETE ON ANY AREA.

LEGEND:

	96.3'	= EXISTING CONTOUR GRADES
	96.3'	= PROPOSED CONTOUR GRADES
		= PROPOSED SPOT ELEVATIONS
		= PROPOSED DRAINAGE PATH
		= PROPOSED SILT FENCE

NOTE:
 THIS GRADING PLAN WAS PREPARED PRIOR TO RECEIPT OF TOWER FOUNDATION DESIGN AND GEOTECHNICAL REPORT. PROPOSED GRADES, ELEVATIONS AND CORRESPONDING SOIL COVER MAY REQUIRE FINAL ADJUSTMENT ONCE THE ABOVE NOTED DOCUMENTS ARE AVAILABLE. RECOMMENDATIONS IN THIS GRADING PLAN SHOULD NOT SUPERCEDE ANY REQUIREMENTS SPECIFIED IN THE FOUNDATION DESIGN.

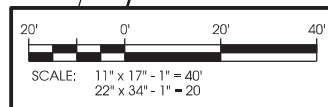


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**GRADING PLAN
 EXCHANGE [#269139]
 MCFARLAND, WISCONSIN**

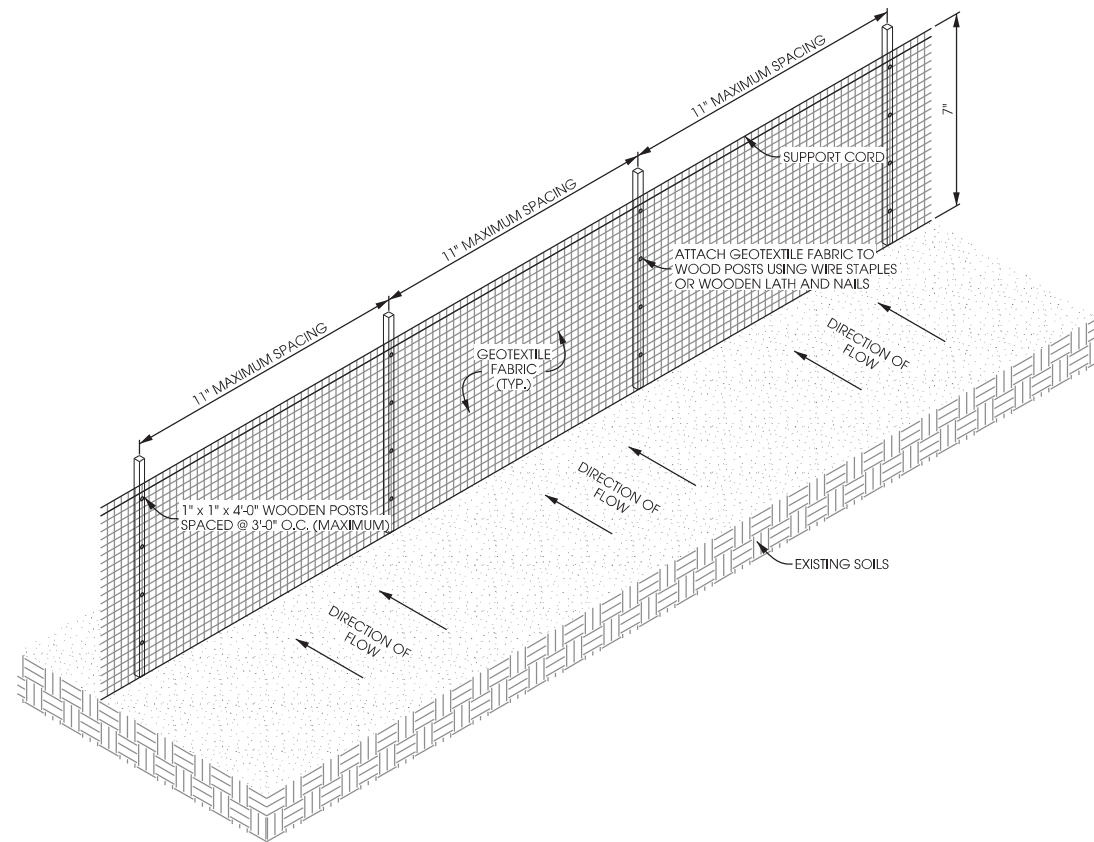
SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV
STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK
STAMPED FINAL DWGS:	
CHECKED BY:	
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PLOT DATE:	6/8/2018
PROJECT #:	19747
FILE NAME:	C-5.dgn
SHEET NUMBER:	C-5



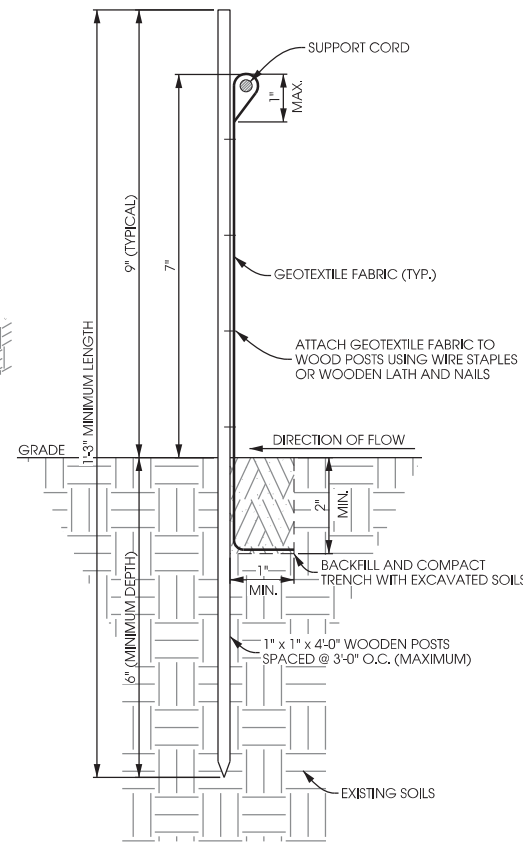
NOTES:

1. TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO ACHIEVE ADEQUATE GEOTEXTILE FABRIC ANCHORAGE. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
2. WOOD POSTS SHALL BE 1" x 1" x 4'-0" MINIMUM AND CONSIST OF HICKORY OR OAK.
3. 8'-0" POST SPACING IS ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.
4. ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOIL CONDITIONS.



ISOMETRIC VIEW

SCALE: 11" x 17" - 1/2" = 1'-0"
22" x 34" - 1" = 1'-0"



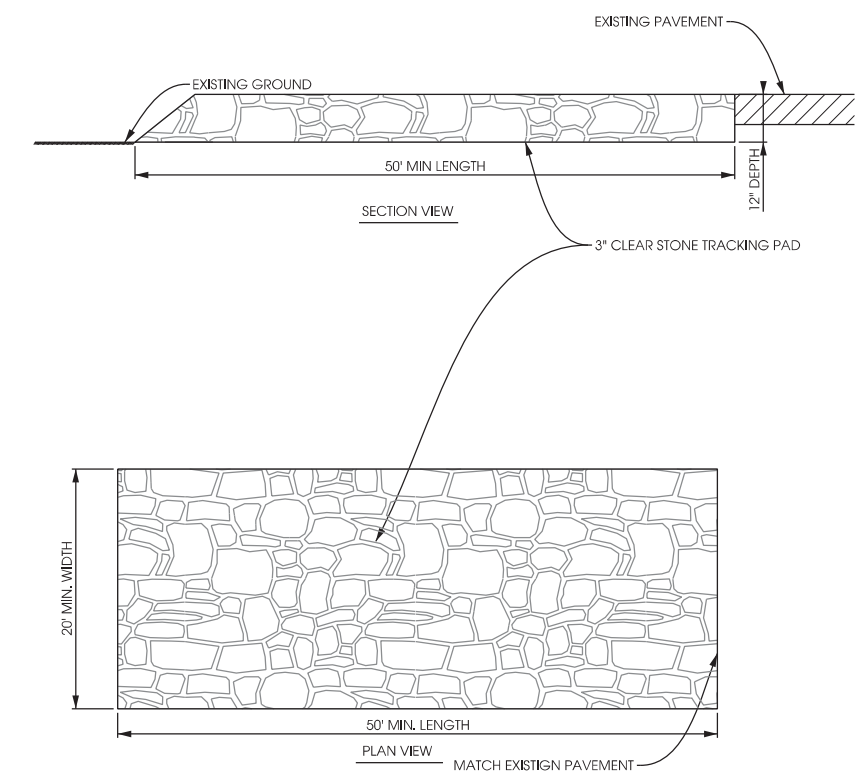
ELEVATION VIEW

SCALE: 11" x 17" - 1" = 1'-0"
22" x 34" - 1" = 2'-0"

A SILT FENCE DETAIL
SCALE: VARIES

GENERAL NOTES

1. TRACKING PAD WILL BE UNDERLAIN WITH A GEOTEXTILE FABRIC IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057



B STONE TRACKING PAD
SCALE: NTS

SITE DETAILS
EXCHANGE [#269139]
MCFARLAND, WISCONSIN

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CD's V.2 - 07/09/15	APK

STAMPED FINAL DWGS:	
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CHECKED BY:	
PCM	
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	C-6.dgn

SHEET NUMBER:

SBA
 NETWORK SERVICES, INC.
 1-800-825-7029

CAUTION
 HARD STATE
 OCCUPIED BY THE
 AREA

NOTICE
 RESOURCES
 PERSONNEL
 ONLY

WARNING
 FALL PROTECTION
 REQUIRED

CAUTION
 NEW WORKING
 WITH BONE

FCC #:
 NEAREST HOSPITAL:
 EMERGENCY #:

24"x18" SF C-X
 PLASTIC (TEMP)

NO TRESPASSING!
 AUTHORIZED
 ENTRY ONLY

WARNING
 ANTENNAS
 MAY BE
 ACTIVE

DO NOT CLIMB
 TOWER WITHOUT
 OWNERS WRITTEN
 AUTHORIZATION

18"x24" .040
 ALUMINUM

SBA

SITE I.D.#:
 FCC#:

LEASING (800)487-SITE (7483)
 EMERGENCY (888) 950-SITE (7483)

WWW.SBASITE.COM

12"x24"x.063
 ALUMINUM

CAUTION

PLEASE
 KEEP
 GATE
 CLOSED

18"x12" .040
 ALUMINUM

18"x12" .040
 ALUMINUM

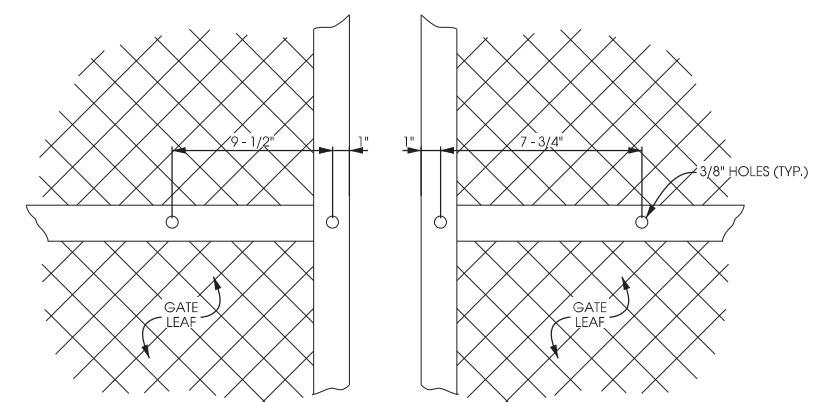
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4"x18" .040
 ALUMINUM

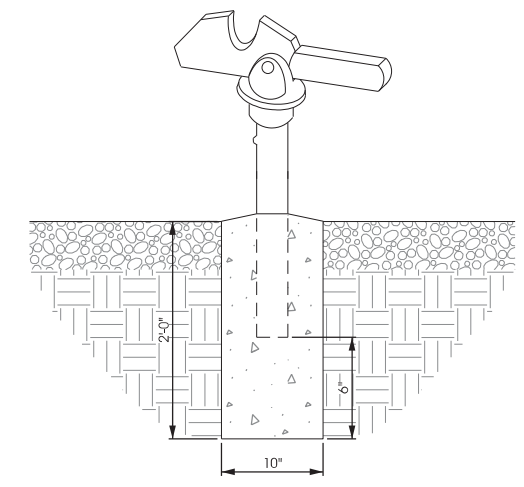
NOTE:
 CONTRACTOR TO POST THE
 TEMPORARY SIGNS PRIOR TO
 SITE CONSTRUCTION.

A SIGN DETAILS
 SCALE: NTS

NOTE:
 CONTRACTOR SHALL VERIFY
 SIGN NOTATION AND COLORS
 WITH SBA PRIOR TO FABRICATION



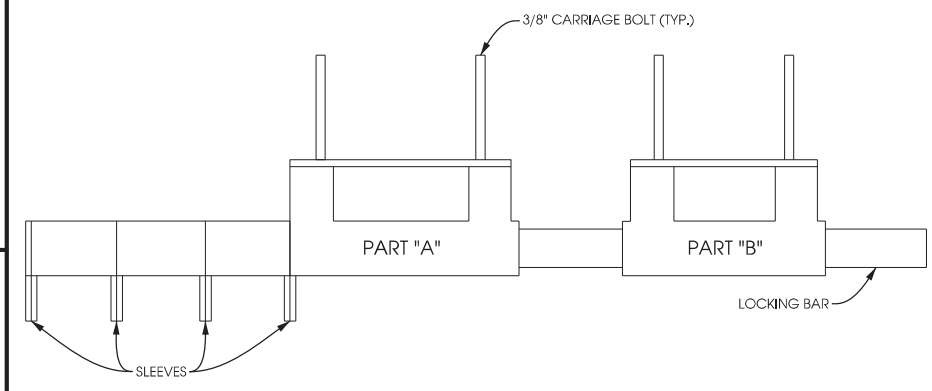
B GATE FACE - ACCOMODATING STYMILOCK
 SCALE: NTS



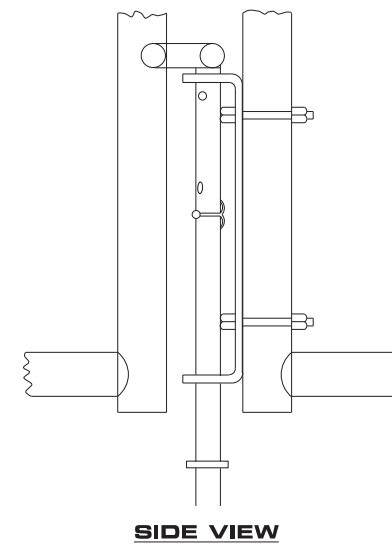
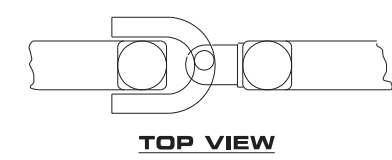
C GATE KEEPER DETAIL
 SCALE: NTS

- STYMILOCK INSTALLATION:**
1. DRILL 3/8" HOLES IN THE GATE LEAF USING THE GATE DIMENSIONS PROVIDED.
 2. SLIDE THE CARRIAGE BOLTS IN THE SLOTS ON THE BACK OF PART "B" AND PUSH THE BOLTS THROUGH THE HOLES DRILLED IN THE GATE FIGURE. PUT THE NUT AND THE LOCKNUT ON AND TIGHTEN AND CUT THE EXCESS BOLT OFF. DO THE SAME WITH PART "A".
 3. ADD THE NUMBER OF SLEEVES NEEDED FOR THE NUMBER OF LOCKS AND SLIDE THE LOCKING BAR INTO PLACE THROUGH BOTH PART "A" AND PART "B". NOW INSTALL THE LOCKS.
 4. IF THE GATE HAS NO CENTER BAR IN THE GATE LEAF YOU MAY NEED TO MOUNT THE STYMILOCK VERTICALLY USING THE SAME DIMENSIONS GIVEN ON THE GATE FACE.
 5. VERTICAL APPLICATION MAY ALSO BE USED ON SLIDING GATES WITH MULTIPLE LOCKS.

GATE LOCK ASSEMBLY:
 "STYMILOCK" MULTI LOCKING DEVICE
 OR APPROVED EQUAL

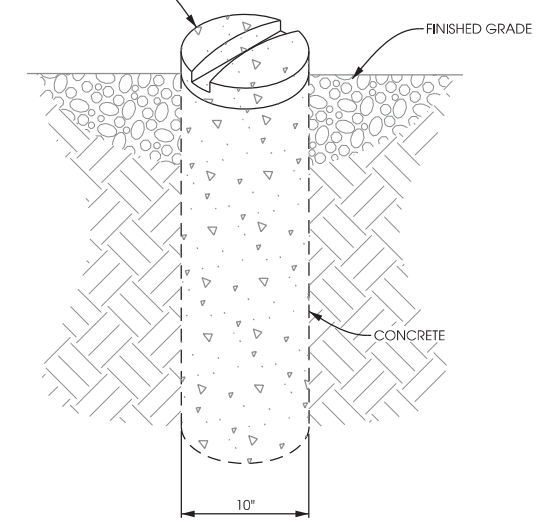


D GATELOCK ASSEMBLY DETAIL
 SCALE: NTS

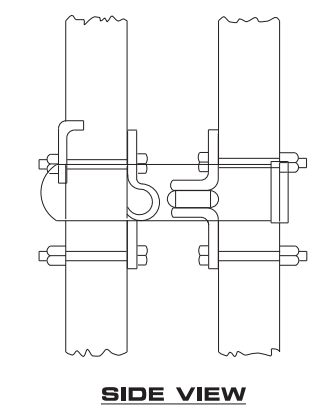
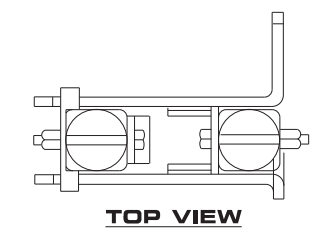


E DROP ROD ASSEMBLY DETAIL
 SCALE: NTS

METAL MUSHROOM STOP. INSTALL WITH
 SLOT PARALLEL WITH CLOSED GATES



F MUSHROOM STOP DETAIL
 SCALE: NTS



G LATCH ASSEMBLY DETAIL
 SCALE: NTS

**FENCE DETAILS
 EXCHANGE [#269139]
 MCFARLAND, WISCONSIN**

SHEET TITLE:

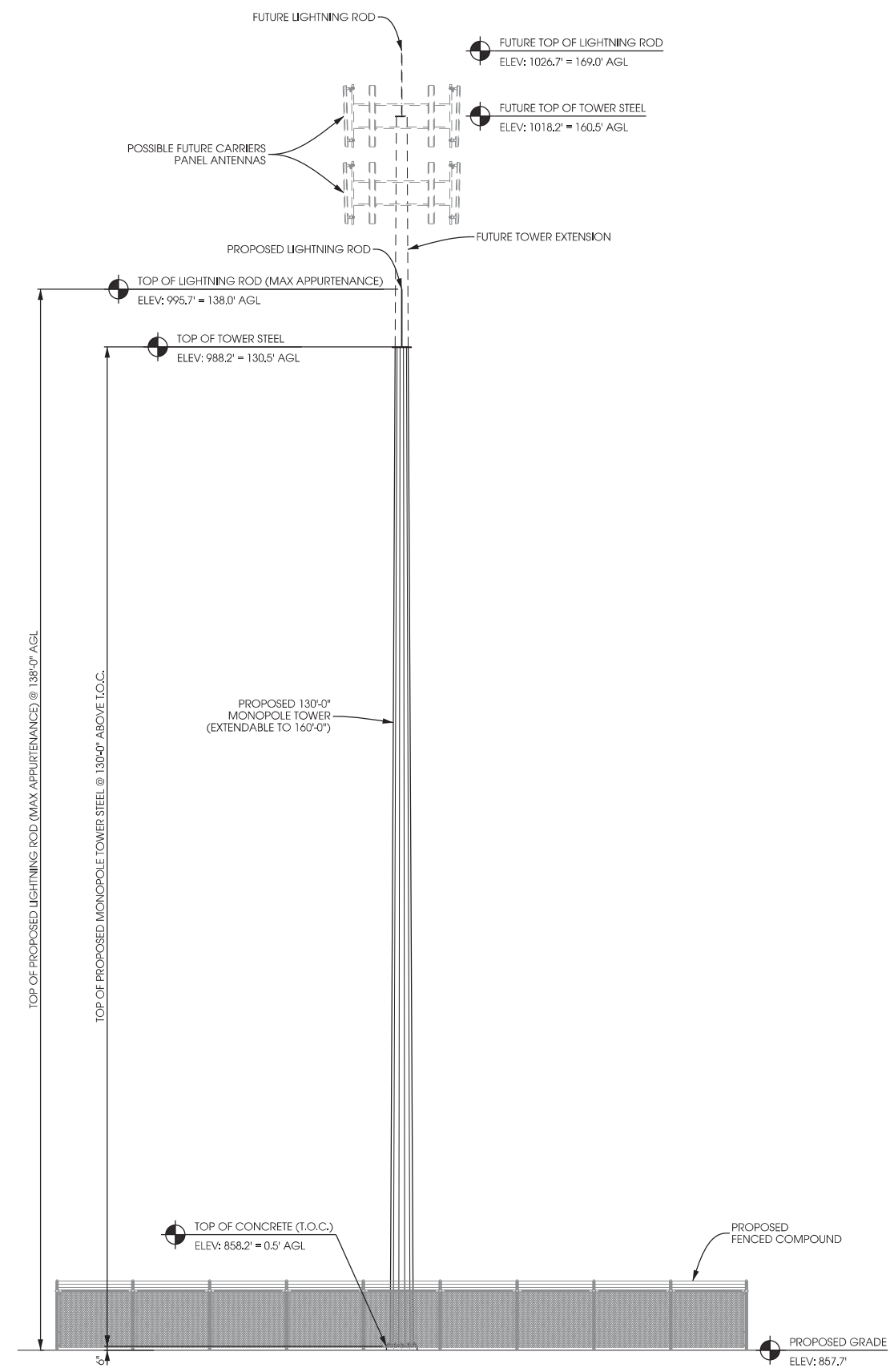
PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

STAMPED FINAL DWGS:	INI:

CHECKED BY:	
PCM	
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	C-7.dgn

**TOWER ELEVATION
 EXCHANGE [#269139]
 MCFARLAND, WISCONSIN**



A TOWER PROFILE [EAST ELEVATION]
 SCALE: 11" x 17" - 1" = 20'-0"
 22" x 34" - 1" = 10'-0"

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SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

STAMPED FINAL DWGS:	
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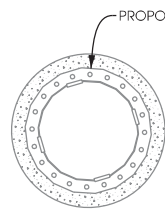
CHECKED BY:	
PCM	
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	A-1.dgn

SHEET NUMBER:
A-1



C/L OF PROPOSED LANDLORD 30' WIDE UTILITY & INGRESS/ EGRESS EASEMENT (SBA TOWERS V. LLC)

PROPOSED VZW 12' x 30' LEASE AREA



PROPOSED MONOPOLE TOWER

APPROX. OUTLINE OF PROPOSED TOWER FOUNDATION PAD

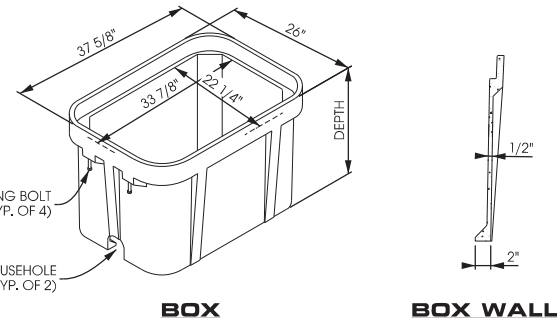
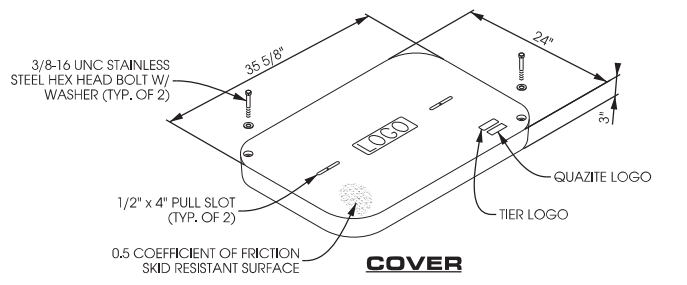
NOTE:
FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT). PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.

UTILITY PROVIDER INFO:

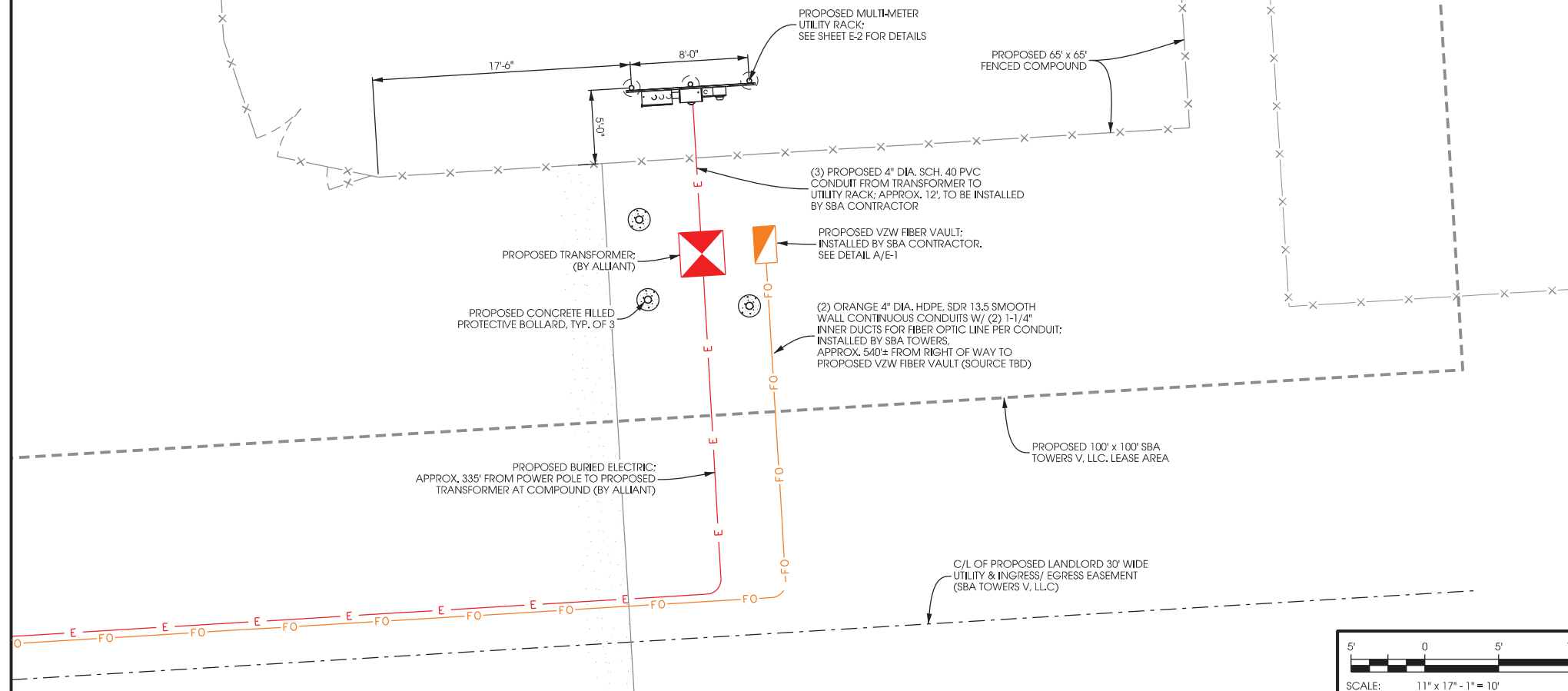
ELECTRIC PROVIDER: CONTACT: PHONE: E-MAIL: WORK ORDER # (VERIZON & SBA):	ALLIANT ENERGY BRADLEY NOACK 608.877.1634 BradleyNoack@alliantenergy.com 3967858
FIBER OPTIC PROVIDER:	TBD

**UTILITY PLAN
EXCHANGE (#269139)
MCFARLAND, WISCONSIN**

SPLICE / PULL BOX NOTES:
PG STYLE POLYMER CONCRETE (STACKABLE) ASSEMBLY
FOR SPLICE BOX LOCATIONS USE 24" x 36" x 36" DEEP BOX QUAZITE PART # PG2436BA36 OR APPROVED EQUIVALENT
FOR PULL BOX LOCATIONS USE 24" x 36" x 24" DEEP BOX QUAZITE PART # PG2436BA24 OR APPROVED EQUIVALENT
FOR COVERS FOR BOTH SPLICE AND PULL BOX LOCATIONS USE QUAZITE PART # PG2436KK00 OR APPROVED EQUIVALENT



A SPLICE/PULL BOX DETAIL
SCALE: NTS



SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

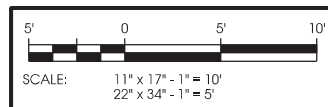
STAMPED PERMIT DWGS:

PERMIT CDS V.2 - 07/09/15	APK
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STAMPED FINAL DWGS:

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CHECKED BY:
PCM
PLOT DATE:
6/7/2018
PROJECT #:
19747
FILE NAME:
E-1.dgn

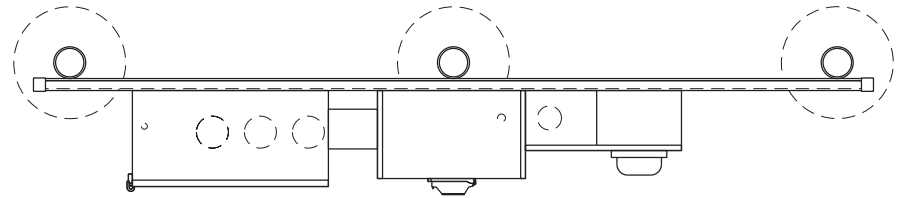


NOTE:

1. EXTEND SERVICE LATERAL CONDUITS UNDERGROUND BEYOND FENCELINE. CAP ENDS (NO DUCT TAPE ALLOWED) AND STAKE EQUIPMENT WITH PULL CORD.
2. SQD E7 METER PACK 600 AMP, 120/240 VAC 1 PHASE, 3 WIRE OR APPROVED EQUIVALENT.
3. AT MULTI GANGED METER INSTALLATIONS ROUTE A 3/0 GREEN THWN STRANDED COPPER CONDUCTOR FROM THE N-G CONNECTION POINT TO JUST ABOVE THE EARTH SURFACE. THIS CONDUCTOR SHALL BE ROUTED THROUGH PVC ABOVE FINISHED GRADE AND TO A MIN. DEPTH OF 24" INTO THE EARTH TO AVOID THEFT AND BONDED TO AN APPROVED DRIVEN GROUND ROD.

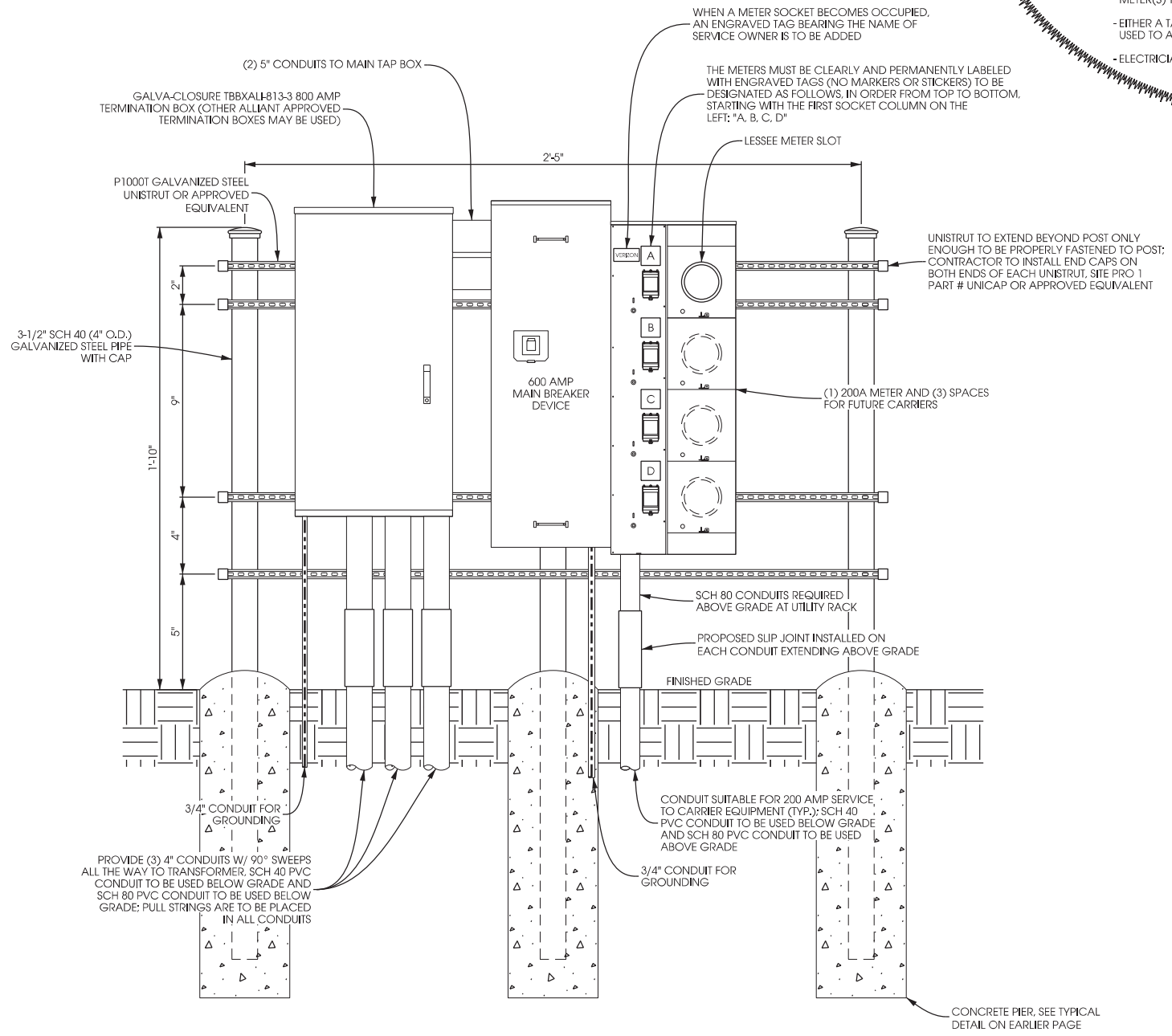
CABINET MOUNT NOTE:

- ATTACH CABINETS W/ SPRING LOADED WASHERS TO UNISTRUTS



ALLIANT ENERGY REQUIREMENTS:

- CENTERLINE OF THE BOTTOM METER TO BE 30" FROM THE GROUND
- CENTERLINE OF TOP METER NOT TO EXCEED 6' FROM THE GROUND
- THE METERS MUST BE CLEARLY AND PERMANENTLY LABELED WITH ENGRAVED TAGS (NO MARKERS OR STICKERS) TO BE DESIGNATED AS FOLLOWS, IN ORDER FROM TOP TO BOTTOM, STARTING WITH THE FIRST SOCKET COLUMN ON THE LEFT: "A, B, C, D," ETC.; WHEN A METER SOCKET BECOMES OCCUPIED, AN ADDITIONAL ENGRAVED TAG BEARING THE NAME OF SERVICE OWNER IS TO BE ADDED; IN CASES WHERE THE TOWER HAS OBSTRUCTION LIGHTING, THE TOWER OWNER WILL OCCUPY THE FIRST METER SOCKET (SOCKET "A"), COLLOCATING WIRELESS CARRIERS ARE TO OCCUPY THE NEXT SUCCESSIVE METER SOCKETS
- ELECTRICIAN TO HAVE THEIR WORK PROPERLY INSPECTED AND THE RESULTS FURNISHED TO ALLIANT PRIOR TO REQUESTING ELECTRIC METERS BEING SET.
- ELECTRICIAN TO CALL 1-800-ALLIANT (1-800-255-4268) TO REQUEST ELECTRIC METER(S) TO BE SET AND SERVICE STARTED IN THE CLIENT'S NAME
- EITHER A TAYHOPE TYPE LOCK OR DAISY CHAIN MUST BE USED TO ALLOW ALLIANT ACCESS TO THE METER RACK
- ELECTRICIAN MUST TAKE CONDUIT TO THE TRANSFORMER



FRONT VIEW

A MULTI-METER UTILITY RACK

SCALE: 11" x 17" - 1/2" = 1'-0"
 22" x 34" - 1" = 1'-0"

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**UTILITY RACK DETAILS
 EXCHANGE [#269139]
 MCFARLAND, WISCONSIN**

SHEET TITLE:	
PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV
STAMPED PERMIT DWGS:	INI:
PERMIT CDS V.2 - 07/09/15	APK
STAMPED FINAL DWGS:	
CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	E2.dgn

**GROUNDING PLAN
EXCHANGE (#269139)
MCFARLAND, WISCONSIN**

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV
STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK
STAMPED FINAL DWGS:	
CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	G-1.dgn







SHEET NUMBER:
G-1

NOTE:
- TOP OF EACH GROUND ROD SHALL EXTEND NO MORE THAN 6" ABOVE BOTTOM OF TRENCH

NOTE:
ANY CONDUCTIVE UTILITY JUNCTION BOX OR ENCLOSURE SHALL BE BONDED TO THE EARTH GROUND SYSTEM W/ A #2 SOLID BARE TINNED COPPER GROUND LEAD



LEGEND

-  INSPECTION WELL
-  5/8" DIA. x 10'-0" LONG, STEEL CLAD W/ A PURE COPPER JACKET (10' MAX SEPARATION)
-  EXOTHERMIC CONNECTION (CADWELD OR EQUIVALENT)
-  MECHANICAL CONNECTION (BURNDY OR EQUIVALENT)
-  GROUND LEAD
-  18" X 18" X .032" THK COPPER PLATE (10' MAX SEPARATION)

KEYED GROUNDING NOTES:

- 1 TOWER GROUND RING, #2 SOLID BARE-TINNED COPPER GROUND LEAD MIN. 4'-6" BURY (TYP.) OR 6" BELOW FROST WHICH EVER IS GREATER. GROUND RODS SPACED @ 8' O.C.
- 2 5/8" DIAMETER x 10'-0" LONG COPPER CLAD GROUND ROD WITH EXOTHERMIC CONNECTION, 8' SPACING, TYP.
- 3 INSPECTION WELL (TYP.); SEE PAGE G-2 FOR DETAIL
- 4 (4) GROUND LEADS FROM TOWER STEEL TO GROUND RING (USE GROUNDING TABS WHEN AVAILABLE)
- 5 GATE GROUND LEAD, #2 SOLID BARE TINNED COPPER GROUND LEADS TO GATE POST, & BRAIDED STRAP CONNECTION FROM POST TO GATE
- 6 GROUND ELECTRIC METER TO (2) INDEPENDENT GROUND RODS, SPACED 10' O.C. WITH #2 SOLID BARE TINNED COPPER
- 7 GROUND MULTI-METER CABINETS
- 8 PERIPHERAL GROUND RING SHOULD BE INSTALLED 1" TO 2" INSIDE THE FENCED LINE; THE TOWER GROUND RING SHOULD BE INSTALLED A MINIMUM OF 2' OFF ANY STRUCTURE
- 9 FENCE CORNER GROUND LEAD, #2 SOLID BARE TINNED COPPER, CADWELD CONNECTION. GROUND FENCE POSTS WITHIN 6-FEET OF EQUIPMENT SKID AND 25-FEET OF TOWER
- 10 FIBER OPTIC HAND HOLE
- 11 4" x 12" x 1/4" GROUND BAR INSIDE HAND HOLE; CONTRACTOR TO DRIVE 10' GROUND ROD & CLAMP TO GROUND BAR

GROUNDING NOTE:

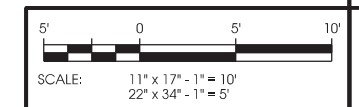
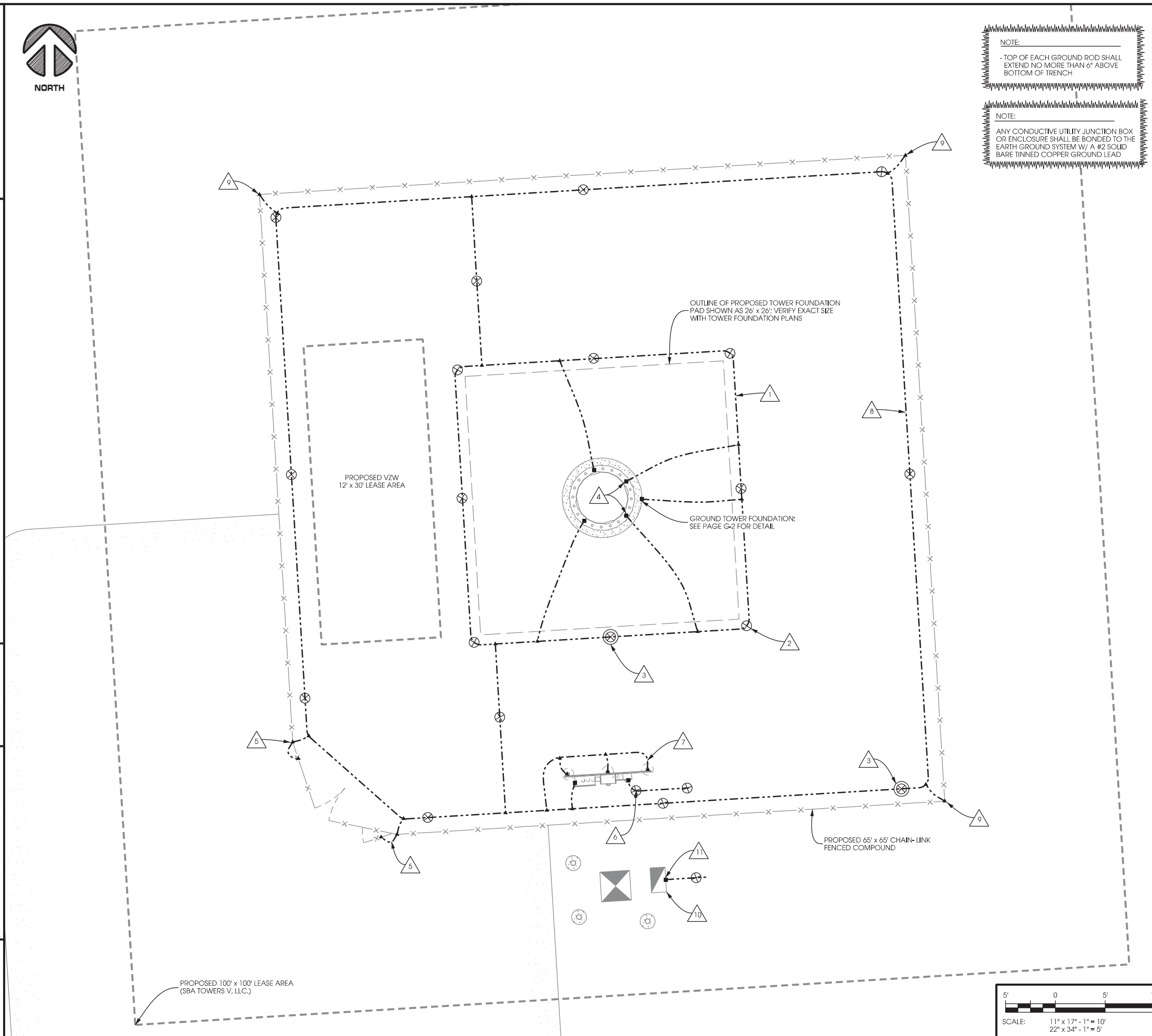
THIS GROUNDING PLAN WAS PREPARED PRIOR TO THE COMPLETION OF THE GEOTECHNICAL REPORT AND RECEIPT OF THE TOWER FOUNDATION DESIGN. THE LAYOUT OF RADIALS AND GROUND RODS ARE APPROXIMATE IN NATURE AND MAY NEED TO BE ADJUSTED IN THE FIELD. GROUND RODS SHOULD NOT EXTEND THROUGH THE TOWER FOUNDATION OR OTHER STRUCTURAL ELEMENTS WITHOUT PRIOR APPROVAL FROM THE DESIGN ENGINEER. IN ADDITION, SOME ADJUSTMENT TO THE GROUND METHOD MAY BE REQUIRED IN INSTANCES WHERE SHALLOW BEDROCK OR OTHER UNIQUE CIRCUMSTANCES ARE ENCOUNTERED. CONTRACTOR SHALL CONSULT GEOTECHNICAL REPORT FOR FURTHER DESIGN AND CONSTRUCTION RECOMMENDATIONS.

GROUNDING ELECTRODE SYSTEM NOTES:

- CONNECTIONS:**
ALL CONNECTIONS SHALL BE EXOTHERMICALLY CONNECTED UNLESS NOTED OTHERWISE. CONTRACTOR TO FOLLOW ALL MANUFACTURER'S GUIDELINES & RECOMMENDATIONS.
- ALL ELECTRICAL AND MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTI-OXIDANT COMPOUND APPLIED TO CONNECTION.
- FENCE/GATE:**
GROUND FENCE POSTS WITHIN 6-FEET OF ENCLOSURE AND 25-FEET OF TOWER. GROUND EACH GATE POST AND CORNER POST. GROUND CONNECTIONS TO FENCE POSTS SHALL BE MADE BY THE EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
- CONTRACTOR SHALL SUBMIT THE GROUND RESISTANCE TEST REPORT AS FOLLOWS:
A. ONE (1) COPY TO THE OWNER REPRESENTATIVE
B. ONE (1) COPY TO THE ENGINEER
C. ONE (1) COPY TO KEEP INSIDE EQUIPMENT ENCLOSURE

NOTE:

- THE GROUNDING SHALL BE TESTED PRIOR TO FINAL BACKFILLING. DOCUMENTATION OF 5 OHM OR LESS RESISTANCE TO BE PROVIDED TO PROJECT MANAGER.
- ALL NON-INSULATED GROUND LEADS EXTENDING ABOVE GROUND LEVEL SHALL BE ENCASED IN 3/4" PVC & SEALED WITH SILICONE. PVC SHALL BE MIN. 16" INTO EARTH & EXTEND MIN. 6" ABOVE GROUND.
- INSTALL 18" X 18" COPPER PLATES IN LIEU OF GROUND RODS WHEN INSTALLING OVER TOWER FOUNDATION OR WHERE DRIVING GROUND RODS IS NOT FEASIBLE.



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**GROUNDING DETAILS
EXCHANGE [#269139]
MCFARLAND, WISCONSIN**

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

STAMPED FINAL DWGS:

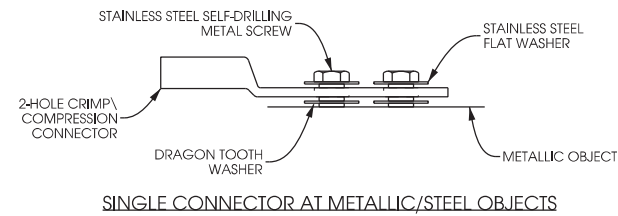
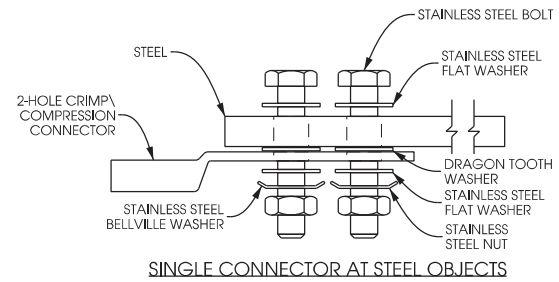
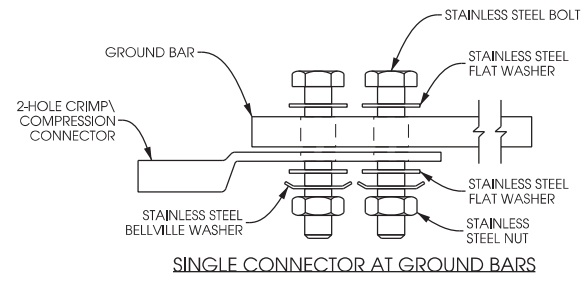
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PCM
PLOT DATE:
6/7/2018
PROJECT #:
19747
FILE NAME:
G-2.dgn

SHEET NUMBER:

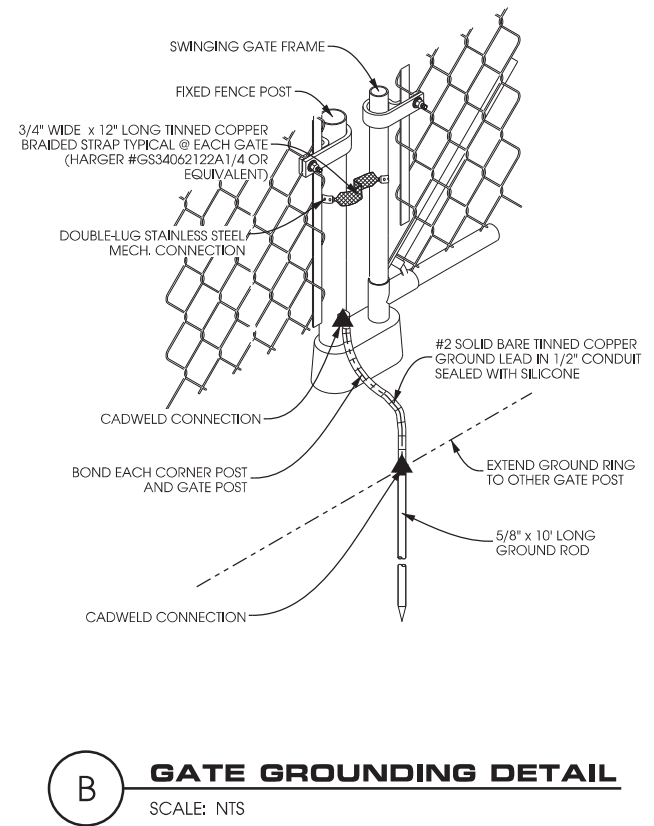


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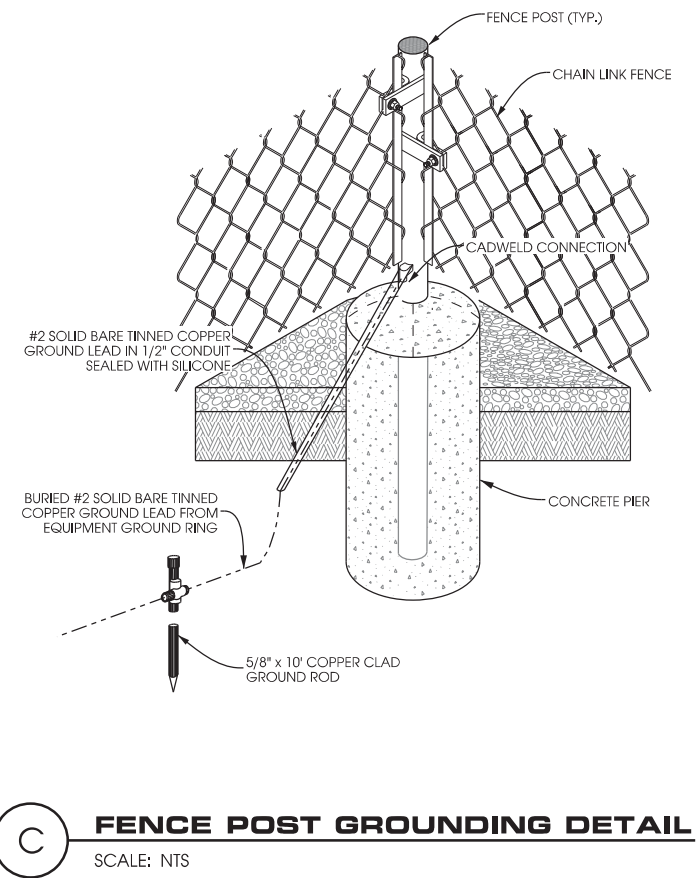
- ALL OUTDOOR HARDWARE (BOLTS, SCREWS, NUTS, WASHERS) SHALL BE 18-8 STAINLESS STEEL TYPE GRADE. INDOORS, GRADE 5 STEEL HARDWARE MAY BE USED.
- CHOOSE BOLT LENGTH TO ALLOW THE EXPOSURE OF AT LEAST TWO THREADS.
- BACK TO BACK LUG CONNECTIONS ARE AN ACCEPTABLE PRACTICE WHEN BONDED TO A GROUND BAR OR STEEL OBJECTS.
- AT CONNECTIONS MADE TO STEEL OR ANY OTHER DISSIMILAR METALS, A DRAGON TOOTH WASHER MEETING VZW PRACTICES SHALL BE USED BETWEEN THE CONNECTOR AND STEEL.
- IF NOT USING DRAGON TOOTH WASHERS, THOROUGHLY REMOVE A SECTION OF PAINT OR COATING APPROXIMATELY THE SAME SIZE AS CONNECTOR. REMOVE THE PAINT FROM SURFACE USING A DREMEL TYPE TOOL.
- USE AN APPROVED ANTI-OXIDATION COMPOUND ON ALL GROUNDING CONNECTIONS. A COPPER COSMOLINE GREASE BASED COMPOUND (NO OX-ID) SHALL BE USED ON ALL COPPER TO COPPER CONNECTIONS. A ZINC BASED (GREY COLORED) COMPOUND SHALL BE USED ON ALL COPPER TO STEEL CONNECTIONS.
- WHEN BONDING TO A METALLIC OBJECT WHERE ACCESS IS LIMITED TO ONLY ONE SURFACE, DRILLING & TAPPING OR SELF DRILLING SCREWS ARE THE PREFERRED AND ACCEPTABLE MEANS OF CONNECTION. SHEET METAL SCREWS SHALL NOT BE USED.



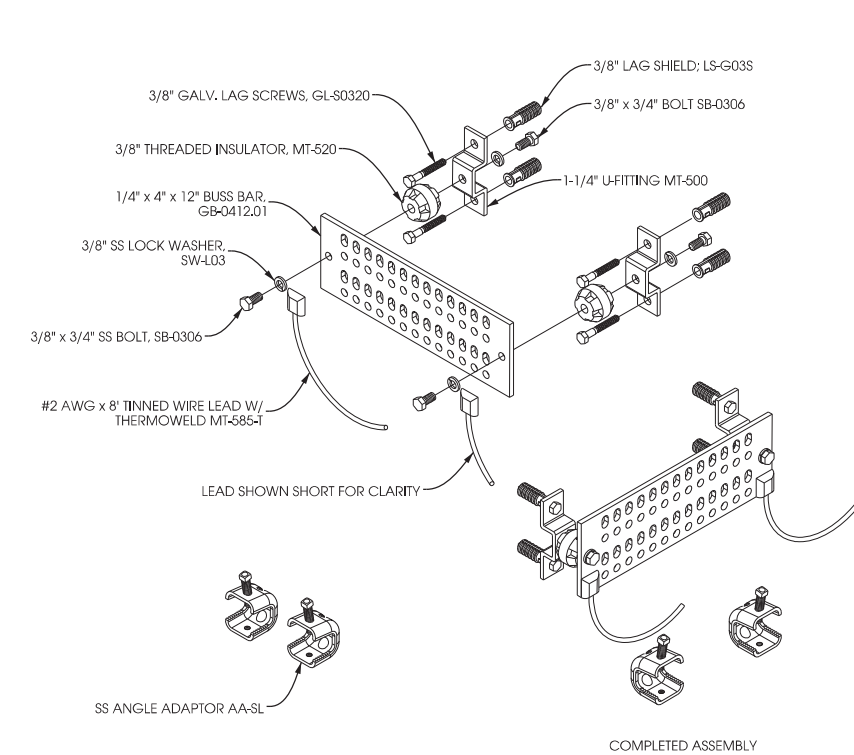
A LUG DETAIL
SCALE: NTS



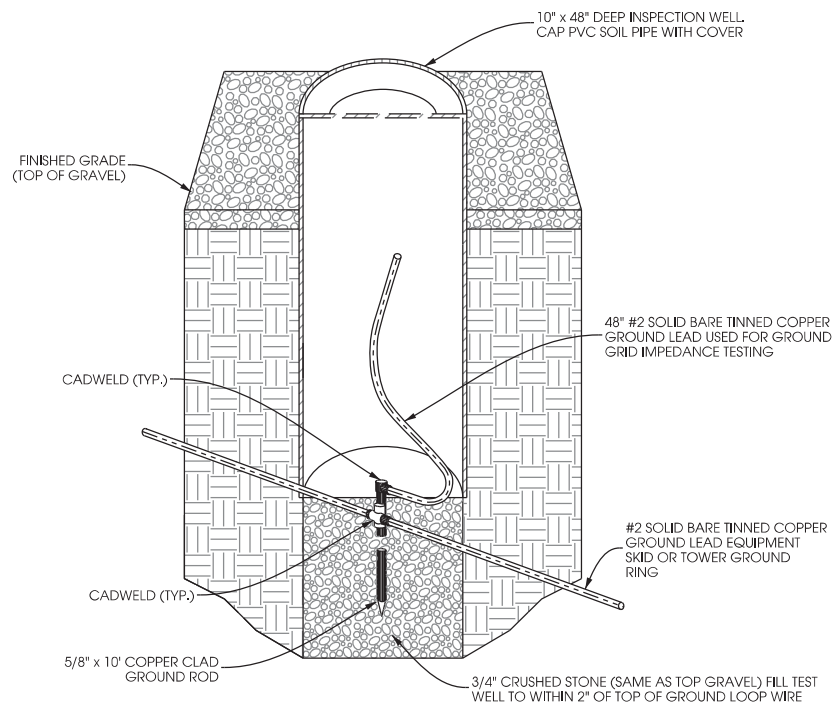
B GATE GROUNDING DETAIL
SCALE: NTS



C FENCE POST GROUNDING DETAIL
SCALE: NTS

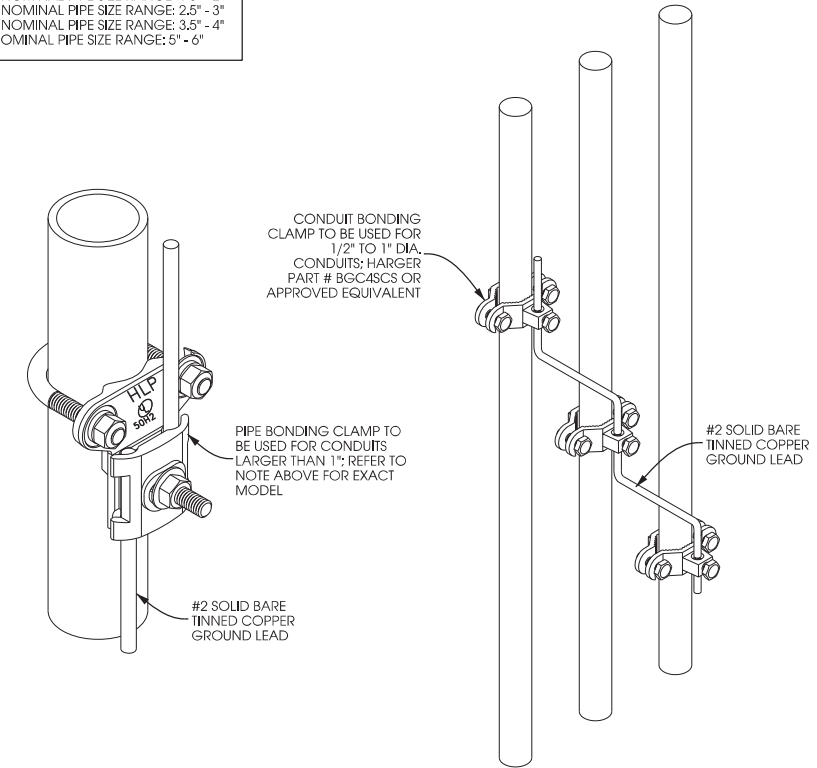


D GROUND AND BUSS BAR DETAIL
SCALE: NTS



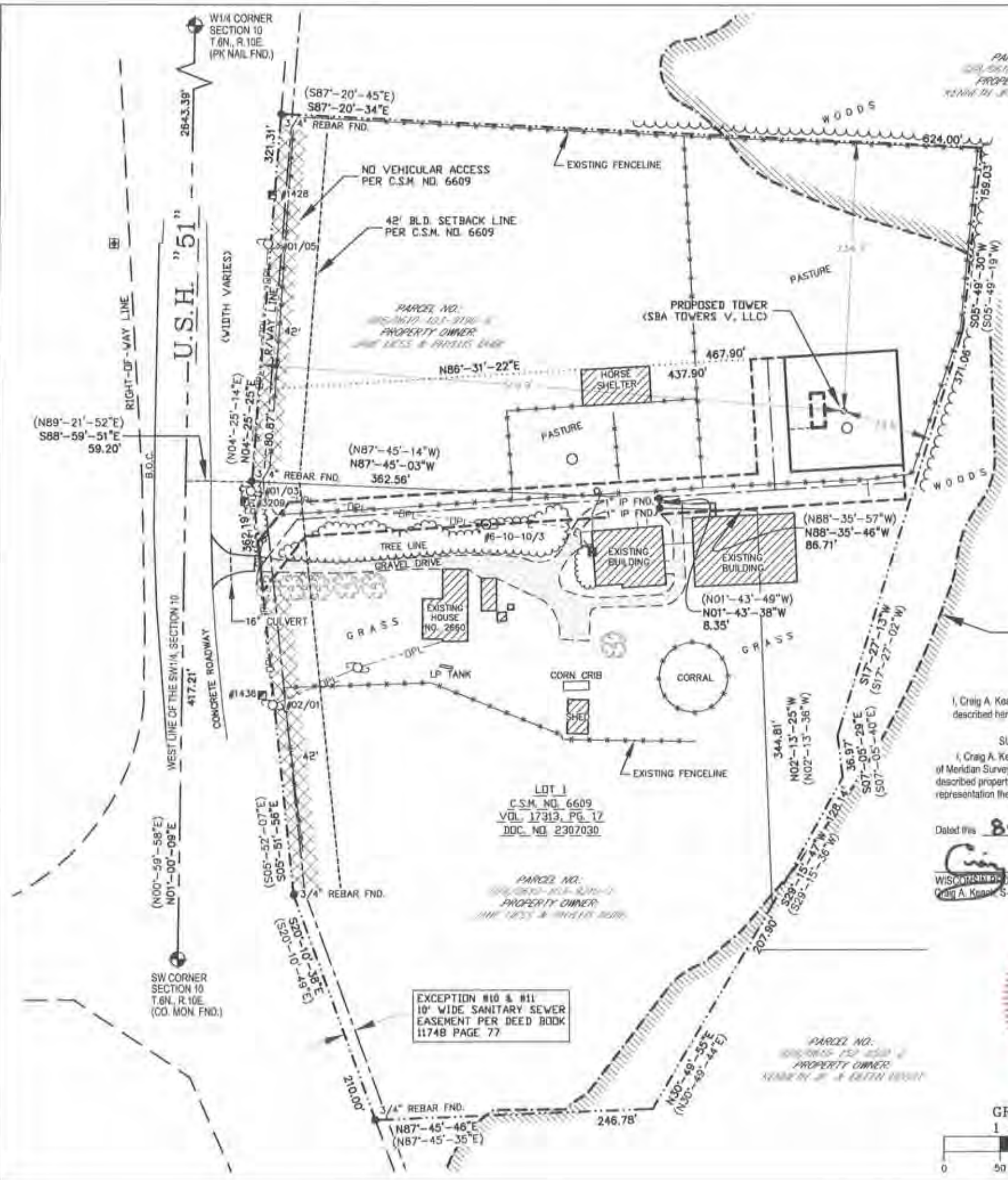
E INSPECTION WELL DETAIL
SCALE: NTS

HARGER PART #:
 CPC1/1.25 - NOMINAL PIPE SIZE RANGE: 1" - 1.25"
 CPC1.5/2 - NOMINAL PIPE SIZE RANGE: 1.5" - 2"
 CPC2.5/3 - NOMINAL PIPE SIZE RANGE: 2.5" - 3"
 CPC3.5/4 - NOMINAL PIPE SIZE RANGE: 3.5" - 4"
 CPC5/6 - NOMINAL PIPE SIZE RANGE: 5" - 6"



F CONDUIT GROUNDING
SCALE: NTS

K:19747(1)19747(CAD)PH1(CD)G-2.dgn



PARCEL NO. 0610-103-9190-6
PROPERTY OWNER: JANE LIESS & PHYLLIS DUBE

PARCEL NO. 0610-103-9190-1
PROPERTY OWNER: JANE LIESS & PHYLLIS DUBE

LOT 1
C.S.M. NO. 6609
VOL. 17313, PG. 17
DOC. NO. 2307030

EXCEPTION #10 & #11
10' WIDE SANITARY SEWER
EASEMENT PER DEED BOOK
11748 PAGE 77

PARCEL NO. 0610-103-9210-1
PROPERTY OWNER: JANE LIESS & PHYLLIS DUBE



WETLAND NOTE:

-THE PRESENCE AND LOCATION OF WETLANDS HAS NOT BEEN DETERMINED ON THIS PROPERTY. WETLANDS SHOULD ONLY BE DETERMINED BY ACTUAL FIELD DELINEATION PERFORMED BY A QUALIFIED WETLAND SPECIALIST.

SURVEY NOTES:

-THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN.

-THIS IS NOT A BOUNDARY SURVEY OF THE PARENT PARCEL. THIS SURVEY REPRESENTS THE LEASE AREA AND EASEMENTS ONLY.

-PRIVATE UTILITIES MARKED ON 11-3-2015 BY PRIVATE LINES, INC. E3221 STATE ROAD "161" IOLA, WI 54945.

100' YEAR FLOODPLAIN PER SCALING OF FEMA FIRM PANEL NO. 55025CD606G WITH AN EFFECTIVE DATE OF JANUARY 2, 2009

I, Craig A. Keach, hereby certify that none of the property described herein is within a flood plain as defined by FEMA.

SURVEYOR'S CERTIFICATE

I, Craig A. Keach, Professional Land Surveyor of Meridian Surveying, LLC, certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

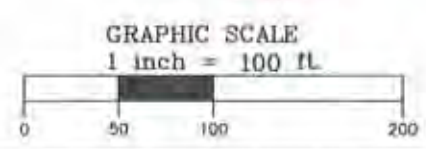
Dated this 8th day of JUNE, 2018.

Craig A. Keach
WISCONSIN PROFESSIONAL LAND SURVEYOR
Craig A. Keach, S-2333

CALL BIGDADDY HOTLINE TOLL FREE (800)242-9311
OPERATES 24 HOURS A DAY 365 DAYS A YEAR



BEARINGS REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM (NAD83/91) - SOUTH ZONE AND THE WEST LINE OF THE SW 1/4, SECTION 10, T.6N., R.10E., WHICH BEARS: N01°-00'-09"E



-LEGEND-

- = 1" X 18" IRON PIPE SET
- = 1" IRON PIPE FOUND
- ⊕ = 6" NAIL SET
- ⊙ = COUNTY MONUMENT FOUND
- () = RECORDED INFORMATION
- ⊙ = SANITARY SEWER
- ⊕ = FIBER OPTIC VAULT
- ⊕ = ELECTRIC METER
- ⊕ = TELEPHONE PEDESTAL
- ⊕ = EXISTING POWER POLE
- OPL- = OVERHEAD ELECTRIC
- E- = BURIED ELECTRIC
- = PROPERTY LINE
- B.O.C. = BACK OF CURB
- ⊙ = EXISTING TREE

SURVEYED FOR:

624 Water Street
Prairie du Sac, WI 53578
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

SURVEYED FOR:

1515 WOODFIELD ROAD
SUITE 1400
SCHAUMBURG, IL 60173

MERIDIAN
SURVEYING, LLC

85774 Firelane 1 Office: 920-993-0881
Menasha, WI 54952 Fax: 920-273-6037

SITE NAME:	EXCHANGE
SITE NUMBER:	269139
SITE ADDRESS:	2660 U.S.H. "51" MCFARLAND, WI 53558

PROPERTY OWNER:
JANE LIESS & PHYLLIS DUBE
2660 U.S.H. "51"
MCFARLAND, WI 53558

PARCEL NO.:
0610-103-9190-6 LEASE AND EASEMENT
0610-103-9210-1 EASEMENT

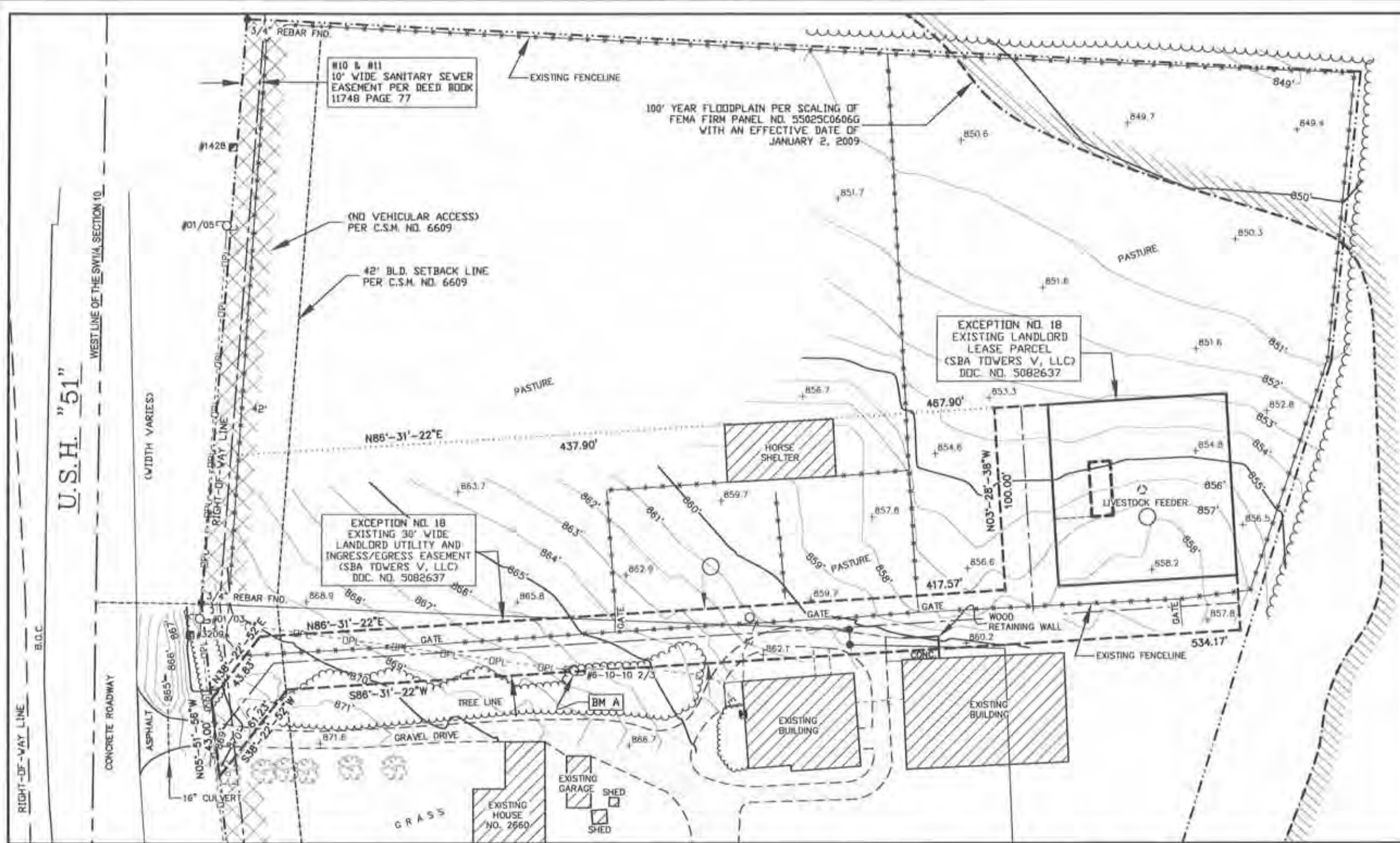
ZONED: A-2, AGRICULTURAL DISTRICT

DEED: DOC. NO. 4378736
DOC. NO. 4386586

LEASE EXHIBIT
FOR
VERIZON WIRELESS PERSONAL
COMMUNICATIONS LP d/b/a VERIZON WIRELESS
BEING A PART OF THE SW 1/4 OF THE
SW 1/4, SECTION 10, T.6N., R.10E.,
TOWN OF DUNN, DANE COUNTY,
WISCONSIN

NO.	DATE	DESCRIPTION	BY
7	6-7-18	Revised Lease Parcel	J.B.
6	10-25-16	Revised Lease Parcel	J.D.
5	11-13-15	Added Utilities	J.B.
4	7-02-15	Revised Lease Parcel	J.D.
3	10-27-14	Revised Lease Parcel	J.D.
2	11-19-13	Added Title Report	J.B.
1	10-09-13	Preliminary Survey	J.D.

DRAWN BY: J.D.	FIELD WORK DATE: 9-19-13
CHECKED BY: C.A.K.	FIELD BOOK: M-28, PG. 31
JOB NO.: 7383-1484	SHEET 1 OF 4



SURVEYED FOR:
Edge
 Consulting Engineers, Inc.
 624 Water Street
 Plover du Sac, WI 53578
 608.644.1449 voice
 608.644.1549 fax
 www.edgeconsult.com

SURVEYED FOR:
verizon
 1515 WOODFIELD ROAD
 SUITE 1400
 SCHAUMBURG, IL 60173

MERIDIAN
 SURVEYING, LLC
 N8774 Frelone 1 Office: 920-993-0881
 Menasha, WI 54952 Fax: 920-273-6037

SITE NAME: EXCHANGE
 SITE NUMBER: 269139
 SITE ADDRESS: 2660 U.S.H. "51"
 MCFARLAND, WI 53558

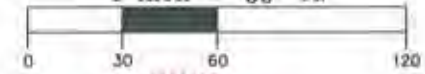
PROPERTY OWNER:
 JANE LISS & PHYLLIS DUBE
 2660 U.S.H. "51"
 MCFARLAND, WI 53558
 PARCEL NO.:
 0610-103-9190-6 LEASE AND EASEMENT
 0610-103-9210-1 EASEMENT
 ZONED: A-2, AGRICULTURAL DISTRICT
 DEED: DOC. NO. 4378736
 DOC. NO. 4386586

LEASE EXHIBIT
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GRAPHIC SCALE
 1 inch = 60 ft.



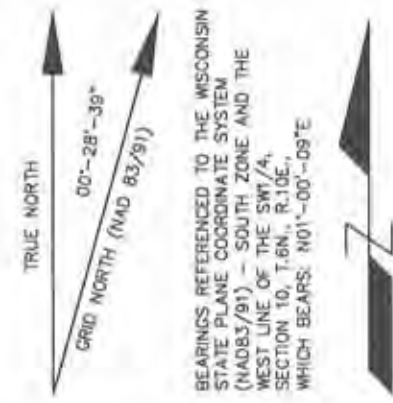
PROPOSED TOWER BASE

LATITUDE: 42°-59'-30.61"
 LONGITUDE: 89°-18'-18.70"
 (Per North American Datum of 83/2011)

Ground Elevation: 856.4'
 (Per North American Vertical Datum of 1988)

BENCHMARK INFORMATION
 SITE BENCHMARK: (BM A)
 SET 6" NAIL IN NORTH FACE OF POWER
 POLE #6-10-10 2/3; ±1' ABOVE GROUND LEVEL
 ELEVATION: 867.41'

- LEGEND-**
- = 1" X 18" IRON PIPE SET
 - = 1" IRON PIPE FOUND
 - = 6" NAIL SET
 - ⊕ = COUNTY MONUMENT FOUND
 - () = RECORDED INFORMATION
 - ⊙ = SANITARY SEWER
 - ⊖ = FIBER OPTIC VAULT
 - ⊕ = ELECTRIC METER
 - ⊕ = TELEPHONE PEDESTAL
 - ⊙ = EXISTING POWER POLE
 - OPL- = OVERHEAD ELECTRIC
 - E- = BURIED ELECTRIC
 - - - = PROPERTY LINE
 - B.O.C. = BACK OF CURB
 - ⊙ = EXISTING TREE

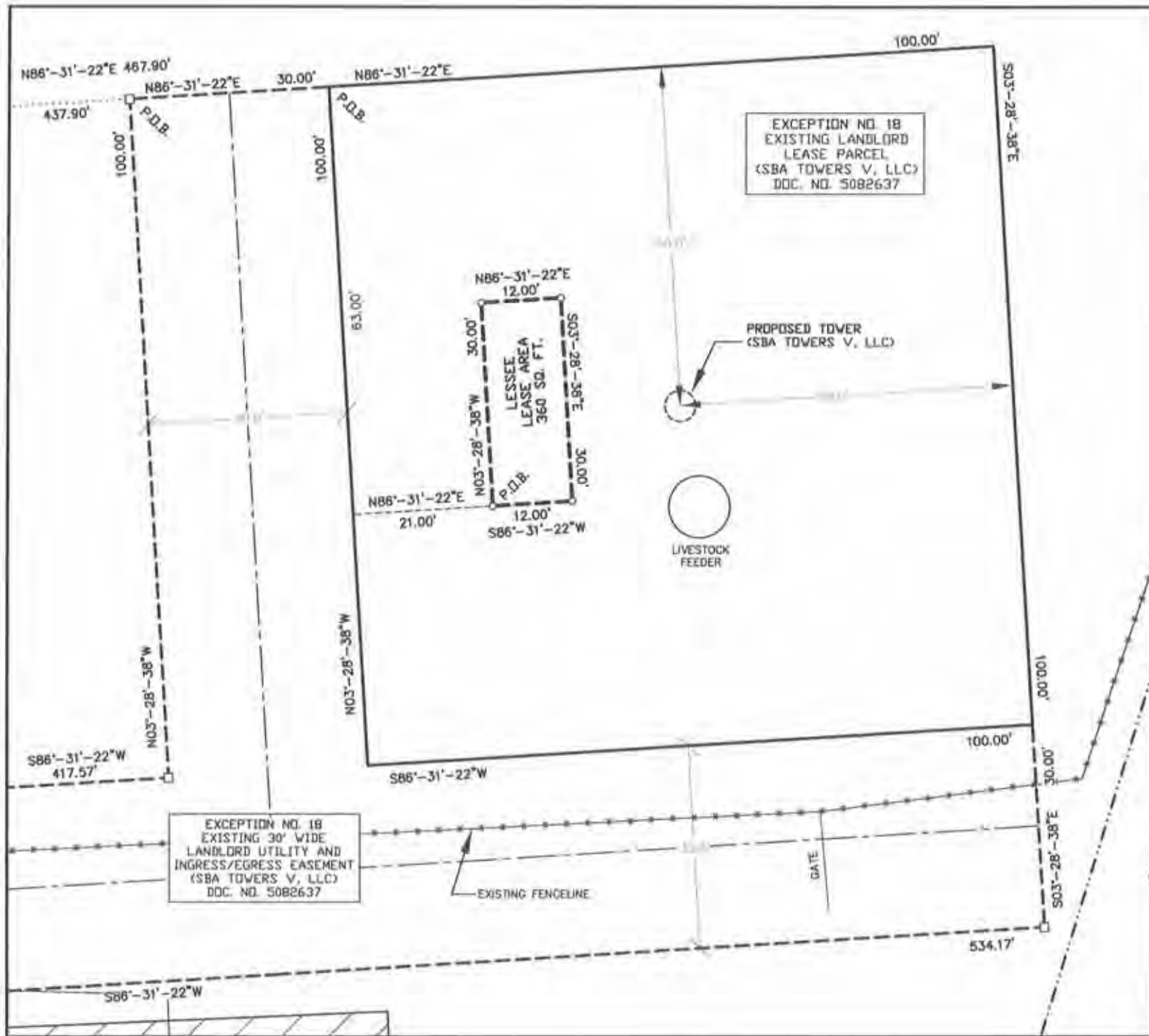


I, Craig A. Keach, hereby certify that none of the property described herein is within a flood plain as defined by FEMA.

SURVEYOR'S CERTIFICATE
 I, Craig A. Keach, Professional Land Surveyor of Meridian Surveying, LLC., certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this 5th day of JUNE, 2018
 Craig A. Keach
 WISCONSIN PROFESSIONAL LAND SURVEYOR
 Craig A. Keach, S-2333





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 N8774 Firelane 1 Office: 920-893-0881
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SITE NAME:	EXCHANGE
SITE NUMBER:	269139
SITE ADDRESS:	2660 U.S.H. "51" MCFARLAND, WI 53558

PROPERTY OWNER:
 JANE LIESS & PHYLLIS DUBE
 2660 U.S.H. "51"
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PARCEL NO.:
 0610-103-9190-6 LEASE AND EASEMENT
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ZONED: A-2, AGRICULTURAL DISTRICT
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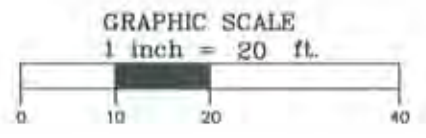
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SURVEYOR'S CERTIFICATE
 I, Craig A. Keach, Professional Land Surveyor of Meridian Surveying, LLC, certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this 8th day of JUNE, 2018.

 WISCONSIN PROFESSIONAL LAND SURVEYOR
 Craig A. Keach, S. 2333



BEARINGS REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM (NAD83/91) - SOUTH ZONE AND THE WEST LINE OF THE SW1/4, SECTION 10, T.6N., R.10E., WHICH BEARS: N01°-00'-05"E

LESSEE LEASE PARCEL

A part of the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) Section Ten (10), Township Six (6) North, Range Ten (10) East, Town of Dunn, Dane County, Wisconsin containing 360 square feet (0.008 acres) of land and being described by:

Commencing at the Southwest Corner of said Section 10; thence N01°-00'-09"E (Recorded as N00°-59'-58"E) 417.21 feet along the West line of the SW1/4 of said Section 10; thence S88°-59'-51"E (Recorded as N89°-21'-52"E) 59.20 feet to a point on the Easterly Right of Way line of U.S.H. 51 (Also being the Northwest Corner of Lot 1 of Certified Survey Map No. 6609, Volume 17313, Page 17, Document No. 2307030 of Dane County Records) thence N04°-25'-25"E (Recorded as N04°-25'-14"E) 80.87 feet along said Easterly Right of Way line; thence N86°-31'-22"E 467.90 feet; thence S03°-28'-38"E 63.00 feet; thence N86°-31'-22"E 21.00 feet to the point of beginning; thence N03°-28'-38"W 30.00 feet; thence N86°-31'-22"E 12.00 feet; thence S03°-28'-38"E 30.00 feet; thence S86°-31'-22"W 12.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

LEASE PARCEL (SBA Towers V, LLC.)

A part of the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) Section Ten (10), Township Six (6) North, Range Ten (10) East, Town of Dunn, Dane County, Wisconsin containing 10,000 square feet (0.230 acres) of land and being described by:

Commencing at the Southwest Corner of said Section 10; thence N01°-00'-09"E (Recorded as N00°-59'-58"E) 417.21 feet along the West line of the SW1/4 of said Section 10; thence S88°-59'-51"E (Recorded as N89°-21'-52"E) 59.20 feet to a point on the Easterly Right of Way line of U.S.H. 51 (Also being the Northwest Corner of Lot 1 of Certified Survey Map No. 6609, Volume 17313, Page 17, Document No. 2307030 of Dane County Records) thence N04°-25'-25"E (Recorded as N04°-25'-14"E) 80.87 feet along said Easterly Right of Way line; thence N86°-31'-22"E 467.90 feet to the point of beginning; thence continue N86°-31'-22"E 100.00 feet; thence S03°-28'-38"E 100.00 feet; thence S86°-31'-22"W 100.00 feet; thence N03°-28'-38"W 100.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

30 FOOT WIDE UTILITY AND INGRESS/EGRESS EASEMENT (SBA Towers V, LLC.)

A part of Lot One (1) of Certified Survey Map No. 6609, Volume 17313, Page 17, Document No. 2307030 of Dane County Records and a part of the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) Section Ten (10), Township Six (6) North, Range Ten (10) East, Town of Dunn, Dane County, Wisconsin containing 20,802 square feet (0.478 acres) of land and being described by:

Commencing at the Southwest Corner of said Section 10; thence N01°-00'-09"E (Recorded as N00°-59'-58"E) 417.21 feet along the West line of the SW1/4 of said Section 10; thence S88°-59'-51"E (Recorded as N89°-21'-52"E) 59.20 feet to a point on the Easterly Right of Way line of U.S.H. 51 (Also being the Northwest Corner of Lot 1 of Certified Survey Map No. 6609, Volume 17313, Page 17, Document No. 2307030 of Dane County Records) thence N04°-25'-25"E (Recorded as N04°-25'-14"E) 80.87 feet along said Easterly Right of Way line; thence N86°-31'-22"E 437.90 feet to the point of beginning; thence continue N86°-31'-22"E 30.00 feet; thence S03°-28'-38"E 100.00 feet; thence N86°-31'-22"E 100.00 feet; thence S03°-28'-38"E 30.00 feet; thence S86°-31'-22"W 534.17 feet; thence S38°-22'-52"W 61.23 feet to a point on the Easterly Right of Way line of U.S.H. 51; thence N05°-51'-56"W 43.00 feet along said Easterly line; thence N38°-22'-52"E 43.83 feet; thence N86°-31'-22"E 417.57 feet; thence; thence N03°-28'-38"W 100.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

PARENT PARCEL LEGAL DESCRIPTION, AS PROVIDED

An interest in land, said interest being over a portion of the following described parent parcel:

Lot One (1), Certified Survey Map No. 6609, recorded in Volume 32 of Certified Survey Maps, Pages 242, 243 and 244, as Document No. 2307030, in the Town of Dunn, Dane County, Wisconsin.

Parcel B:

A part of the Southwest 1/4 of the Southwest 1/4 of Section 10, Township 6 North, Range 10 East, in the Town of Dunn, Dane County, Wisconsin, more fully described as follows:

Commencing at the Southwest corner of said Section 10; thence North 0°59'58" East along the West line of the said Southwest 1/4, 417.21 feet; thence North 89°21'52" East, 59.20 feet to the point of beginning; said point also being the Northwest corner of Lot 1, Certified Survey Map No. 6609; thence North 4°25'14" East along the Easterly Right of Way line of U.S. Highway "51", 321.31 feet; thence South 87°20'45" East, 624.00 feet; thence South 5°49'19" West, 159.03 feet; thence South 17° 27' 02" West, 371.06 feet; thence South 7°05'40" East, 36.97 feet; thence South 29°15'36" West, 128.14 feet; thence North 2°13'36" West, 344.81 feet; thence North 88°35'57" West, 86.71 feet; thence North 1°43'49" West, 8.35 feet; thence North 87°45'14" West, 362.56 feet to the point of beginning.

AND BEING a portion of the same property conveyed to Kimberly J. Krueger, as to 92.5% interest and Jane C. Liess, as to 7.5% interest from Marty Brewer and Connie Brewer by Warranty Deed dated March 17, 2000 and recorded March 21, 2000 in Instrument No. 3199200; AND FURTHER CONVEYED to Jane C. Liess from Kimberly J. Krueger by Warranty Deed dated July 02, 2002 and recorded July 10, 2002 in Instrument No. 3511998; AND FURTHER CONVEYED to Phyllis J. Dube, an undivided fifty percent interest from Jane C. Liess by Warranty Deed dated November 30, 2007 and recorded December 04, 2007 in Instrument No. 4378736 and corrected in Affidavit recorded in Instrument No. 4386586.

Tax Parcel No. 028-0610-103-9210-1, 028-0610-103-9190-6

TITLE COMMITMENT REVIEW

Title Report: Fidelity National Title Insurance Company

Commitment No. 17512804

Effective Date: October 17, 2016

Fee Simple Title Vested In:

Jane C. Liess, an undivided 50% interest and Phyllis J. Dube, an undivided 50% interest

NOTE: The Statement of Applicability refers to the Lease Site and any Easements pertinent Thereunto Where Specific Encumbrances affect the Lease Site and/or a Pertinent Easement, they are identified as such.

Schedule B-II

- (1-7) These are General Statements and not Specific Encumbrances.
- (8) Conveyance of Lands for Highway Purposes in favor of The State Highway Commission of Dane County, set forth in instrument recorded on 03/16/1967 in Instrument No. 1180288. **This conveyance is included within the existing right of way of U.S.H. "51" which is plotted and shown.**
- (9) Right of way Grant in favor of Michigan Wisconsin Pipe Line Company, a Delaware corporation, set forth in instrument recorded on 11/14/1969 in instrument No. 1254238. **Does not apply.**
- (10) Award of Damages in favor of Kegonsa Sanitary District, set forth in instrument recorded on 06/17/1988 in Instrument No. 2087766. **Award of damages to place a sanitary sewer line upon the lands described in Exception 11. Applies to parent parcel and is plotted and shown.**
- (11) Easement in favor of Kegonsa Sanitary District, set forth in instrument recorded on 07/28/1988 in Deed Book 11748, Page 77. **This is a 10' wide sanitary sewer easement following the right of way of U.S.H. "51". Applies to ingress/egress and utility easement and is plotted and shown.**
- (12) Terms, provisions, covenants, conditions, restrictions, reservations, easements, charges, assessments and liens provided in a Deed or Covenants, Conditions and Restrictions recorded in Instrument No. 2258994, but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. **Does not apply.**
- (13) Declaration of the Imposition of Certain Restrictions on Real Estate, dated 12/05/1991 and recorded 12/06/1991 in Deed Book 17313, Page 13. **These restrictions apply to property North of the parent parcel. Does not apply.**
- (14) Certified Survey Map No. 6609 recorded in Instrument No. 2307030. **The Certified Survey Map boundary, easements and setbacks are plotted and shown.**
- (15) Easement Assignment from Madison Gas and Electric Company, a Wisconsin corporation to American Transmission Company LLC, a Wisconsin limited liability company, recorded on 01/29/2001 in Instrument No. 3283453. **Does not apply.**
- (16) Mortgage from Jane C. Liess, a single person, Grantor(s), in favor of Metro Mortgage Co., Inc., dated 04/15/2003, and recorded 04/22/2003 in Instrument No. 3695599, in the original amount of \$243,500.00; Assignment of Mortgage to U.S. Bank, N.A., a national association recorded on 04/22/2003 in Instrument No. 3695600; Affidavit of Correction recorded on 08/13/2003 in Instrument No. 3784720. **Applies to the parent parcel.**
- (17) Notice of Intermunicipal Cooperation Agreement dated 03/29/2005, by and between Town of Dunn and The Village of McFarland, recorded on 04/01/2005 in Instrument No. 4037294. **This agreement depicts an area that cannot be annexed by the Village of McFarland until January 1, 2026. Applies to parent parcel.**
- (18) Option and Easement Agreement in favor of SBA Towers V, LLC, a Florida limited liability company set forth in instrument recorded on 07/09/2014 in Document No. 5082637. **Does apply and is plotted and shown.**
- (19) Mortgage from Jane C. Liess, Grantor(s), in favor of U.S. Bank N.A., dated 10/09/2015, and recorded 10/19/2015 in Instrument No. 5191434, in the original amount of \$175,700.00. **Applies to the parent parcel.**



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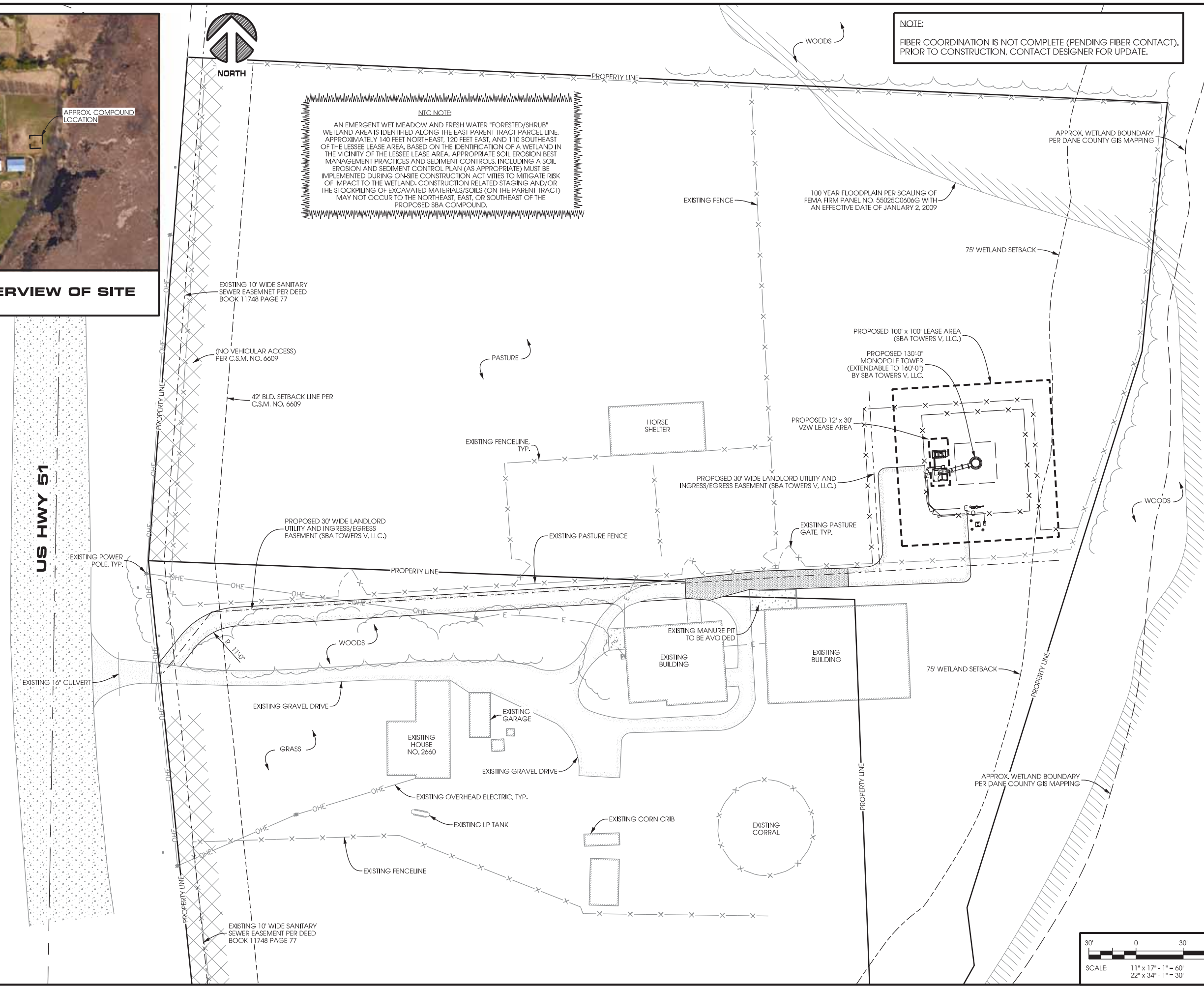


AERIAL OVERVIEW OF SITE

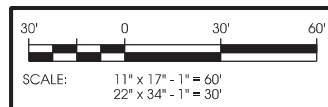


NOTE:
FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT).
PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.

NIC NOTE:
AN EMERGENT WET MEADOW AND FRESH WATER "FORESTED/SHRUB" WETLAND AREA IS IDENTIFIED ALONG THE EAST PARENT TRACT PARCEL LINE, APPROXIMATELY 140 FEET NORTHEAST, 120 FEET EAST, AND 110 SOUTHEAST OF THE LESSEE LEASE AREA, BASED ON THE IDENTIFICATION OF A WETLAND IN THE VICINITY OF THE LESSEE LEASE AREA. APPROPRIATE SOIL EROSION BEST MANAGEMENT PRACTICES AND SEDIMENT CONTROLS, INCLUDING A SOIL EROSION AND SEDIMENT CONTROL PLAN (AS APPROPRIATE) MUST BE IMPLEMENTED DURING ON-SITE CONSTRUCTION ACTIVITIES TO MITIGATE RISK OF IMPACT TO THE WETLAND. CONSTRUCTION RELATED STAGING AND/OR THE STOCKPILING OF EXCAVATED MATERIALS/SOILS (ON THE PARENT TRACT) MAY NOT OCCUR TO THE NORTHEAST, EAST, OR SOUTHEAST OF THE PROPOSED SBA COMPOUND.



US HWY 51



SITE PLAN
EXCHANGE [#269139]
MC FARLAND, WISCONSIN

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW C-1.dgn

SHEET NUMBER:
VZW C-1

K:\19747\19747\CAD\Plot\CD\VZW C-1.dgn



SITE OVERVIEW (LOOKING EAST)

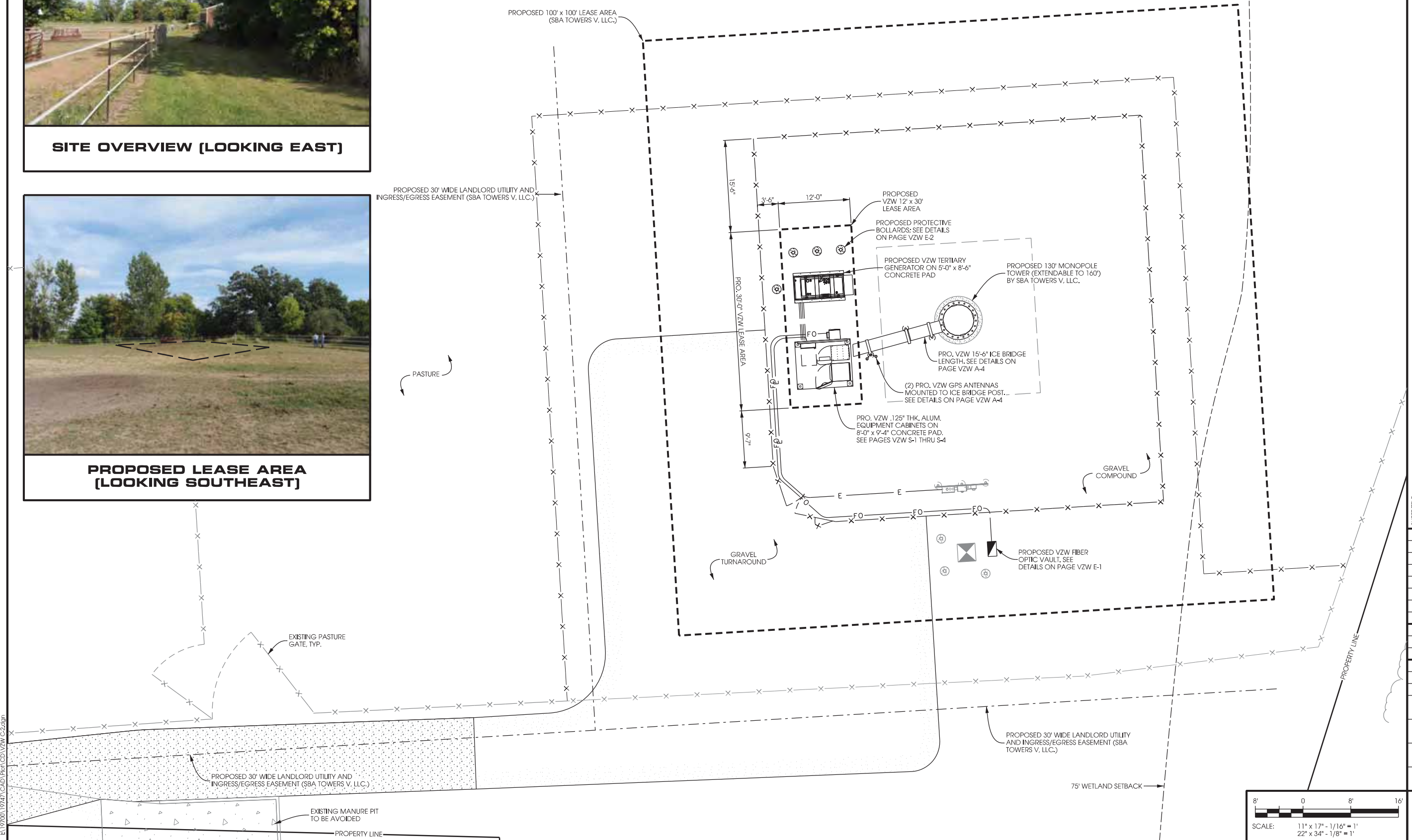


PROPOSED LEASE AREA (LOOKING SOUTHEAST)



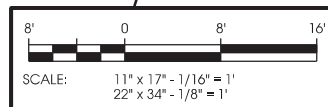
NORTH

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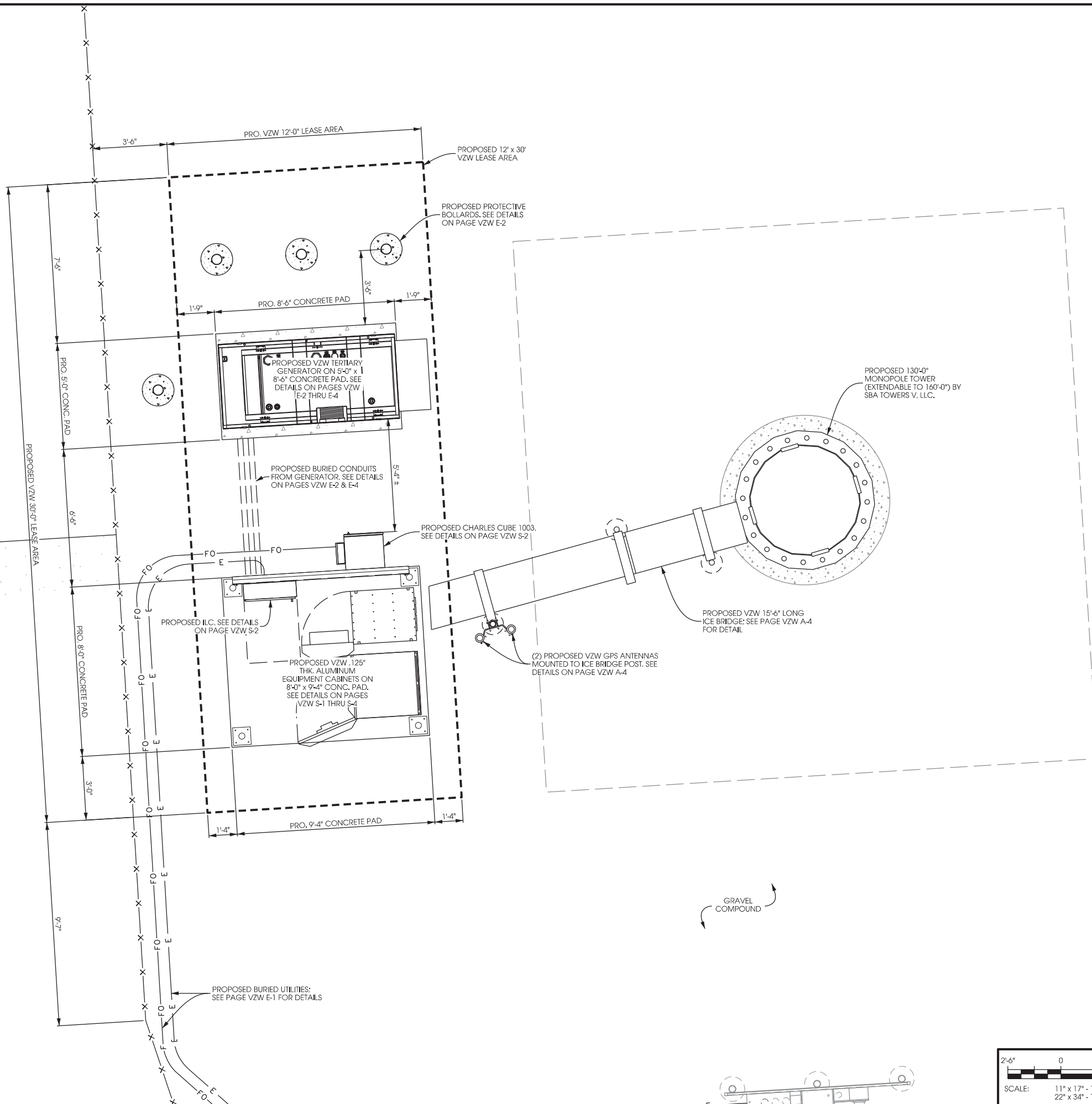
COMPOUND PLAN EXCHANGE [#269139] MCFARLAND, WISCONSIN

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STAMPED PERMIT DWGS:	INI:
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STAMPED FINAL DWGS:	
CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW C-2.dgn
SHEET NUMBER:	
VZW C-2	





PROPOSED 100'-0" x 100'-0" SBA LEASE AREA



GRAVEL TURNAROUND

GRAVEL COMPOUND

K:\19747\19747\CAD\Plot\CD\VZW C-3.dgn

ENLARGED COMPOUND PLAN EXCHANGE [#269139] MCFARLAND, WISCONSIN

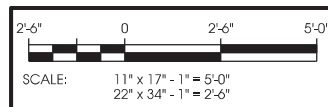
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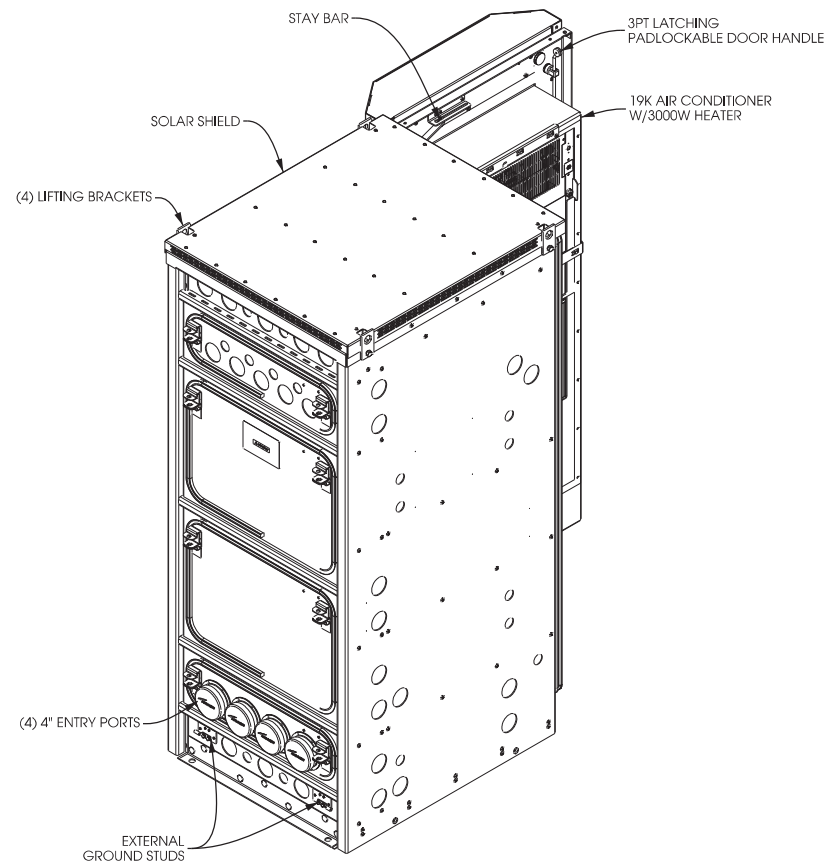
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PERMIT CDs V.2 - 07/09/15	APK

STAMPED FINAL DWGS:

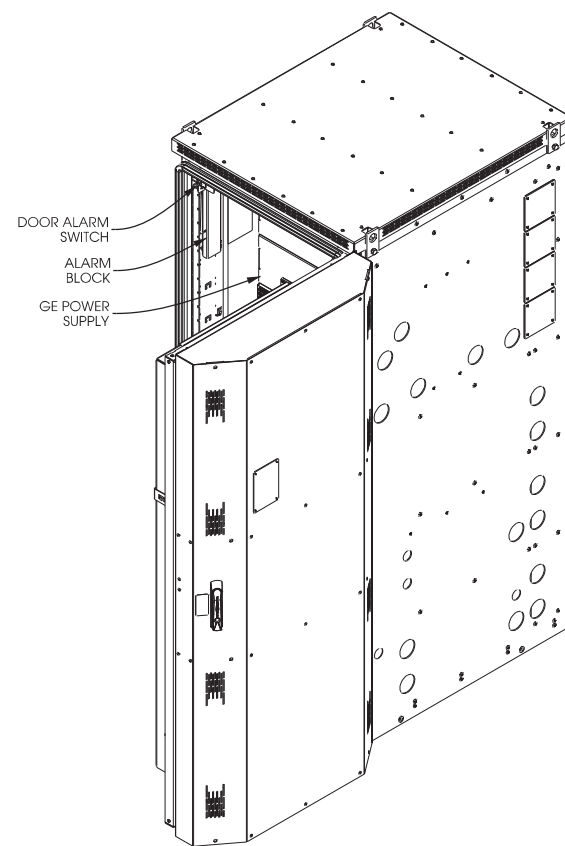
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SHEET NUMBER:
VZW C-3

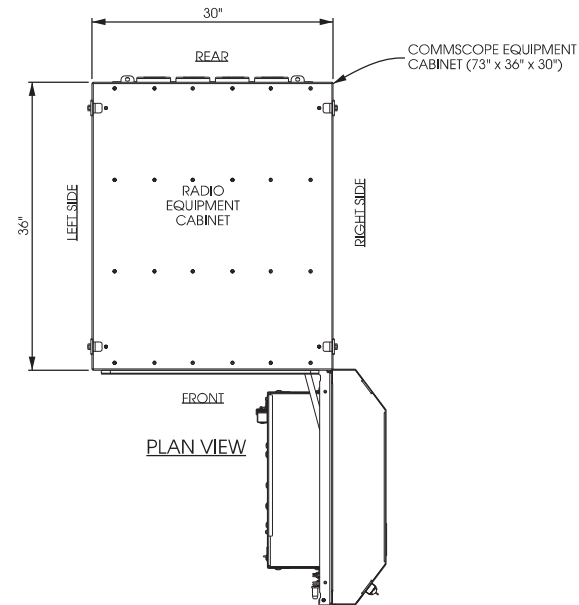




REAR ISOMETRIC VIEW

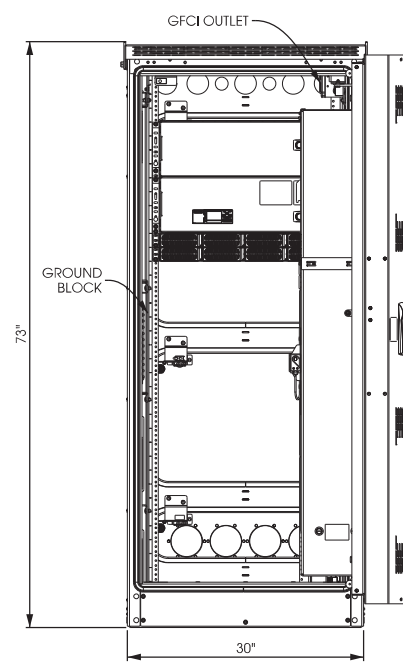


FRONT ISOMETRIC VIEW



PLAN VIEW

CATEGORY	
DIMENSIONS AND WEIGHT	72 H X 30 W X 36 D 650 LBS AS SHIPPED
23" AND 19" EQUIPMENT RACK SPACE	70" (40RU) SPACING
COLOR	GRAY
MATERIAL	.125" WELDED ALUMINUM
MAXIMUM HEAT DISSIPATION	2900W
19000 BTU AIR CONDITIONER WITH 3000W HEATER	PENTAIR #T531426G150P
ELECTRICAL OUTLET	ONE GFCI OUTLET
-48VDC POWER SYSTEM WITH CONTROLLER	GE INFINITY S: NES4824-23-AC5-PS-DC2E
BONDING AND GROUNDING	2GA OUTSIDE ENCLOSURE
CABLE ENTRANCE	REAR
OPERATING TEMP. RANGE, INSIDE ENCLOSURE	50F/10C -79F/26C
OPERATING TEMP. RANGE, OUTSIDE ENCLOSURE	-40F/-40C -131F/55C

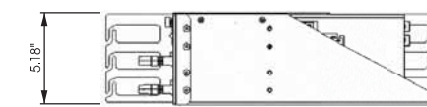


FRONT ELEVATION VIEW

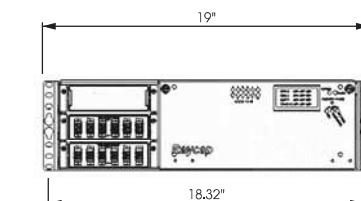
A **COMMSCOPE RBA72-30**
SCALE: NTS



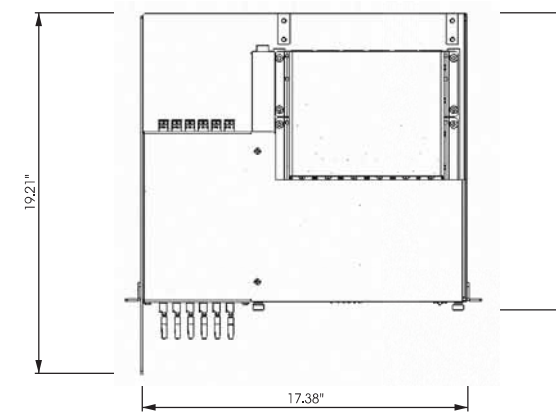
DC SURGE PROTECTOR:
RAYCAP PART # RCMD-4520-RM-48
RACK MOUNTED DISTRIBUTION SURGE PROTECTION FOR 12 RRH DC CIRCUITS
DIMENSIONS: 5.18" x 18.32" x 15.80" (H x W x D)
WEIGHT: 22.10 LBS



SIDE VIEW



FRONT VIEW



PLAN VIEW

B **RACK MOUNTED SURGE PROTECTOR**
SCALE: NTS

**EQUIPMENT DETAILS
EXCHANGE [#269139]
MCFARLAND, WISCONSIN**

SHEET TITLE:

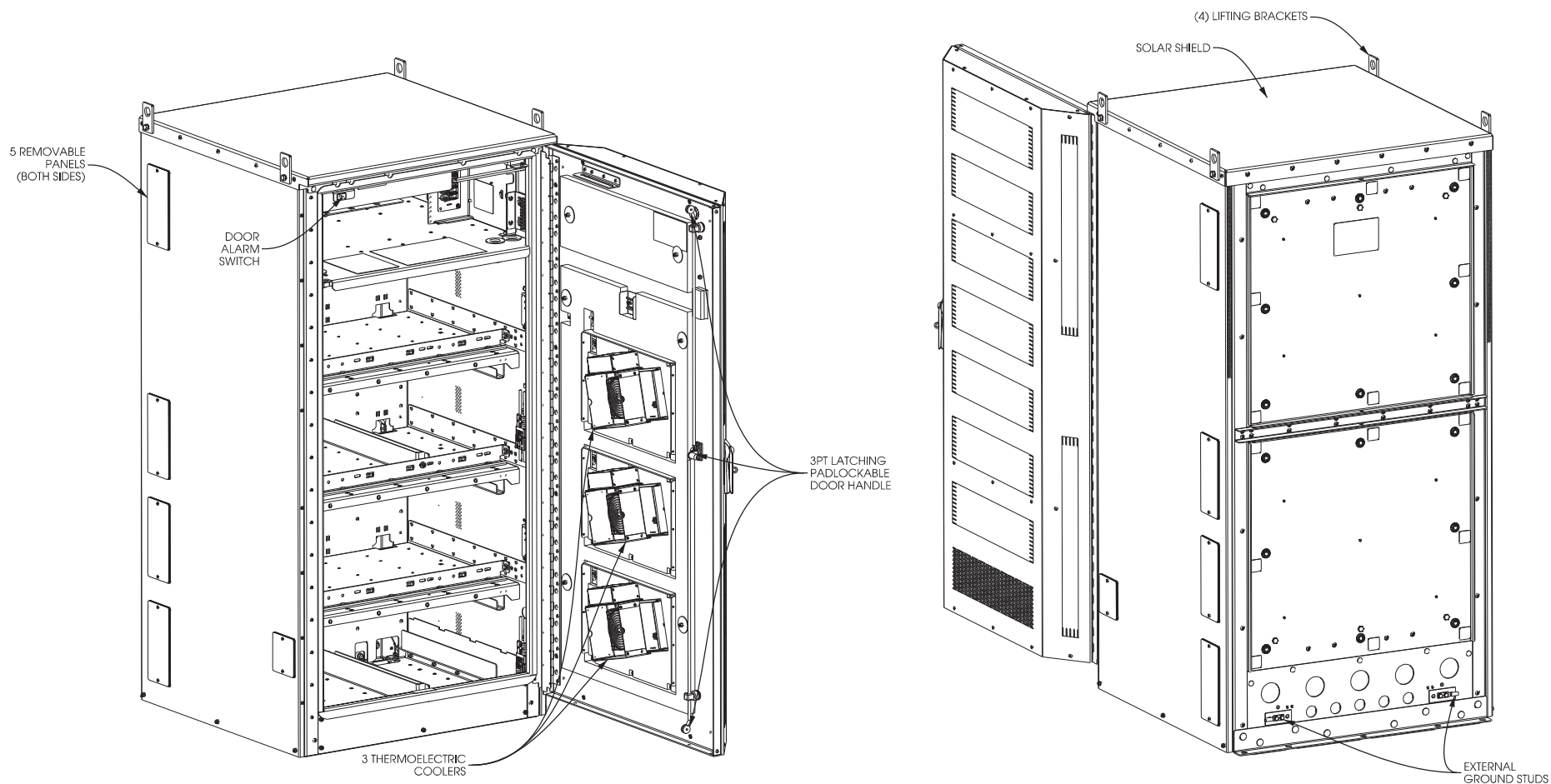
PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

STAMPED FINAL DWGS:	INI:
CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW S-1.dgn

SHEET NUMBER:
VZW S-1

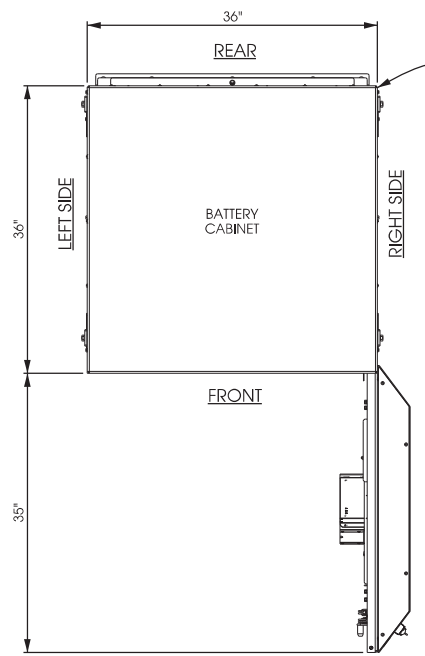
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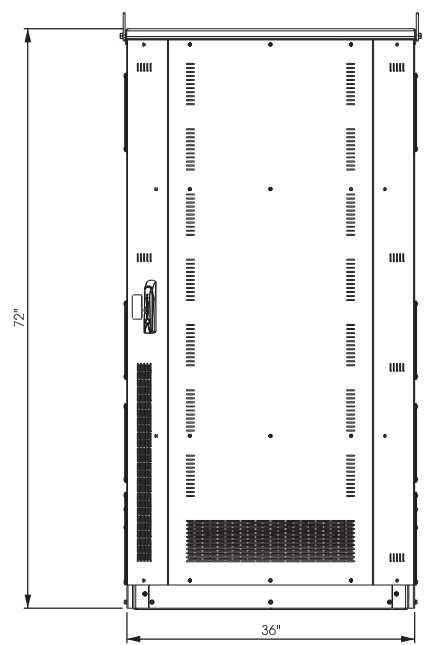
FRONT ISOMETRIC VIEW

REAR ISOMETRIC VIEW

COMMSCOPE RBA72-36	
DIMENSIONS & WEIGHT	72 H X 36 W X 36 D 765 LBS AS SHIPPED 3900 LBS W/ BATTERIES
COLOR	GRAY
MATERIAL	.125 WELDED ALUMINUM
ELECTRICAL OUTLET	ONE GFCI OUTLET

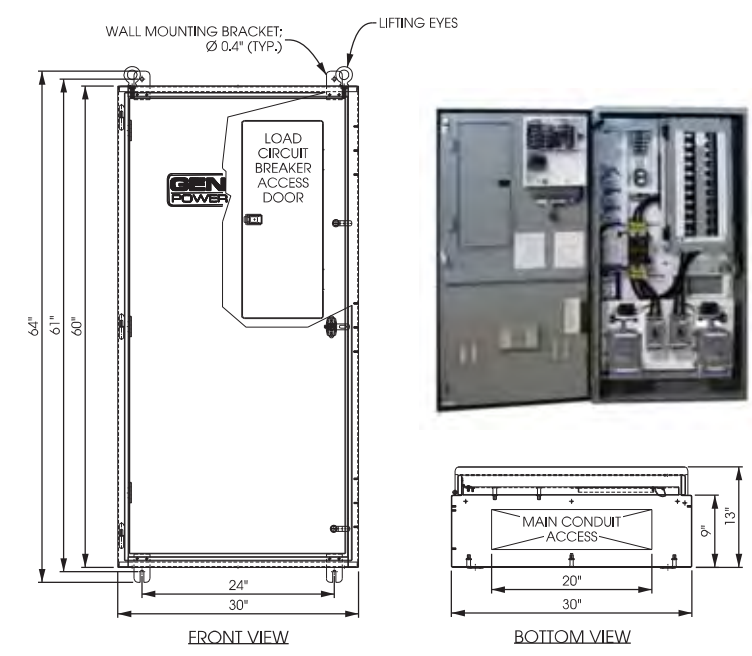


PLAN VIEW



FRONT ELEVATION VIEW

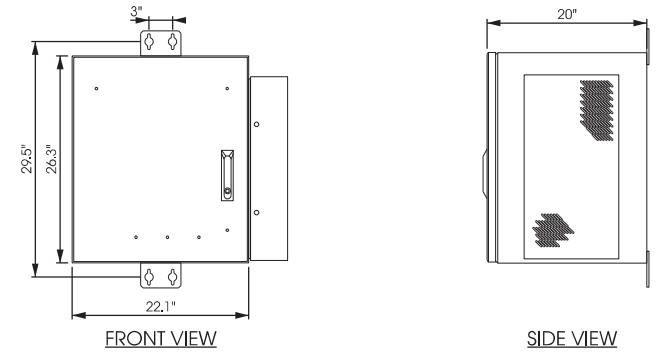
A COMMSCOPE RBA72-36
SCALE: NTS



ILC RATED AMPS	VOLTAGE	PHASE	ENCLOSURE HEIGHT	ENCLOSURE WIDTH	ENCLOSURE DEPTH	WEIGHT (LBS)
200	120/240	1	60"	30"	10"	350
200	120/208	3	60"	30"	10"	350

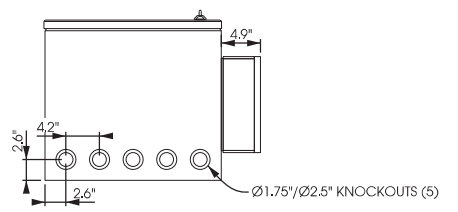
B INTEGRATED LOAD CENTER
SCALE: NTS

ENCLOSURE
CHARLES UNIVERSAL BROADBAND ENCLOSURES (CUBE) PART # RL1003
-ACCESSORIES:
POLE MOUNT KIT, PART # 97-CABPMTKIT
H-FRAME HARDWARE KIT, PART # 97-001971-A
SLIDE OUT TRAY, PART # 97-001990-A
10" PLINTH KIT, PART # 97-002127-A



FRONT VIEW

SIDE VIEW



BOTTOM VIEW

C CHARLES UNIVERSAL ENCLOSURE
SCALE: NTS

**EQUIPMENT DETAILS
EXCHANGE (#269139)
MCFARLAND, WISCONSIN**

SHEET TITLE:

PRELIMINARY DWGS:	INT:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INT:
PERMIT CDs V.2 - 07/09/15	APK

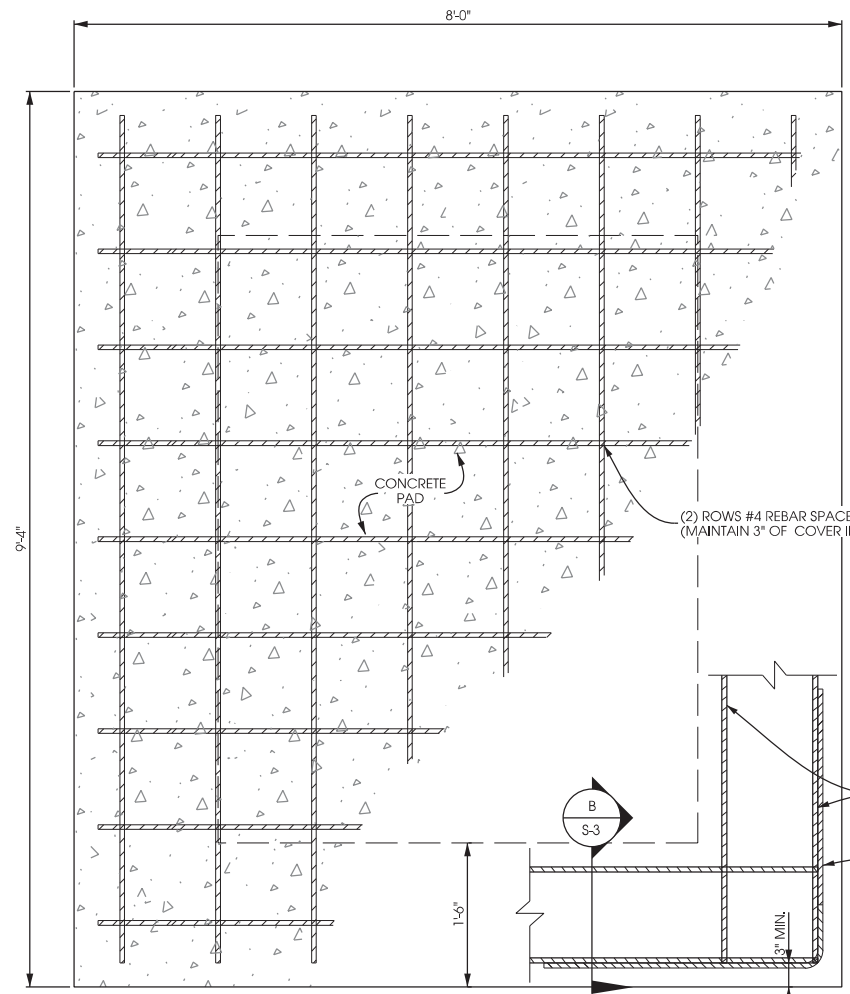
STAMPED FINAL DWGS:

CHECKED BY:
PCM
PLOT DATE:
6/7/2018
PROJECT #:
19747
FILE NAME:
VZW S-2.dgn

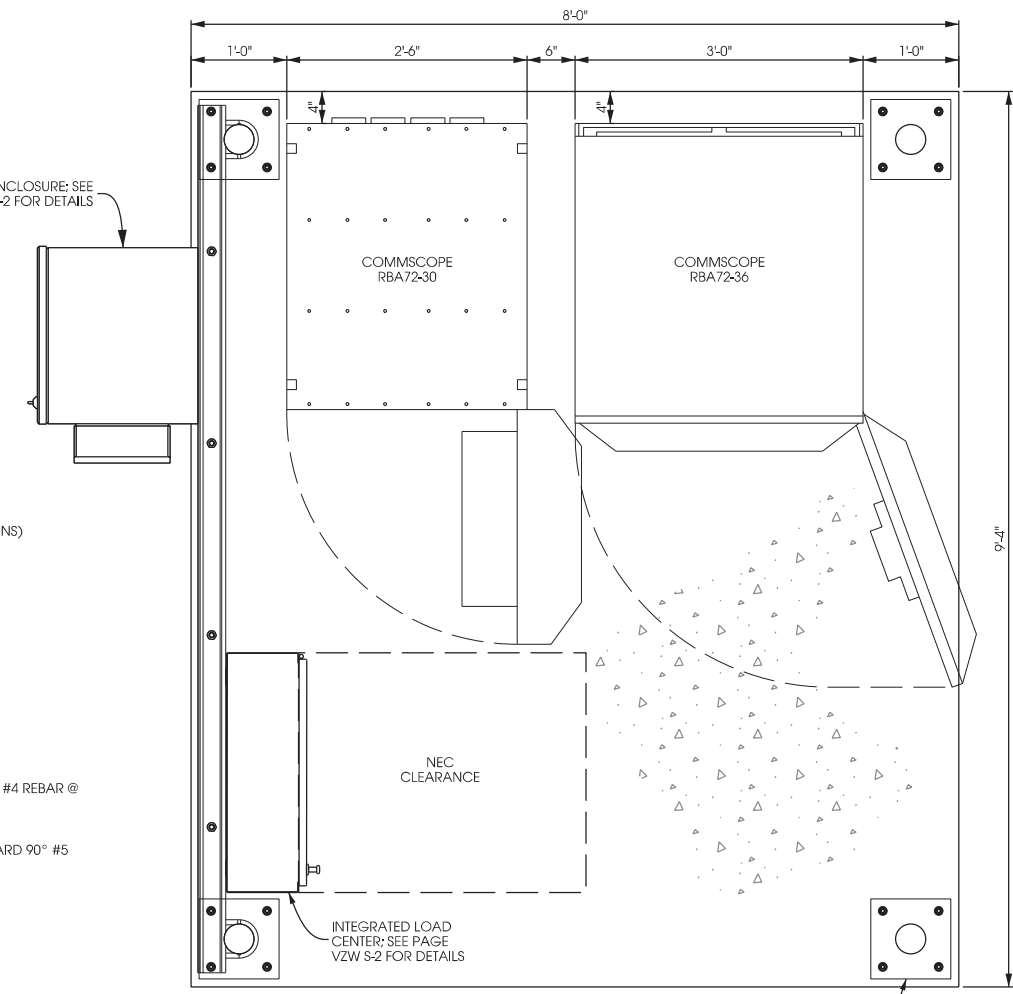
SHEET NUMBER:

VZW S-2

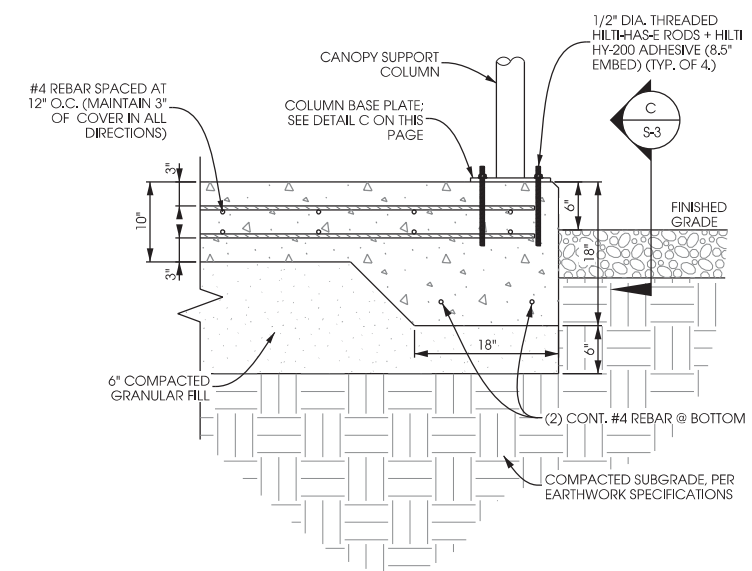
FOUNDATION DETAILS
EXCHANGE [#269139]
MC FARLAND, WISCONSIN



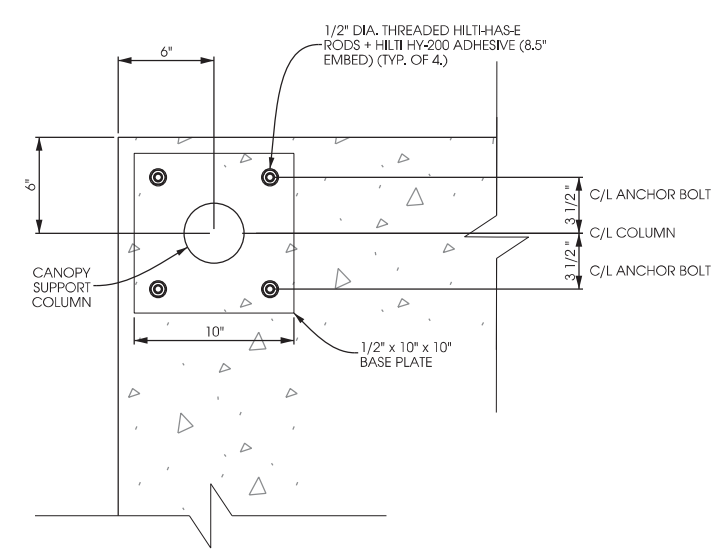
A EQUIPMENT PAD PLAN
 SCALE: NTS



B THICKENED SLAB FOUNDATION
 SCALE: NTS



NOTE:
 3" MINIMUM CONCRETE COVER OVER BAR AND WIRE



C COLUMN BASE PLATE DETAILS
 SCALE: NTS

THIS SPACE INTENTIONALLY LEFT BLANK

CONCRETE AND REINFORCING NOTES:

- 1.) ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND MOST CURRENT VERSION OF ACI STANDARDS.
- 2.) ALL EXPOSED CONCRETE SURFACES EXPOSED TO VIEW SHALL HAVE A SURFACE FINISH SF-2.0 IN ACCORDANCE WITH ACI 301.
- 3.) ALL CONCRETE UNLESS SPECIFICALLY NOTED SHALL BE NORMAL WEIGHT (145 PCF) AND SHALL ACHIEVE A 28-DAY COMPRESSIVE STRENGTH (f'c) OF 3,000 PSI. EXPOSED EXTERIOR CONCRETE TO BE AIR ENTRAINED WITH 6% AIR CONTENT. CONTRACTOR TO PERFORM CONCRETE SLUMP TEST (4" MAX SLUMP). NO WATER TO BE ADDED AFTER SLUMP HAS BEEN MEASURED.
- 4.) ALL CONCRETE REINFORCING SHALL BE ASTM A615 GRADE 60 AND PLACED IN ACCORDANCE WITH ACI STANDARDS W/ 3" MIN COVERAGE IF CAST AGAINST EARTH AND 2" MIN COVERAGE OTHERWISE.
- 5.) REMOVE ALL ORGANIC MATERIAL, SOFT AREAS, AND POOR SOILS BENEATH FOUNDATION TO A DEPTH OF AT LEAST 2'-0" BELOW FOUNDATION.
- 6.) DESIGN BASED ON GEOTECHNICAL REPORT BY TOWER ENGINEERING PROFESSIONALS. DATED 8/4/2014. CONTRACTOR TO REVIEW & FOLLOW RECOMMENDATIONS CONTAINED IN GEOTECHNICAL REPORT.
- 7.) SLAB NOT SUITABLE AT SITES WITH ORGANIC SOIL. UNCOMPACTED FILL. EXPANSIVE SOIL, OR SOILS SUSCEPTIBLE TO FROST HEAVE.
- 8.) CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM ALL FOUNDATIONS.
- 9.) FOUNDATION DESIGN BASED ON INFORMATION PROVIDED BY FBREBOND DATED 10/6/16. DESIGN LOADS ARE IN ACCORDANCE WITH FBREBOND DESIGN WITH THE EXCEPTION THAT THE SEISMIC LOAD IS REDUCED. THE FOUNDATION DESIGN IS DESIGNED FOR A SPECTRAL RESPONSE COEFFICIENT (SDS) = 0.395 AND SEISMIC IMPORTANCE FACTOR (IE) = 1.00 WHICH CORRESPONDS A REDUCED SEISMIC RESPONSE COEFFICIENT (CS) = 0.113. THE PROVIDED SEISMIC LOADS WERE MULTIPLIED BY 0.263. THE RATIO OF THE NEW CS TO ORIGINAL CS. THIS SEISMIC LOAD CORRESPONDS WITH APPROXIMATELY THE NORTHERN END OF FAYETTE COUNTY, IL. CONTRACTOR TO VERIFY EXACT EQUIPMENT PAD SIZE AND TYPE.

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

STAMPED FINAL DWGS:	
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CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW S-3.dgn

SHEET NUMBER:

VZW S-3

**EQUIPMENT ELEVATIONS EXCHANGE (#269139)
 MCFARLAND, WISCONSIN**

SHEET TITLE:

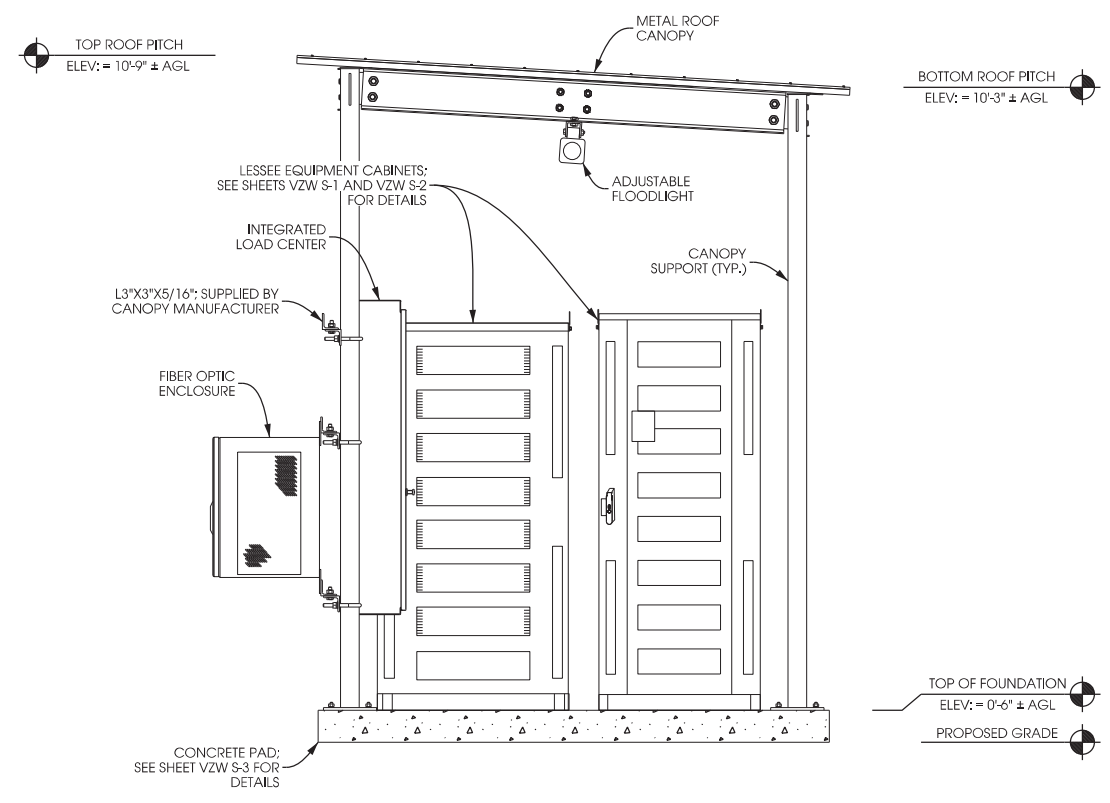
PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

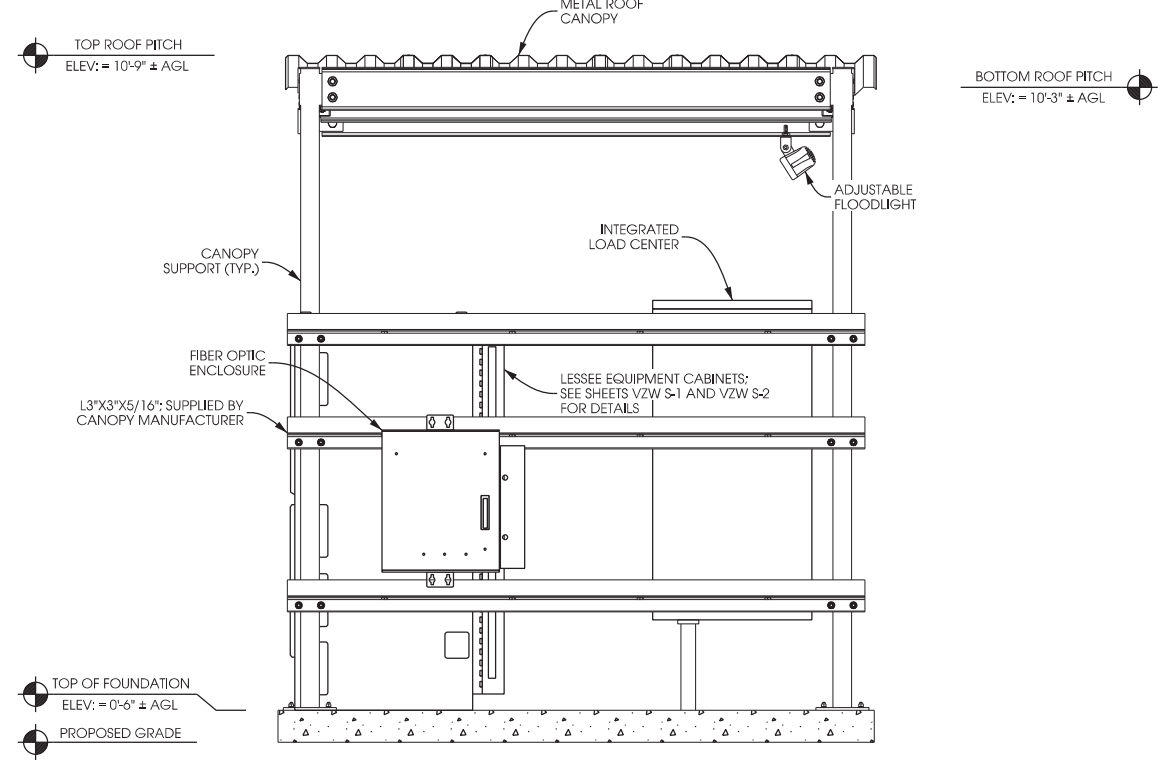
STAMPED FINAL DWGS:

CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW S-4.dgn

SHEET NUMBER:
VZW S-4

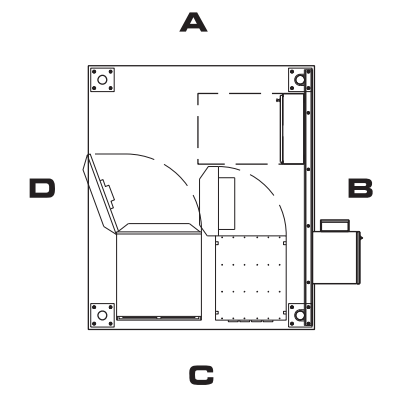


ELEVATION A

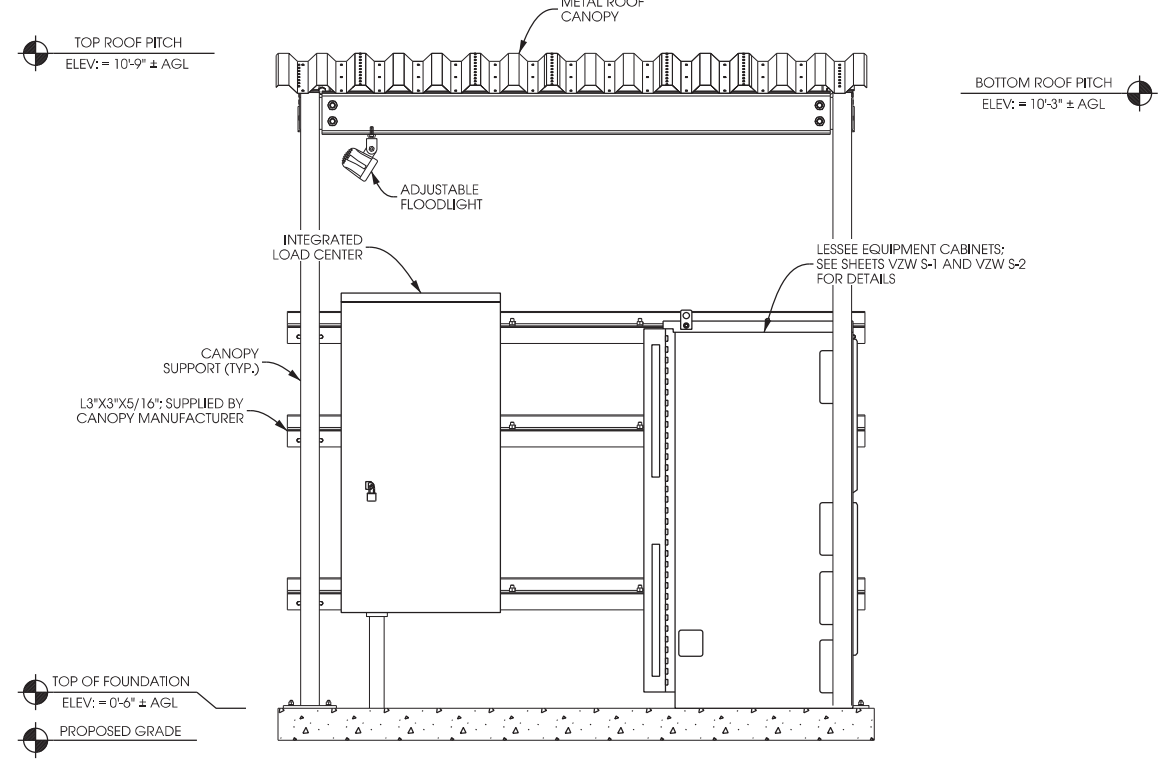
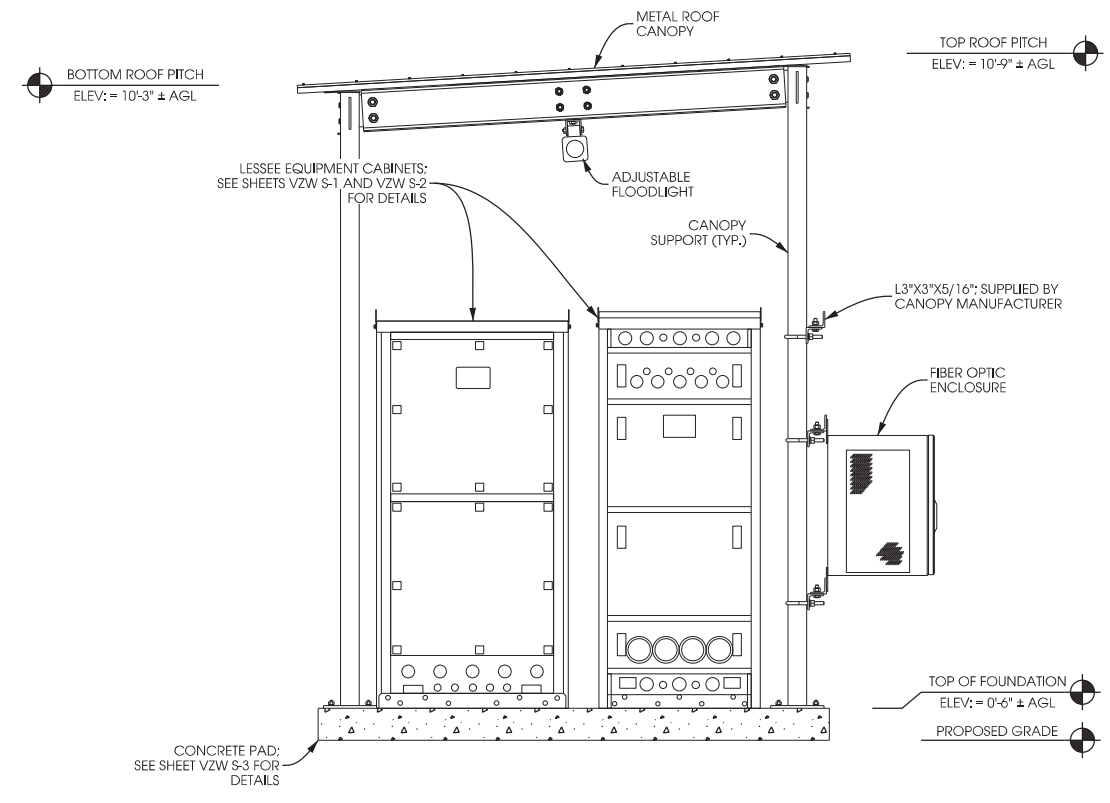


ELEVATION B

CANOPY NOTE:
 ELEVATIONS PROVIDED FOR CONVENIENCE. CANOPY PROVIDED AS KIT BY SABRE. MODEL # LISTED AT BOTTOM OF PAGE



ELEVATION C



ELEVATION D

EQUIPMENT CANOPY ELEVATIONS
 SCALE: 11" x 17" - 1/3" = 1'-0" 22" x 34" - 2/3" = 1'-0" SABRE DRAWING #: Z30199033

K:\19747\19747\CAD\Plot\CD\VZW S-4.dgn

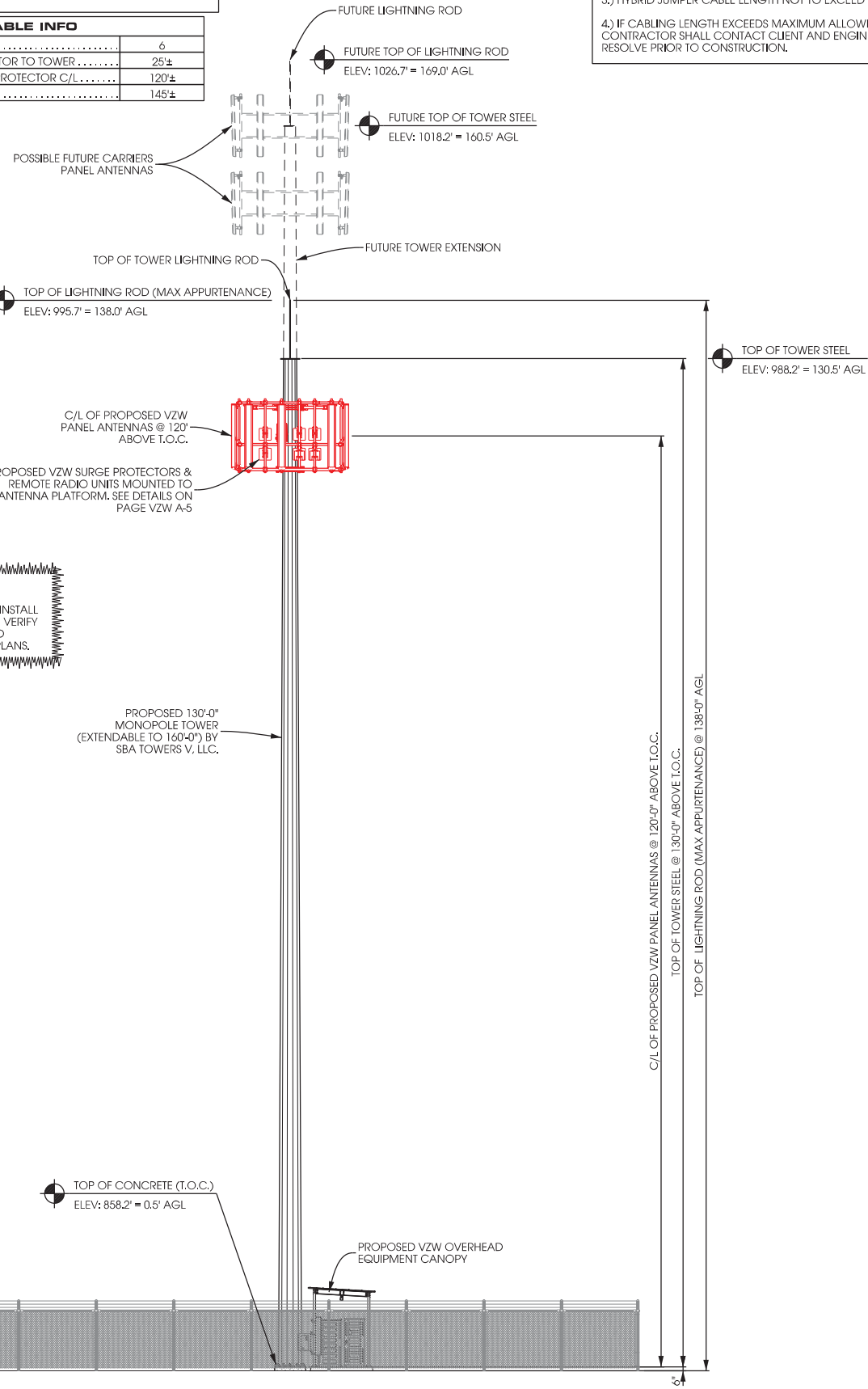
RF EMISSIONS REPORT REQUIRED

YES NO

Date: _____

HYBRID CABLE INFO

QUANTITY	6
LENGTH FROM GROUND SURGE PROTECTOR TO TOWER	25'±
LENGTH FROM T.O.C. TO TOWER SURGE PROTECTOR C/L	120'±
TOTAL HYBRID CABLE LENGTH	145'±



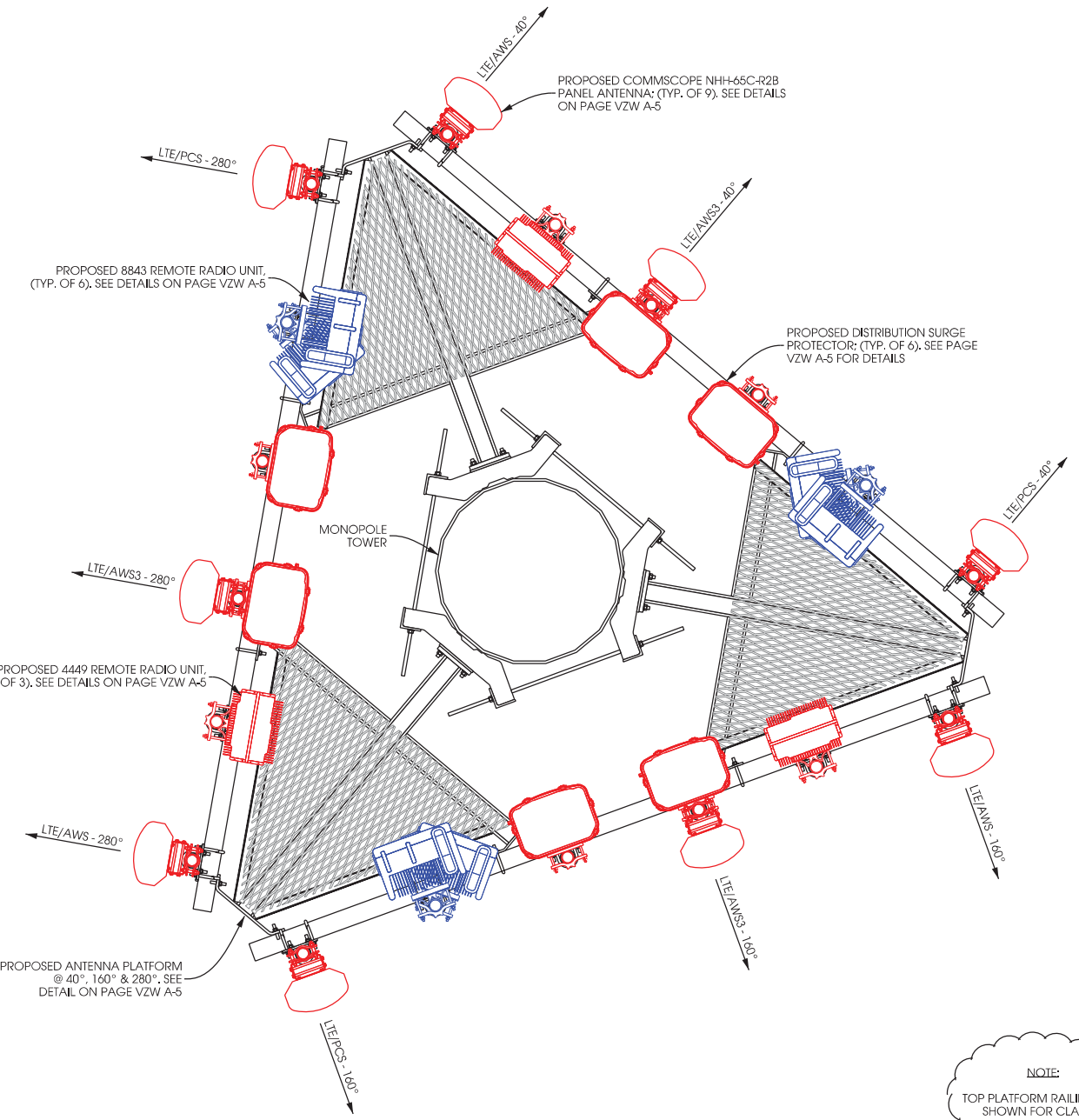
A TOWER PROFILE [EAST ELEVATION]

SCALE: 11" x 17" - 1" = 20'-0"
22" x 34" - 1" = 10'-0"

- NOTES:**
- 1.) CONTRACTOR TO VERIFY HEIGHT AND DIRECTION OF ANTENNA WITH PROJECT MANAGER & FINAL RF DESIGN.
 - 2.) HYBRID CABLE LENGTH NOT TO EXCEED 367'.
 - 3.) HYBRID JUMPER CABLE LENGTH NOT TO EXCEED 30'.
 - 4.) IF CABLING LENGTH EXCEEDS MAXIMUM ALLOWED CONTRACTOR SHALL CONTACT CLIENT AND ENGINEER TO RESOLVE PRIOR TO CONSTRUCTION.

- LEGEND:**
- PROPOSED PANEL ANTENNA
 - PROPOSED DISTRIBUTION SURGE PROTECTOR
 - PROPOSED 4449 REMOTE RADIO UNIT
 - PROPOSED 8843 REMOTE RADIO UNIT

- NOTES:**
- 1.) ALL ANTENNA AZIMUTHS REFERENCED FROM TRUE NORTH.
 - 2.) SEE PAGE A-5 FOR INSTALLATION REQUIREMENTS OF ANTENNAS AND EQUIPMENT.



B ANTENNA & EQUIPMENT ORIENTATION

SCALE: NTS

NOTE:
TOP PLATFORM RAILING NOT SHOWN FOR CLARITY.



Edge Consulting Engineers, Inc.
624 Water Street
Profile du Soc, WI 53578
608.644.1449 voice
608.644.1549 fax
www.edgeconsulting.com

TOWER ELEVATION EXCHANGE [#269139] MCFARLAND, WISCONSIN

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

STAMPED FINAL DWGS:	
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CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW A-1.dgn
SHEET NUMBER:	

VZW A-1

EQUIPMENT CHANGE REQUEST FORM - ECR

Cell Name		Exchange		RF Engineer		Cell ID		209768			
Location Number		269139		Chris Jennings		Address		2660 Hwy 51			
Date of Request		5/2/2018		Market		City/State/Zip		McFarland, WI			
PROPOSED CONFIGURATION							Equipment Layout Link				
Sector	Pos	Port	RF Path	Antenna Manufacturer	Antenna Model	Centerline	Azimuth	Variable Tilt	Mechanical Tilt	Action	
Alpha	A1	H1	LTE AWS - RxTx0	Commscope	NHH-65C-R2B	120	40	1	0	Add-Install	
		H2	LTE AWS - RxTx1								
		L1	LTE C - RxTx0								
		L2	LTE C - RxTx1								
	A2	H1	LTE AWS - RxTx2	Commscope	NHH-65C-R2B	120	40	1	0	Add-Install	
		H2	LTE AWS3 - RxTx1								
		L1	Unused at this time								
		L2	Unused at this time								
	A3	H1	LTE AWS3 - RxTx2	Commscope	NHH-65C-R2B	120	40	1	0	Add-Install	
		H2	LTE AWS 3- RxTx3								
		L1	Unused at this time								
		L2	Unused at this time								
	A4	H1	Unused at this time	Commscope	NHH-65C-R2B	120	40	1	0	Add-Install	
		H2	Unused at this time								
		L1	Unused at this time								
		L2	Unused at this time								
Beta	B1	H1	LTE AWS - RxTx0	Commscope	NHH-65C-R2B	120	160	1	0	Add-Install	
		H2	LTE AWS - RxTx1								
		L1	LTE C - RxTx0								
		L2	LTE C - RxTx1								
	B2	H1	LTE AWS - RxTx2	Commscope	NHH-65C-R2B	120	160	1	0	Add-Install	
		H2	LTE AWS3 - RxTx1								
		L1	Unused at this time								
		L2	Unused at this time								
	B3	H1	LTE AWS3 - RxTx2	Commscope	NHH-65C-R2B	120	160	1	0	Add-Install	
		H2	LTE AWS 3- RxTx3								
		L1	Unused at this time								
		L2	Unused at this time								
	B4	H1	Unused at this time	Commscope	NHH-65C-R2B	120	160	1	0	Add-Install	
		H2	Unused at this time								
		L1	Unused at this time								
		L2	Unused at this time								
Gamma	G1	H1	LTE AWS - RxTx0	Commscope	NHH-65C-R2B	120	280	1	0	Add-Install	
		H2	LTE AWS - RxTx1								
		L1	LTE C - RxTx0								
		L2	LTE C - RxTx1								
	G2	H1	LTE AWS - RxTx2	Commscope	NHH-65C-R2B	120	280	1	0	Add-Install	
		H2	LTE AWS3 - RxTx1								
		L1	Unused at this time								
		L2	Unused at this time								
	G3	H1	LTE AWS3 - RxTx2	Commscope	NHH-65C-R2B	120	280	1	0	Add-Install	
		H2	LTE AWS 3- RxTx3								
		L1	Unused at this time								
		L2	Unused at this time								
	G4	H1	Unused at this time	Commscope	NHH-65C-R2B	120	280	1	0	Add-Install	
		H2	Unused at this time								
		L1	Unused at this time								
		L2	Unused at this time								

NOTES:

RF DESIGN AND DETAIL ON THIS PAGE PROVIDED BY LESSEE AND ARE INCLUDED FOR CONVENIENCE. FINAL RF DESIGN TO BE VERIFIED WITH LESSEE. IF SIGNIFICANT CHANGES OR DISCREPANCIES ARE IDENTIFIED, CONTACT ENGINEER PRIOR TO INSTALLATION.

Edge Consulting Engineers, Inc.
 624 Water Street
 Prairie du Sac, WI 53578
 608.644.1449 vo/cbe
 608.644.1549 fax
 www.edgeconsulting.com

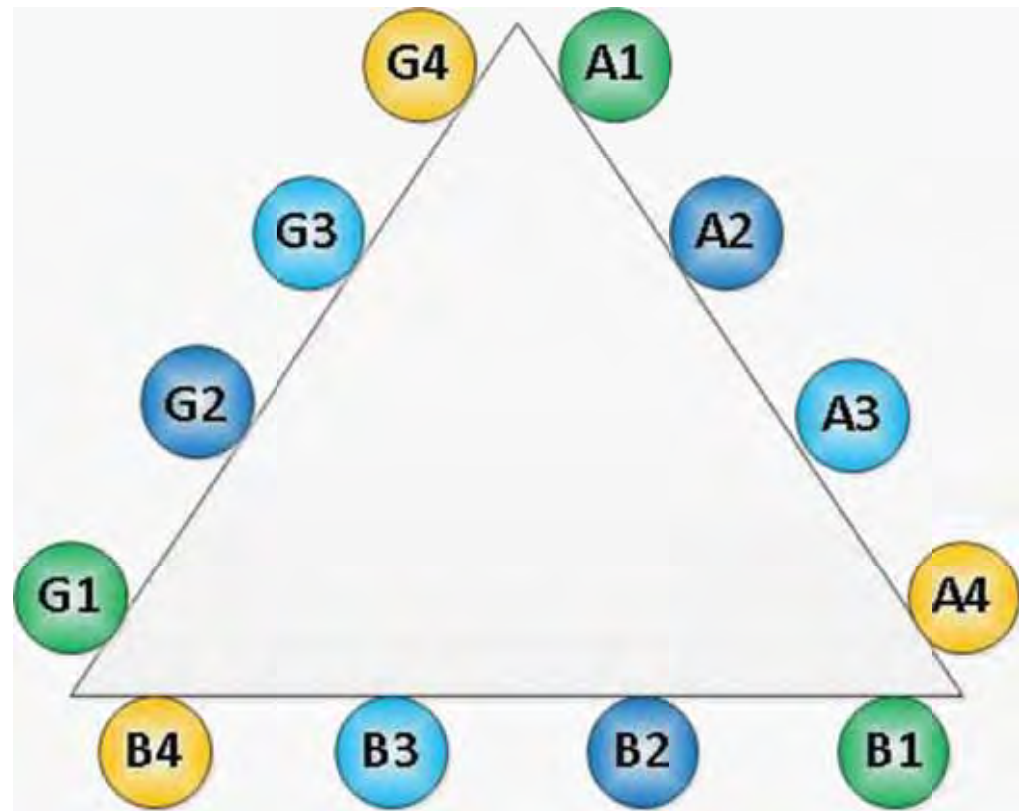
ANTENNA CONFIGURATION EXCHANGE [#269139] MCFARLAND, WISCONSIN

PRELIMINARY DWGS:		INI:
CD 90's REV.6 - 10/26/16		APK
CD 90's REV.7 - 01/03/17		APK
CD 90's REV.8 - 06/07/18		CV
STAMPED PERMIT DWGS:		INI:
PERMIT CD's V.2 - 07/09/15		APK
STAMPED FINAL DWGS:		
CHECKED BY: PCM		
PLOT DATE: 6/7/2018		
PROJECT #: 19747		
FILE NAME: VZW A-2.dgn		
SHEET NUMBER:		

PROPOSED ANTENNA CONFIGURATION

VZW A-2

K:\19747\19747\CAD\PH1\CD\1\Z\A-2.dgn

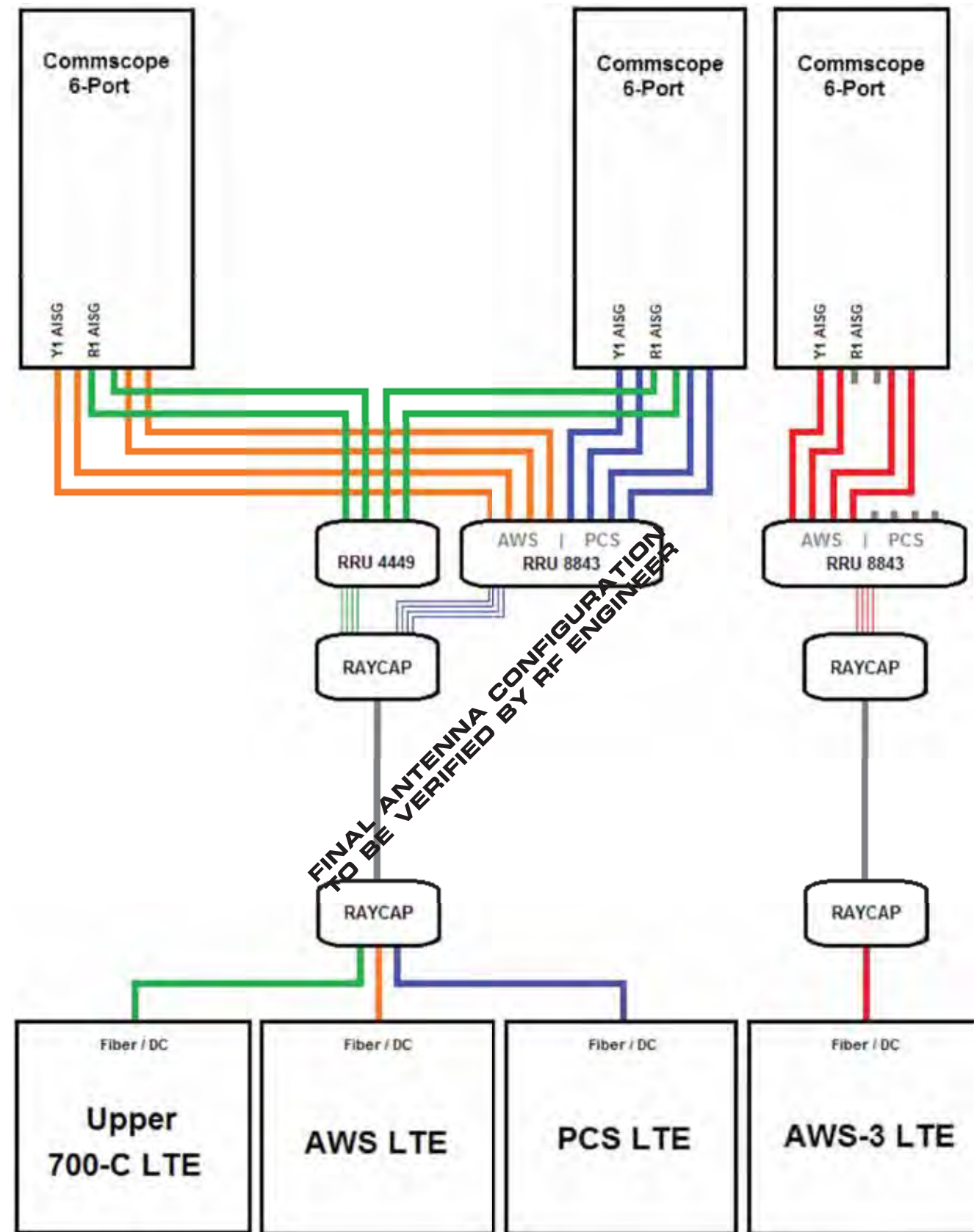


ANTENNA PLATFORM SCHEMATIC

Proposed					
	Location	Manufacturer	Component Model	Count	Action
Passive Components	Top (Platform)				
	Top (Platform)				
	Top (Platform)	Ericsson	RRU 4449	3	Install
	Top (Platform)	Ericsson	RRU 8843	6	Install
	Top (Platform)				
	Top (Platform)				
	Top (Platform)	Raycap	RCMDC-3315-PF-48	6	Install
	Bottom (Shelter)	Raycap	RCMDC-3315-PF-48	6	Install
	Bottom (Shelter)				
	Bottom (Shelter)				
Coax	Sector	Coax Manufacturer	Type	Size	Count
	Alpha				
	Beta				
	Gamma				
	Hybrid	Andrew	HFT1206-24S49	1.5	6

NOTES:
 RF DESIGN AND DETAIL ON THIS PAGE PROVIDED BY LESSEE AND ARE INCLUDED FOR CONVENIENCE. FINAL RF DESIGN TO BE VERIFIED WITH LESSEE. IF SIGNIFICANT CHANGES OR DISCREPANCIES ARE IDENTIFIED, CONTACT ENGINEER PRIOR TO INSTALLATION.

COMBINER CABLE DATA INFORMATION



FINAL ANTENNA CONFIGURATION TO BE VERIFIED BY RF ENGINEER

NOTES:
 RF DESIGN AND DETAIL ON THIS PAGE PROVIDED BY LESSEE AND ARE INCLUDED FOR CONVENIENCE. FINAL RF DESIGN TO BE VERIFIED WITH LESSEE. IF SIGNIFICANT CHANGES OR DISCREPANCIES ARE IDENTIFIED, CONTACT ENGINEER PRIOR TO INSTALLATION.

PROPOSED ANTENNA CONFIGURATION

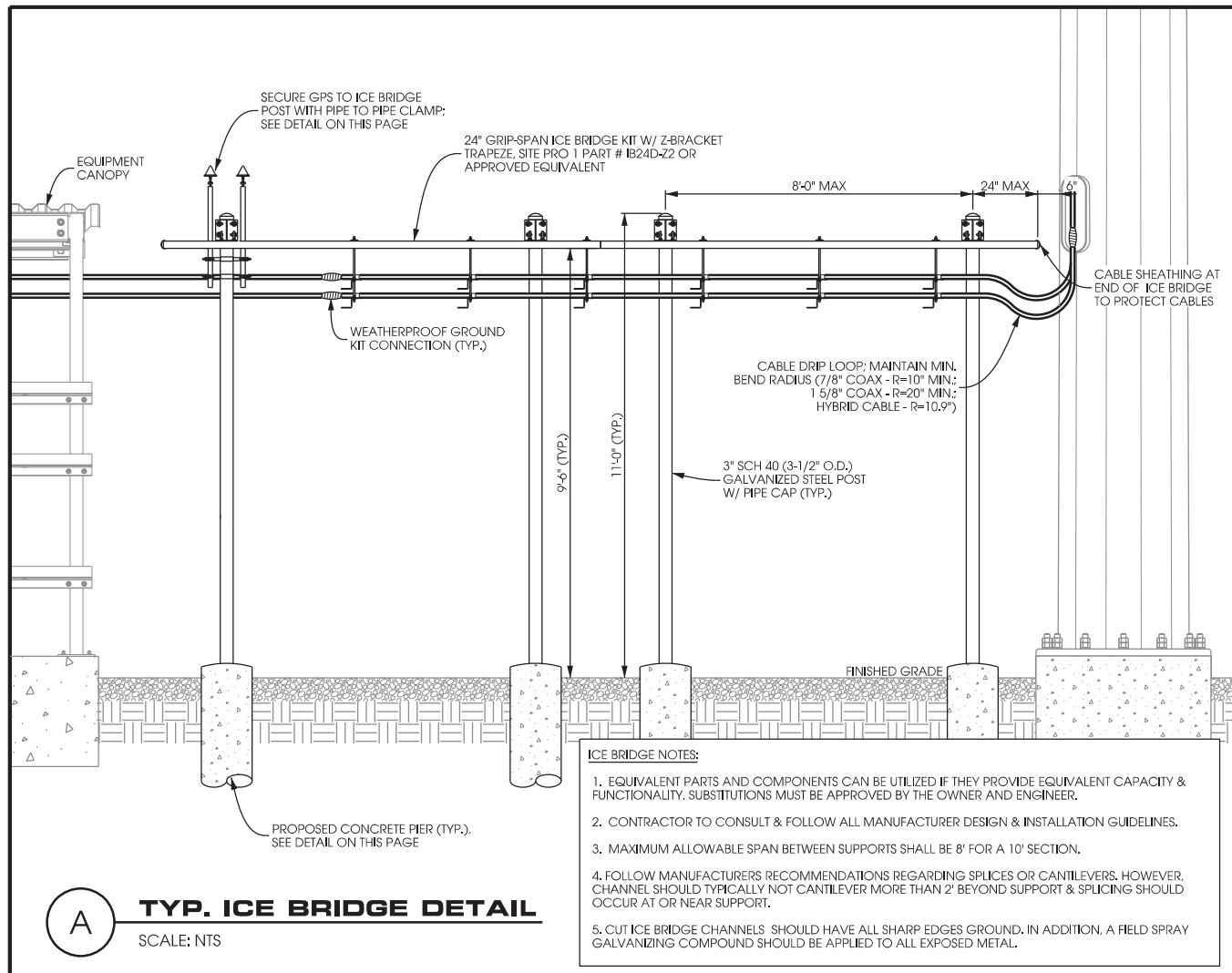
ANTENNA CONFIGURATION
EXCHANGE [#269139]
MC FARLAND, WISCONSIN

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

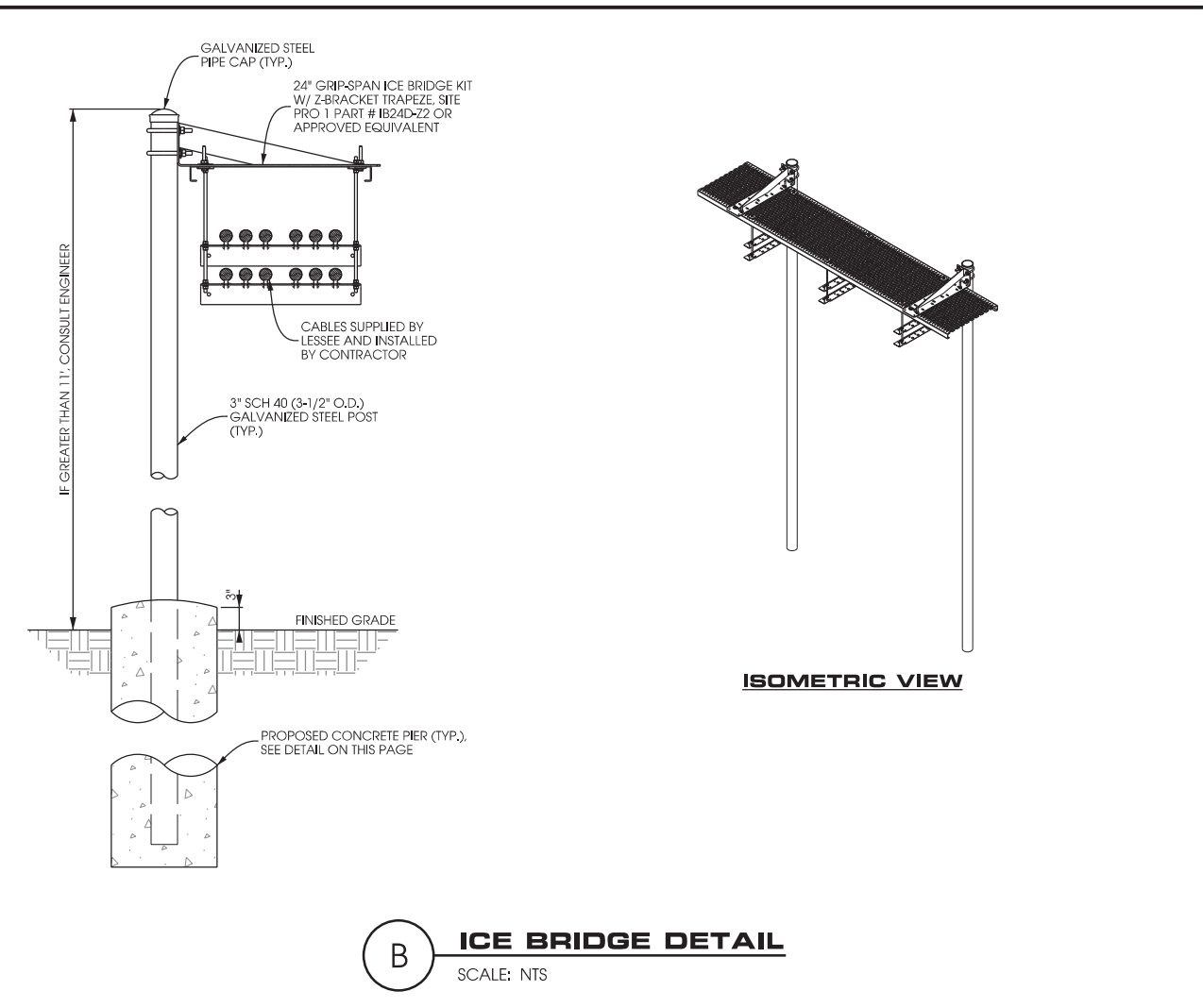
CHECKED BY:
 PCM
 PLOT DATE:
 6/7/2018
 PROJECT #:
 19747
 FILE NAME:
 VZW A-3.dgn

SHEET NUMBER:
VZW A-3

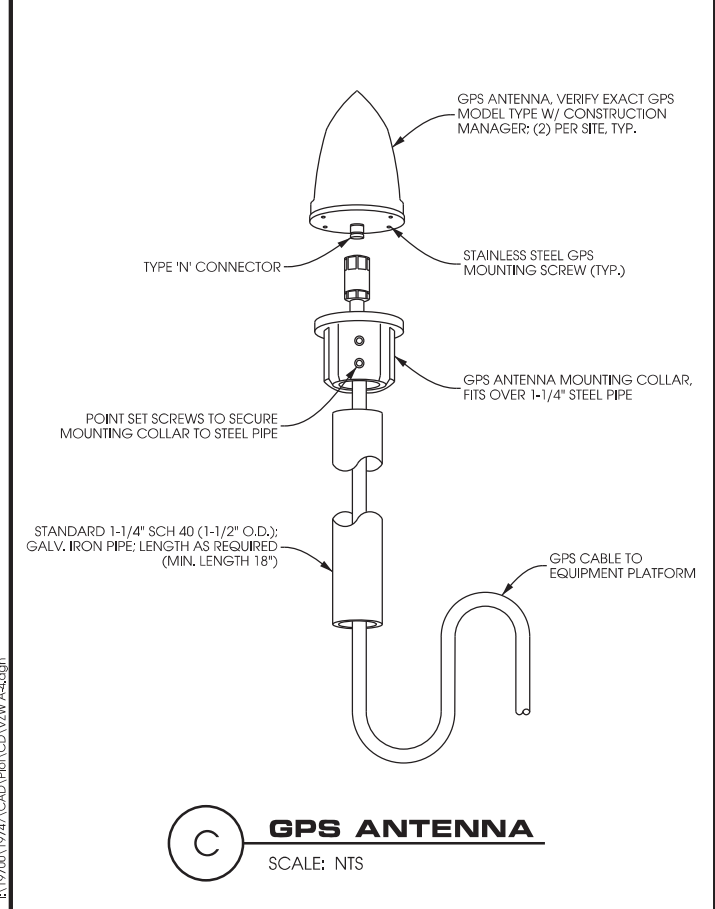


A TYP. ICE BRIDGE DETAIL
SCALE: NTS

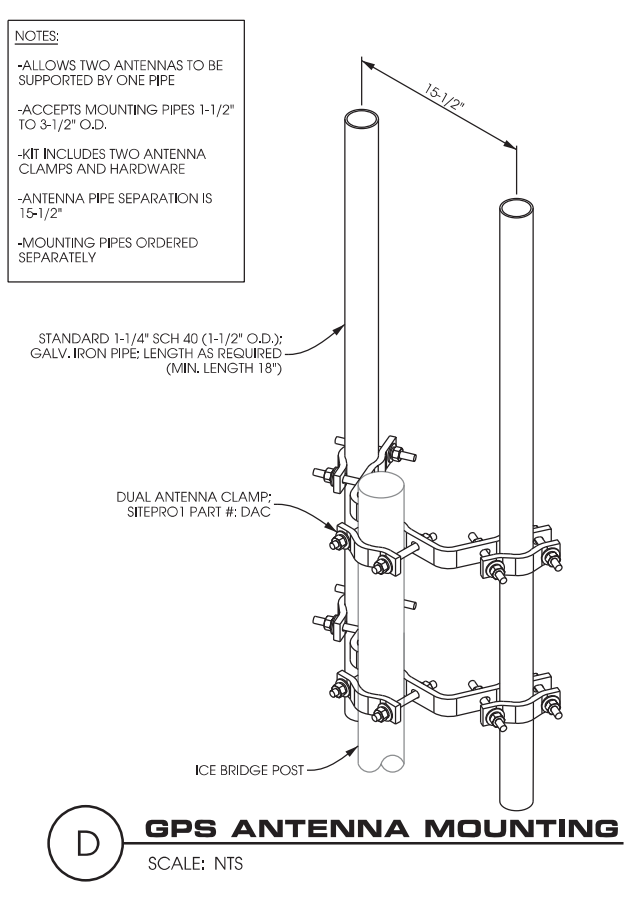
- ICE BRIDGE NOTES:**
- EQUIVALENT PARTS AND COMPONENTS CAN BE UTILIZED IF THEY PROVIDE EQUIVALENT CAPACITY & FUNCTIONALITY. SUBSTITUTIONS MUST BE APPROVED BY THE OWNER AND ENGINEER.
 - CONTRACTOR TO CONSULT & FOLLOW ALL MANUFACTURER DESIGN & INSTALLATION GUIDELINES.
 - MAXIMUM ALLOWABLE SPAN BETWEEN SUPPORTS SHALL BE 8' FOR A 10' SECTION.
 - FOLLOW MANUFACTURERS RECOMMENDATIONS REGARDING SPLICES OR CANTILEVERS. HOWEVER, CHANNEL SHOULD TYPICALLY NOT CANTILEVER MORE THAN 2' BEYOND SUPPORT & SPLICING SHOULD OCCUR AT OR NEAR SUPPORT.
 - CUT ICE BRIDGE CHANNELS SHOULD HAVE ALL SHARP EDGES GROUND. IN ADDITION, A FIELD SPRAY GALVANIZING COMPOUND SHOULD BE APPLIED TO ALL EXPOSED METAL.



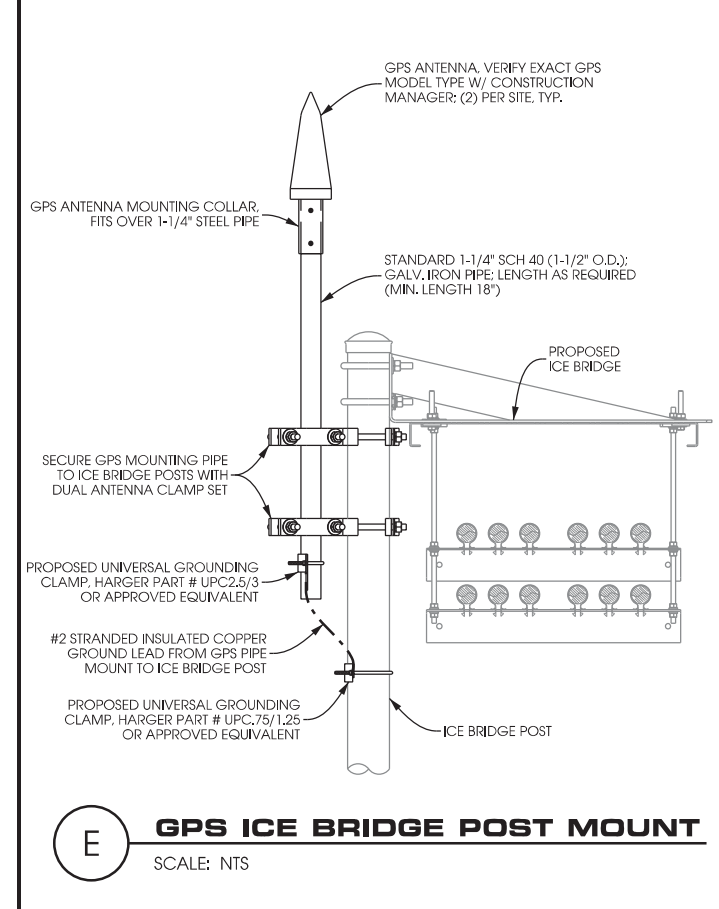
B ICE BRIDGE DETAIL
SCALE: NTS



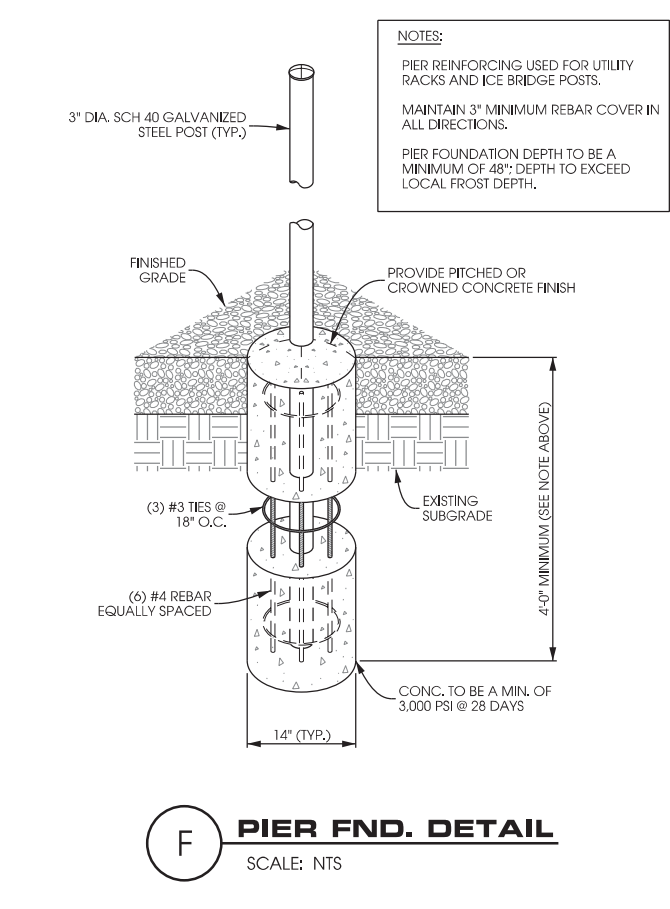
C GPS ANTENNA
SCALE: NTS



D GPS ANTENNA MOUNTING
SCALE: NTS



E GPS ICE BRIDGE POST MOUNT
SCALE: NTS



F PIER FND. DETAIL
SCALE: NTS

**ICE BRIDGE DETAILS
EXCHANGE [#269139]
MCFARLAND, WISCONSIN**

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV. 6 - 10/26/16	APK
CD 90's REV. 7 - 01/03/17	APK
CD 90's REV. 8 - 06/07/18	CV

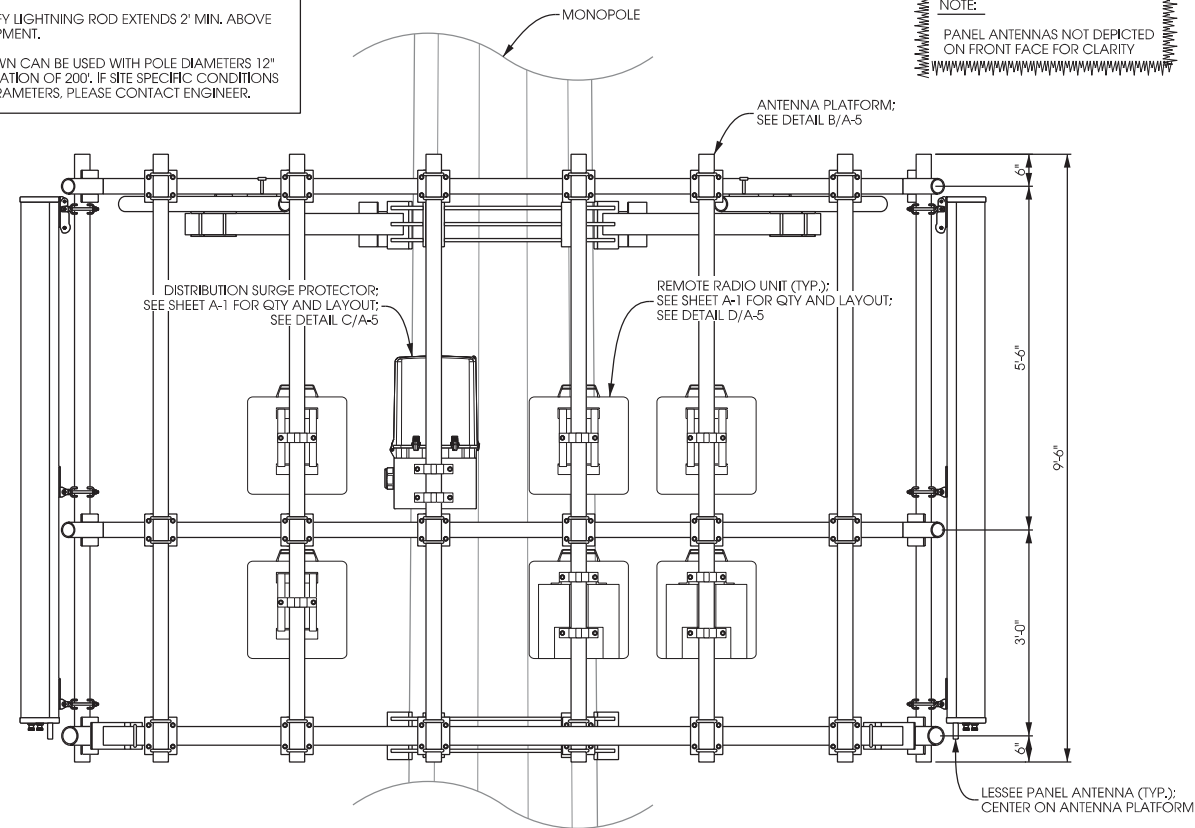
STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

STAMPED FINAL DWGS:	
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CHECKED BY:
PCM
PLOT DATE:
6/7/2018
PROJECT #:
19747
FILE NAME:
VZW A-4.dgn

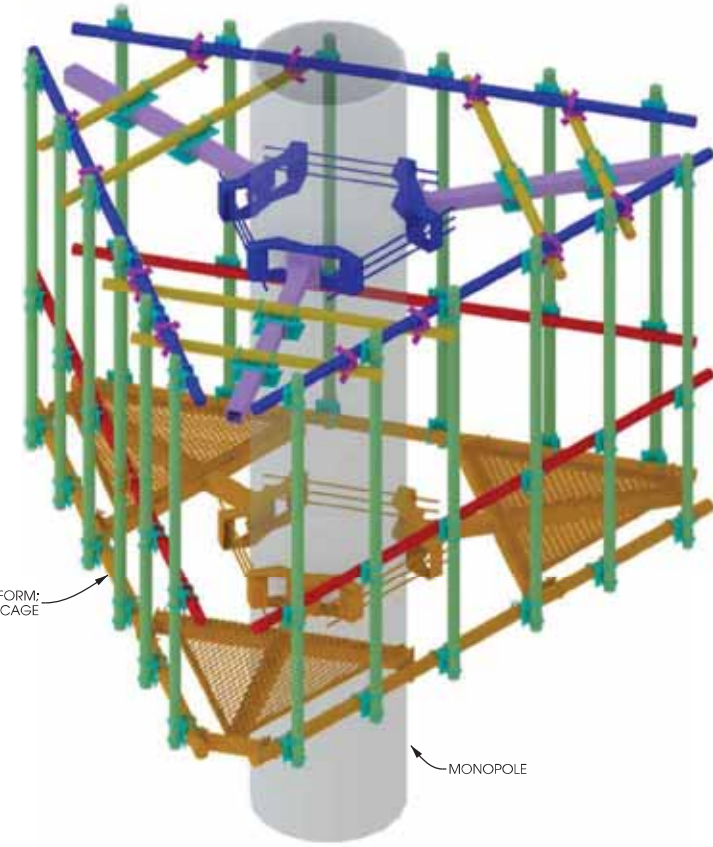
SHEET NUMBER:
VZW A-4

NOTES:
 CONTRACTOR TO VERIFY LIGHTNING ROD EXTENDS 2' MIN. ABOVE ALL ANTENNAS & EQUIPMENT.
 CAGE DESIGN AS SHOWN CAN BE USED WITH POLE DIAMETERS 12" TO 38" AND UP TO ELEVATION OF 200'. IF SITE SPECIFIC CONDITIONS ARE OUTSIDE THESE PARAMETERS, PLEASE CONTACT ENGINEER.



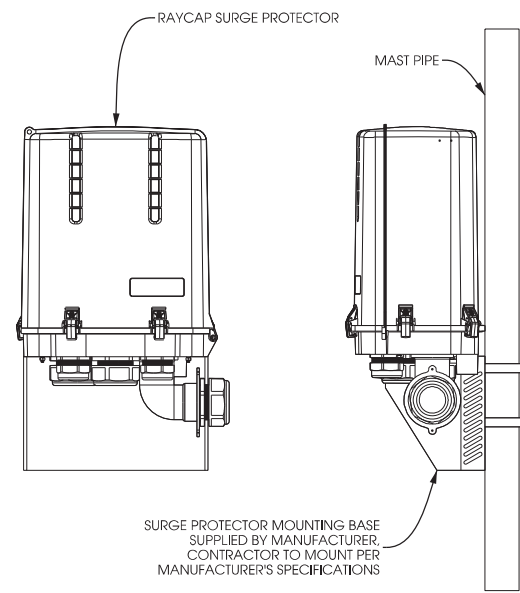
A ANTENNA & EQUIPMENT MOUNTING
 SCALE: NTS

NOTE:
 PANEL ANTENNAS NOT DEPICTED ON FRONT FACE FOR CLARITY

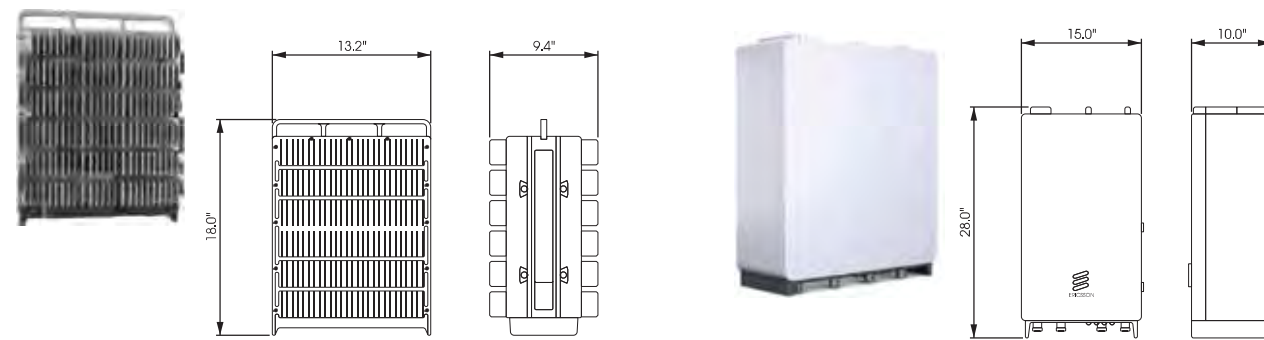


B ANTENNA PLATFORM
 SCALE: NTS

DISTRIBUTION SURGE PROTECTOR:
 RAYCAP PART # RCMDC-3315-PF-48
 DC SURGE PROTECTION FOR RRH/INTEGRATED ANTENNA RADIO HEAD TOWER, BASE, ROOFTOP, & ROOFTOP DISTRIBUTION MODELS
 DIMENSIONS: 19.18" x 15.73" x 10.25" (H x W x D)
 WEIGHT: 32 LBS (14.51 kg)



C DISTRIBUTION SURGE PROTECTOR
 SCALE: NTS



REMOTE RADIO UNIT:
 ERICSSON PART # RRU4449
 DIMENSIONS: 18.0" x 13.2" x 9.4" (H x W x D)
 WEIGHT: 70 LBS

REMOTE RADIO UNIT:
 ERICSSON PART # RRU8843
 DIMENSIONS: 28.0" x 15.0" x 10.0" (H x W x D)
 WEIGHT: 85 LBS

D REMOTE RADIO UNITS
 SCALE: NTS

**ANTENNA/EQUIP. MOUNTING EXCHANGE [#269139]
 MCFARLAND, WISCONSIN**

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

STAMPED FINAL DWGS:	
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CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW A-5.dgn

SHEET NUMBER:
VZW A-5

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NOTE:
FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT).
PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.

UTILITY PROVIDER INFO:

ELECTRIC PROVIDER: ALLIANT ENERGY
CONTACT: BRADLEY NOACK
PHONE: 608.877.1634
E-MAIL: Bradley.Noack@alliantenergy.com
WORK ORDER # (VERIZON & SBA): 3967858

FIBER OPTIC PROVIDER: TBD



**UTILITY PLAN
EXCHANGE [#269139]
MCFARLAND, WISCONSIN**

SHEET TITLE:

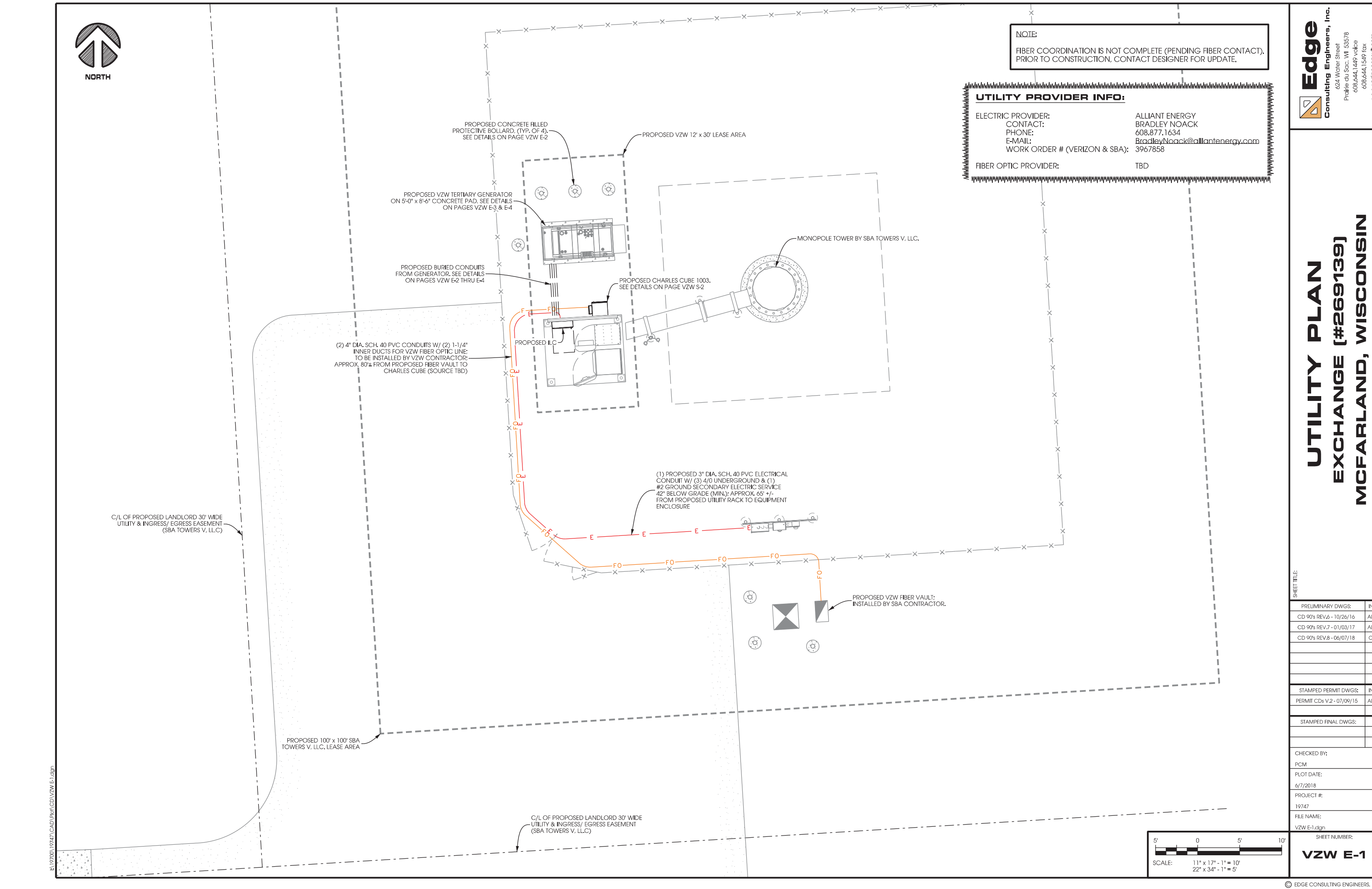
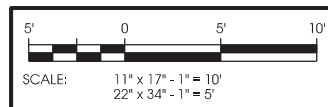
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CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

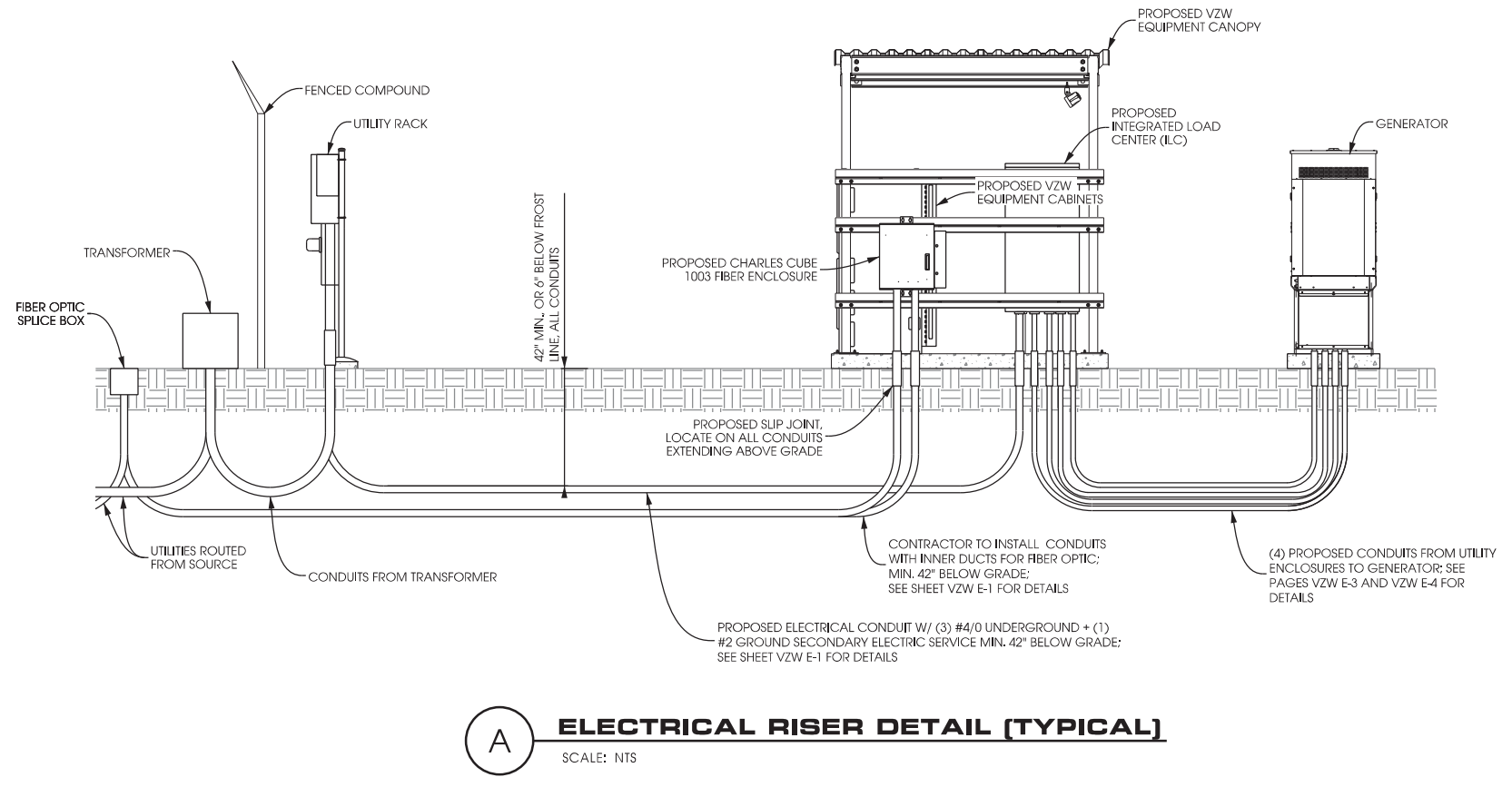
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CHECKED BY:
PCM
PLOT DATE:
6/7/2018
PROJECT #:
19747
FILE NAME:
VZW E-1.dgn

SHEET NUMBER:
VZW E-1

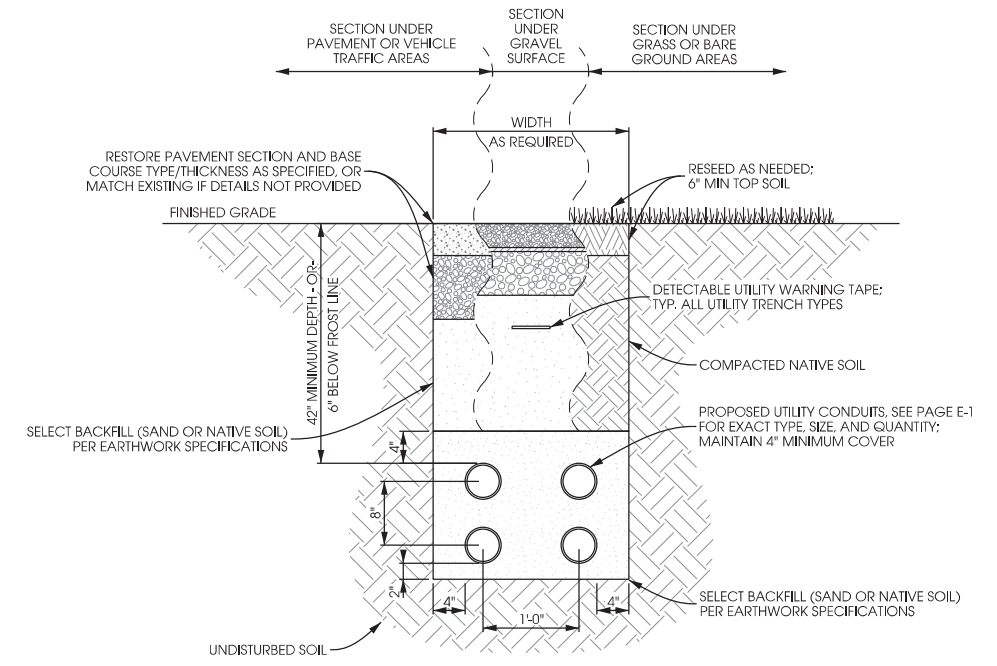


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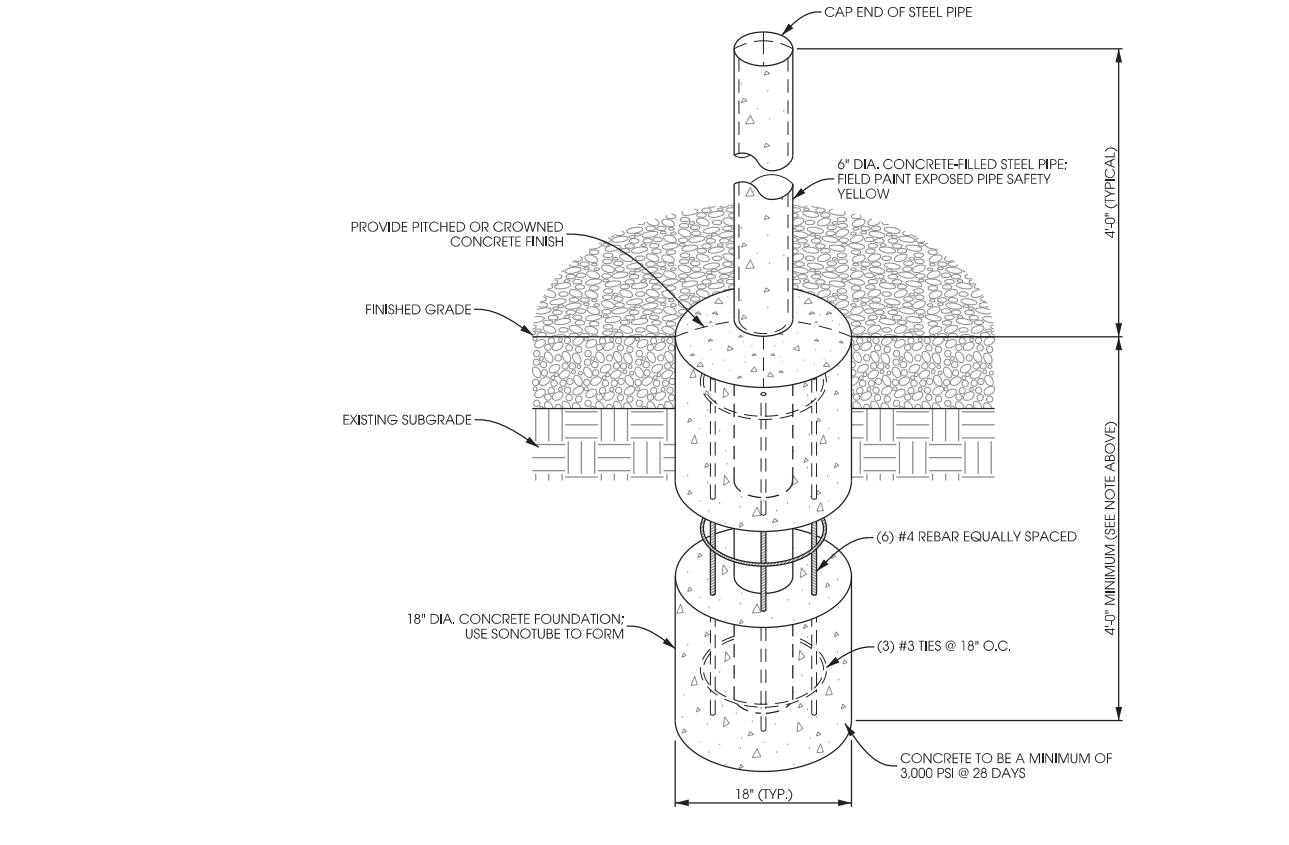


A ELECTRICAL RISER DETAIL [TYPICAL]
SCALE: NTS

NOTES:
UTILITY CONDUITS TO BE BURIED A MINIMUM DEPTH OF 42" BELOW GROUND LEVEL OR 6" BELOW THE FROST LINE.
CONDUIT TYPE, SIZE, AND QUANTITY SHOWN ON PAGE E-1.



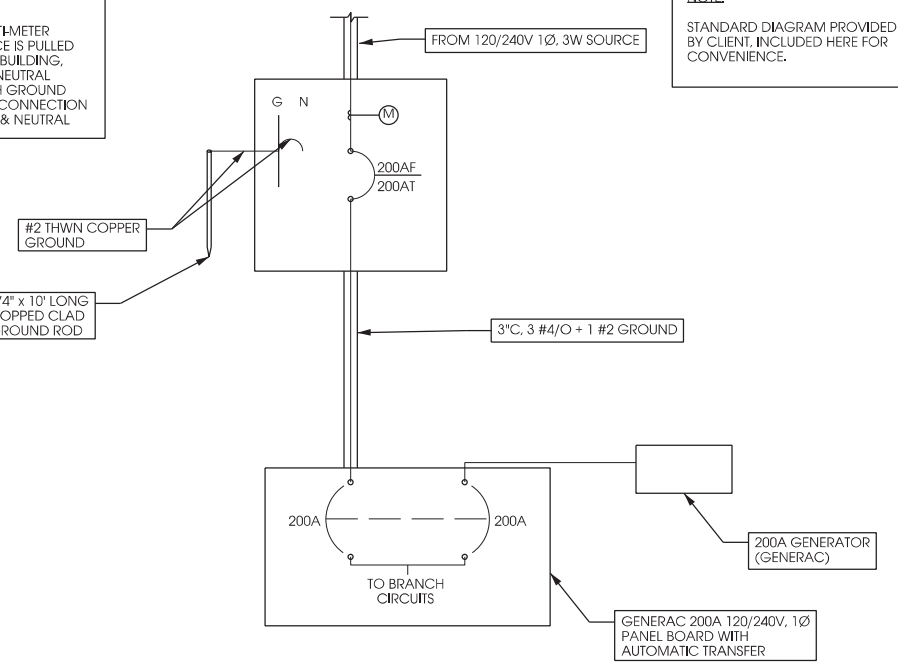
B UTILITY TRENCH DETAIL
SCALE: NTS



C PIPE BOLLARD DETAIL
SCALE: NTS

NOTES:
MAINTAIN 3" MINIMUM REBAR COVER IN ALL DIRECTIONS.
PIER FOUNDATION DEPTH TO BE A MINIMUM OF 48"; DEPTH TO EXCEED LOCAL FROST DEPTH.

IF LESSEE SERVICE IS METERED AT A MULTI-METER GANG OR IF SERVICE IS PULLED FROM AN EXISTING BUILDING, DO NOT GROUND NEUTRAL TERMINAL TO EARTH GROUND AND DISCONNECT CONNECTION BETWEEN GROUND & NEUTRAL



D ELECTRIC LINE DIAGRAM & NOTES
SCALE: NTS

NOTE:
STANDARD DIAGRAM PROVIDED BY CLIENT. INCLUDED HERE FOR CONVENIENCE.

**UTILITY DETAILS
EXCHANGE [#269139]
MCFARLAND, WISCONSIN**

SHEET TITLE:

PRELIMINARY DWGS:	INT:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INT:
PERMIT CDs V.2 - 07/09/15	APK

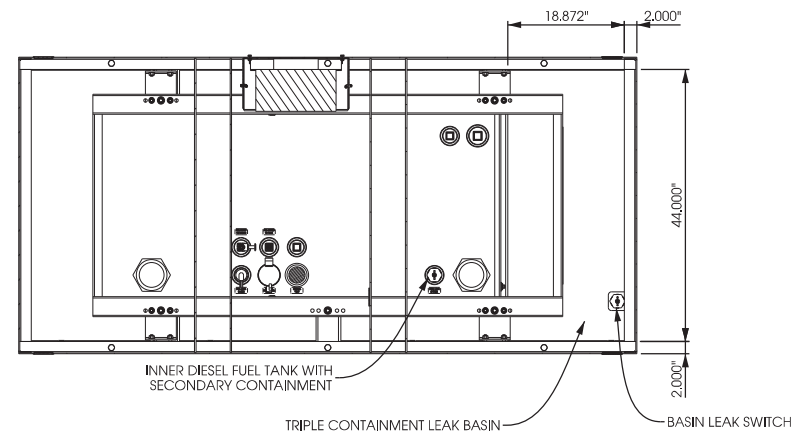
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CHECKED BY:	
PCM	
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW E-2.dgn

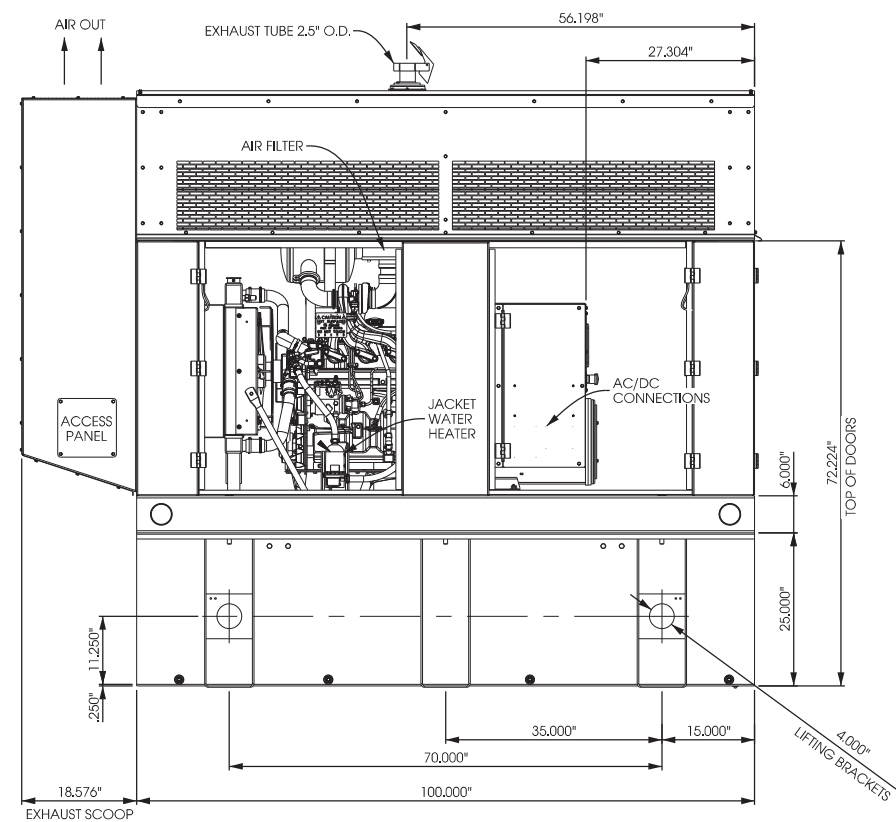
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VZW E-2

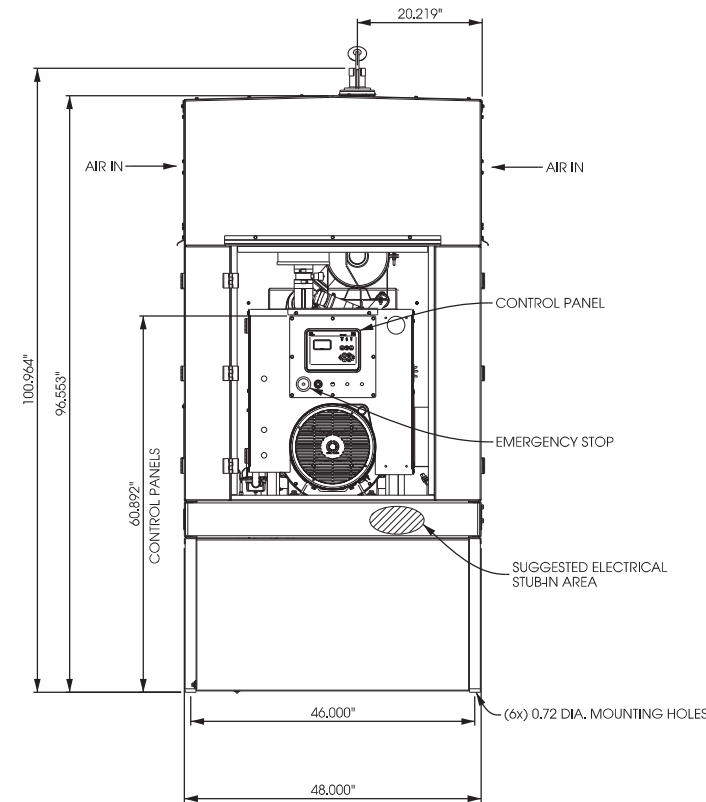
- NOTES:
1. APPROXIMATE WEIGHT (WET): 3920#
 2. FUEL TANK: UL LISTED DOUBLE WALL WITH 125% CONTAINMENT
 3. FUEL TANK CAPACITY: 210 GALLONS
 4. ENCLOSURE: SINGLE SIDE SERVICE RIGHT SIDE, STEEL, 190 MPH WIND RATED
 5. SOUND LEVEL: dB(A) AT m
 6. VERIZON PART NUMBER: DG03RJ096V1M22



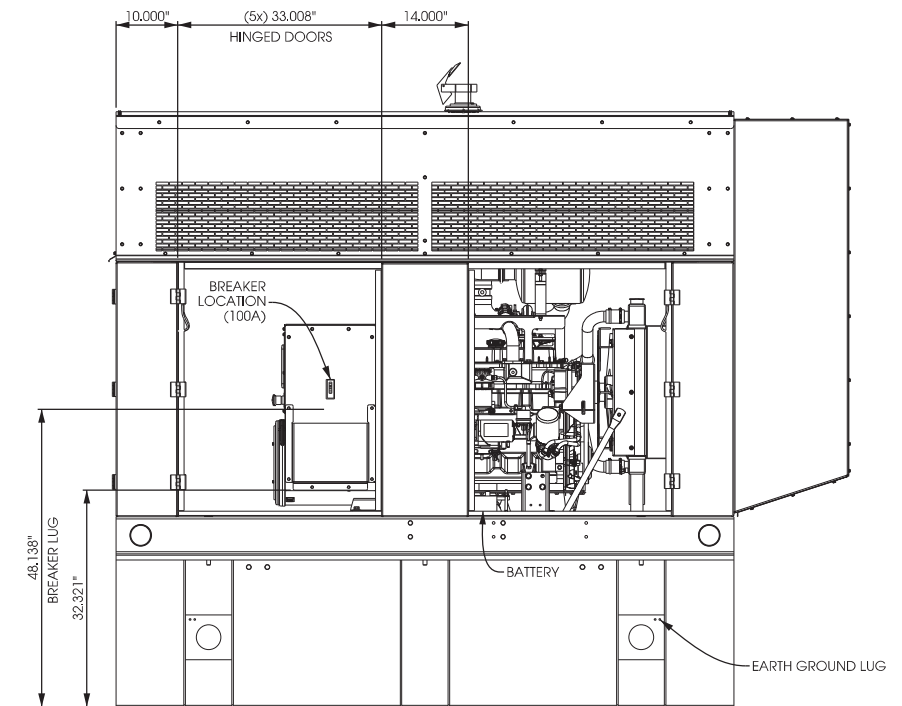
TOP OR PLAN VIEW



LEFT SIDE VIEW



REAR VIEW



RIGHT SIDE VIEW

A

ONSITE ENERGY GENERATOR - 30KW

SCALE: NTS

**GENERATOR DETAILS
 EXCHANGE [#269139]
 MCFARLAND, WISCONSIN**

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

STAMPED FINAL DWGS:

CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW E-3.dgn

SHEET NUMBER:

VZW E-3

SHEET TITLE:

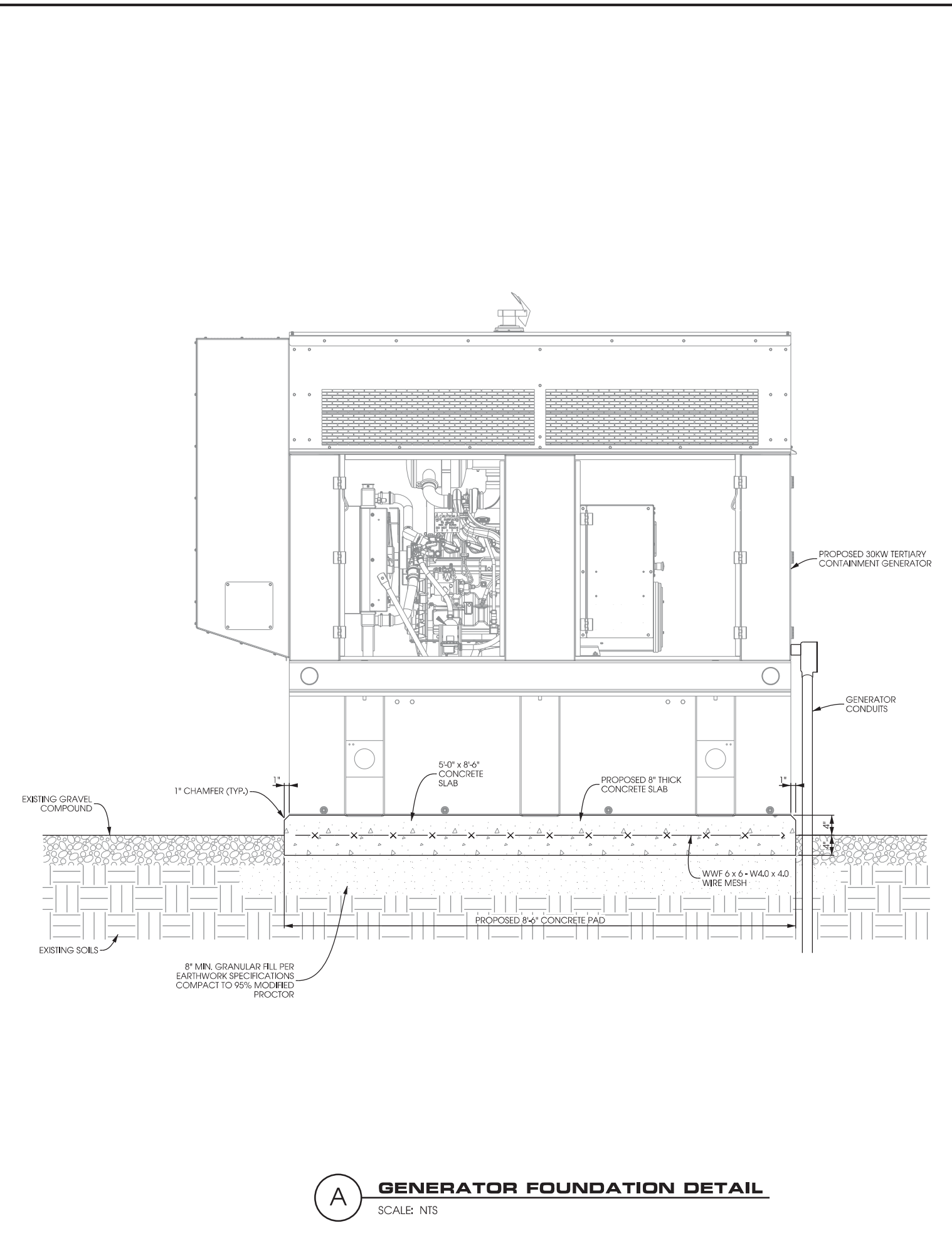
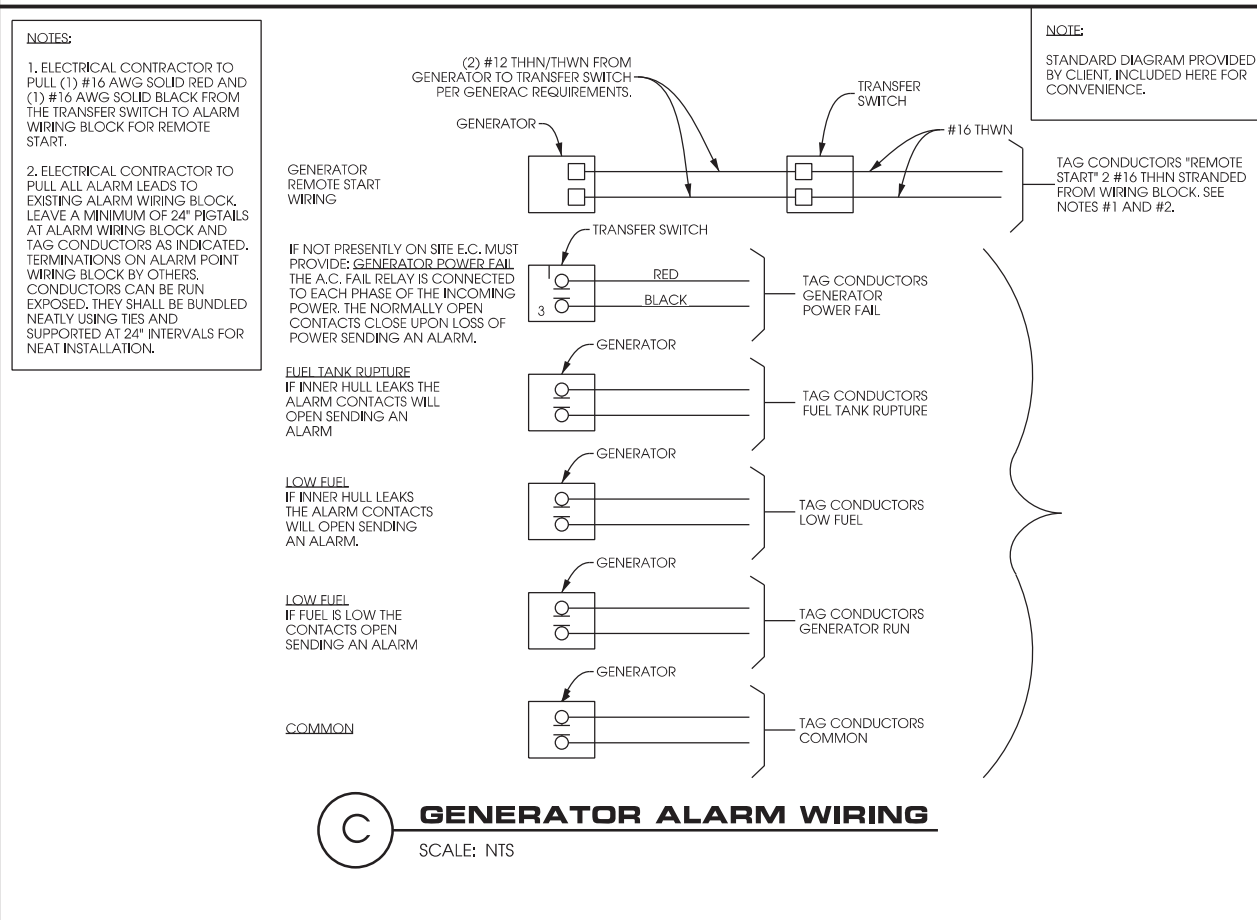
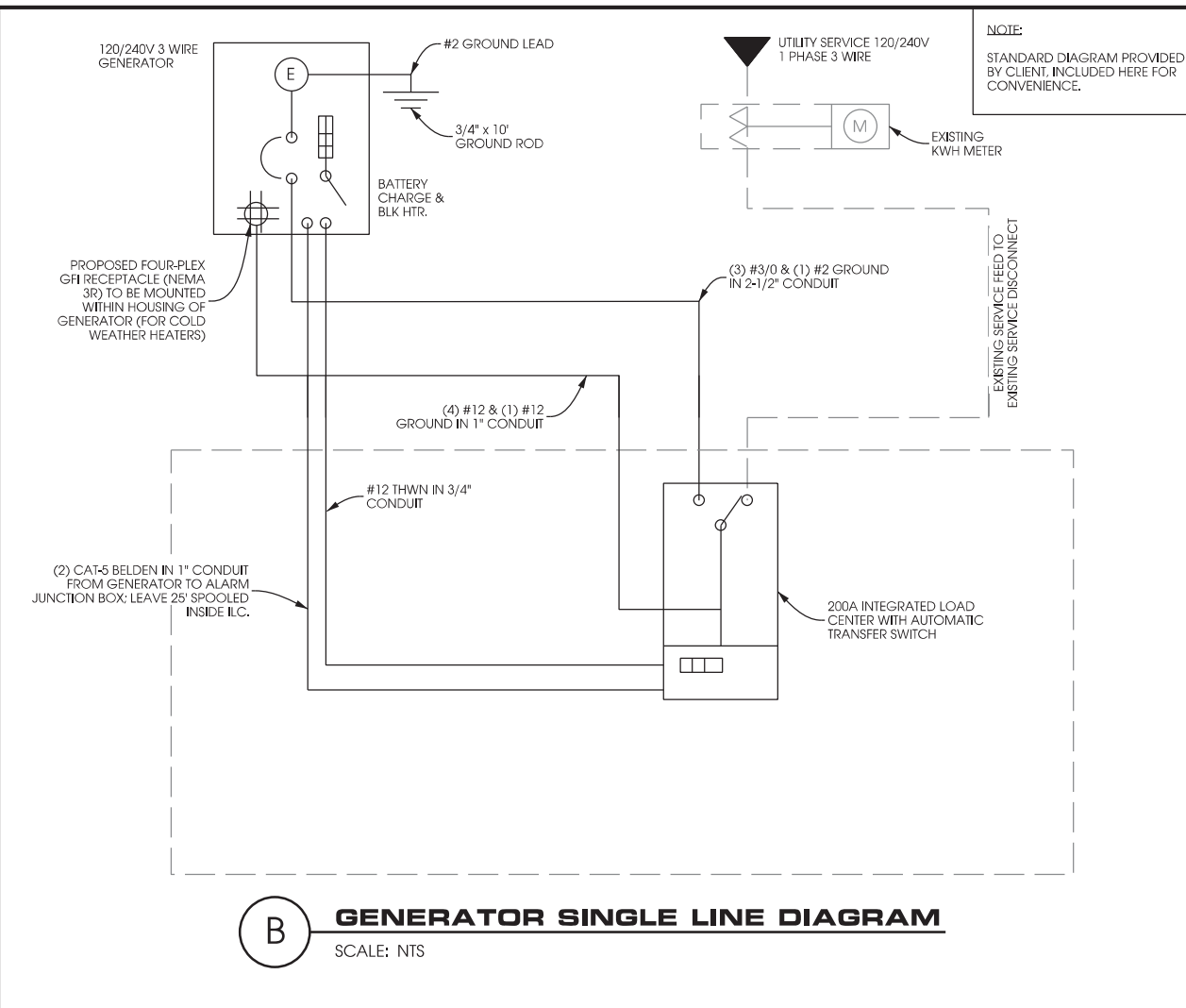
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CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

STAMPED FINAL DWGS:







CHECKED BY:
PCM
PLOT DATE:
6/7/2018
PROJECT #:
19747
FILE NAME:
VZW E-4.dgn

SHEET NUMBER:




















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LEGEND

-  INSPECTION WELL
-  5/8" DIA. x 10'-0" LONG, STEEL CLAD W/ A PURE COPPER JACKET (10' MAX SEPARATION)
-  EXOTHERMIC CONNECTION (CADWELD OR EQUIVALENT)
-  MECHANICAL CONNECTION (BURNDY OR EQUIVALENT)
-  GROUND LEAD
-  18" X 18" X .032" THK COPPER PLATE (10' MAX SEPARATION)



KEYED GROUNDING NOTES:

-  EQUIPMENT PAD GROUND RING, #2 SOLID BARE-TINNED COPPER GROUND LEAD MIN. 4'-6" BURY (TYP.) OR 6" BELOW FROST WHICH EVER IS GREATER, GROUND RODS SPACED @ 8' O.C.
-  MAINTAIN 2-FOOT CLEARANCE FROM ALL STRUCTURES
-  GROUND ICE BRIDGE POSTS WITH #2 SOLID BARE TINNED COPPER LEADS
-  4" x 20" x 1/4" COPPER GROUND BAR FOR CABLE GROUND KITS, NON-ISOLATED WITH (2) #2 SOLID BARE TINNED COPPER GROUND LEADS TO GROUND RING
-  GROUND CABLES TO GROUND BAR AT ANTENNA ELEVATION, GROUND ANTENNA GROUND BAR TO TOWER STEEL
-  5/8" DIAMETER x 10'-0" LONG COPPER CLAD GROUND ROD WITH EXOTHERMIC CONNECTION, 8' SPACING, TYP.
-  BOND PROPOSED EQUIPMENT GROUND RING TO TOWER GROUND RING WITH (2) #2 SOLID BARE TINNED COPPER GROUND LEADS, EXOTHERMIC CONNECTION
-  TOWER GROUND RING
-  FENCE POST GROUND LEAD, #2 SOLID BARE TINNED COPPER, CADWELD CONNECTION, GROUND FENCE POSTS WITHIN 6-FEET OF EQUIPMENT PAD
-  GROUND ILC, ALARM JUNCTION BOX AND FIBER JUNCTION BOX
-  GROUND GENERATOR TO GROUND RING WITH #2 SOLID BARE TINNED COPPER LEADS
-  GROUND CANOPY SUPPORT COLUMNS TO GROUND RING WITH #2 SOLID BARE TINNED COPPER LEADS
-  GROUND EQUIPMENT CABINETS TO GROUND RING WITH #2 SOLID BARE TINNED COPPER LEADS
-  MASTER GROUND BAR
-  INSPECTION WELL (TYP.); SEE PAGE VZW G-3 FOR DETAIL
-  GROUND GPS TO ICE BRIDGE POST; SEE PAGE VZW A-4 FOR DETAIL
-  GROUND FOR CONCRETE FOUNDATION REBAR

GROUNDING ELECTRODE SYSTEM NOTES:

1. CONNECTIONS: ALL CONNECTIONS SHALL BE EXOTHERMICALLY CONNECTED UNLESS NOTED OTHERWISE. CONTRACTOR TO FOLLOW ALL MANUFACTURER'S GUIDELINES & RECOMMENDATIONS.
2. ALL ELECTRICAL AND MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTI-OXIDANT COMPOUND APPLIED TO CONNECTION.
3. FENCE/GATE: GROUND FENCE POSTS WITHIN 6-FEET OF ENCLOSURE AND 25-FEET OF TOWER. GROUND EACH GATE POST AND CORNER POST. GROUND CONNECTIONS TO FENCE POSTS SHALL BE MADE BY THE EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
4. CONTRACTOR SHALL SUBMIT THE GROUND RESISTANCE TEST REPORT AS FOLLOWS:
 - A. ONE (1) COPY TO THE OWNER REPRESENTATIVE
 - B. ONE (1) COPY TO THE ENGINEER
 - C. ONE (1) COPY TO KEEP INSIDE EQUIPMENT ENCLOSURE

NOTE:

- THE GROUNDING SHALL BE TESTED PRIOR TO FINAL BACKFILLING. DOCUMENTATION OF 5 OHM OR LESS RESISTANCE TO BE PROVIDED TO PROJECT MANAGER.
- ALL NON-INSULATED GROUND LEADS EXTENDING ABOVE GROUND LEVEL SHALL BE ENCASED IN 3/4" PVC & SEALED WITH SILICONE. PVC SHALL BE MIN. 16" INTO EARTH & EXTEND MIN. 6" ABOVE GROUND.
- INSTALL 18" X 18" COPPER PLATES IN LIEU OF GROUND RODS WHEN INSTALLING OVER TOWER FOUNDATION OR WHERE DRIVING GROUND RODS IS NOT FEASIBLE.

GROUNDING NOTE:

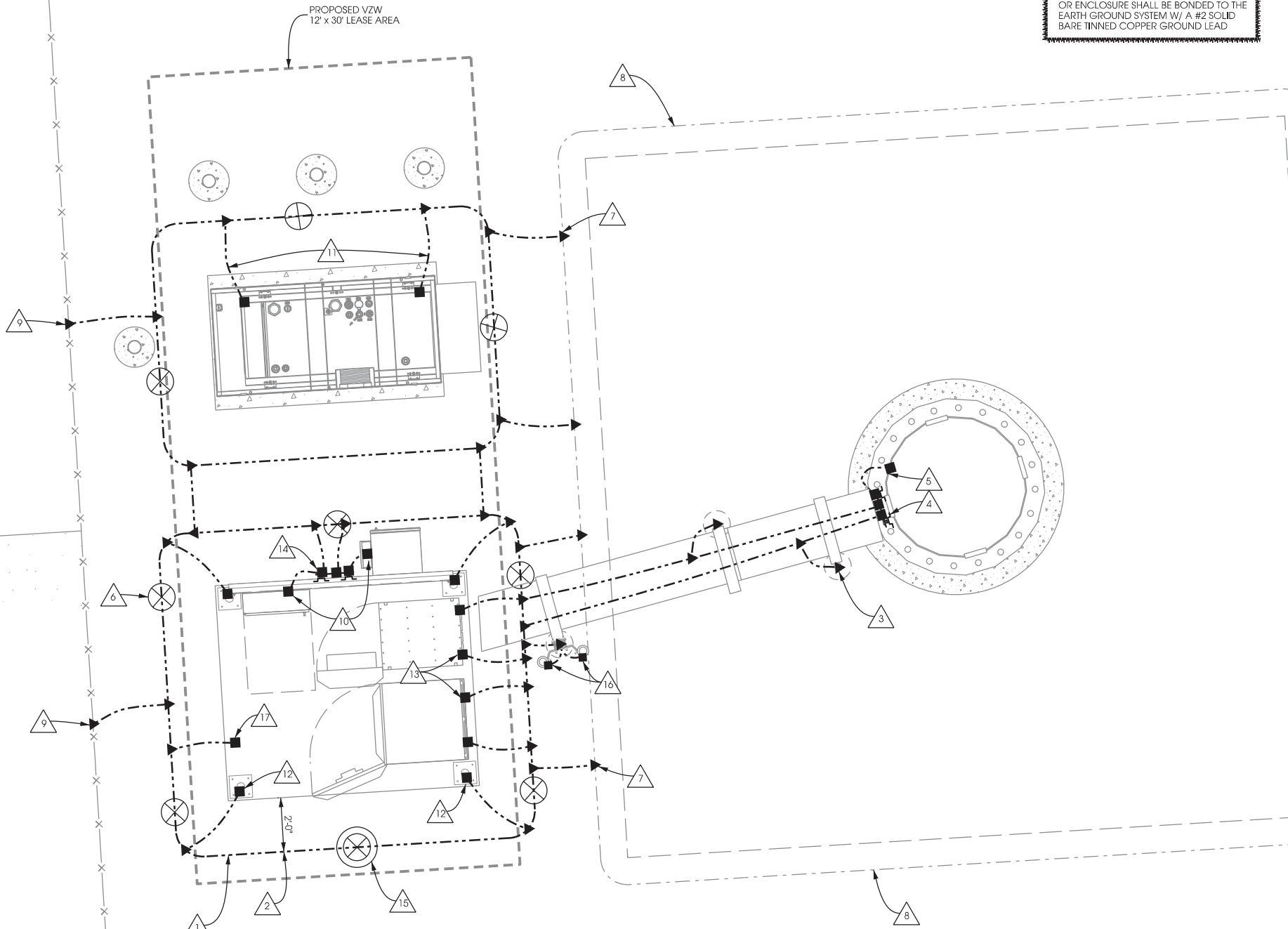
THIS GROUNDING PLAN WAS PREPARED PRIOR TO THE COMPLETION OF THE GEOTECHNICAL REPORT AND RECEIPT OF THE TOWER FOUNDATION DESIGN. THE LAYOUT OF RADIALS AND GROUND RODS ARE APPROXIMATE IN NATURE AND MAY NEED TO BE ADJUSTED IN THE FIELD. GROUND RODS SHOULD NOT EXTEND THROUGH THE TOWER FOUNDATION OR OTHER STRUCTURAL ELEMENTS WITHOUT PRIOR APPROVAL FROM THE DESIGN ENGINEER. IN ADDITION, SOME ADJUSTMENT TO THE GROUND METHOD MAY BE REQUIRED IN INSTANCES WHERE SHALLOW BEDROCK OR OTHER UNIQUE CIRCUMSTANCES ARE ENCOUNTERED. CONTRACTOR SHALL CONSULT GEOTECHNICAL REPORT FOR FURTHER DESIGN AND CONSTRUCTION RECOMMENDATIONS.

NOTE:

- TOP OF EACH GROUND ROD SHALL EXTEND NO MORE THAN 6" ABOVE BOTTOM OF TRENCH

NOTE:

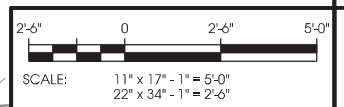
ANY CONDUCTIVE UTILITY JUNCTION BOX OR ENCLOSURE SHALL BE BONDED TO THE EARTH GROUND SYSTEM W/ A #2 SOLID BARE TINNED COPPER GROUND LEAD



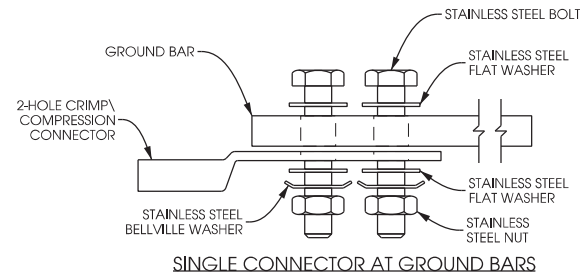
Edge Consulting Engineers, Inc.
 624 Water Street
 Profile du Soc. WI 53578
 608.644.1449 voice
 608.644.1549 fax
 www.edgeconsulting.com

**GROUNDING PLAN
 EXCHANGE [#269139]
 MCFARLAND, WISCONSIN**

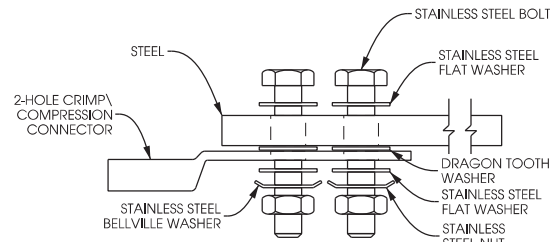
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PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV
STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK
STAMPED FINAL DWGS:	
CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW G-1.dgn
SHEET NUMBER:	
VZW G-1	



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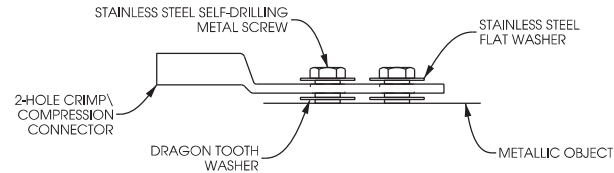


SINGLE CONNECTOR AT GROUND BARS



SINGLE CONNECTOR AT STEEL OBJECTS

- NOTES**
- ALL OUTDOOR HARDWARE (BOLTS, SCREWS, NUTS, WASHERS) SHALL BE 18-8 STAINLESS STEEL TYPE GRADE. INDOORS, GRADE 5 STEEL HARDWARE MAY BE USED.
 - CHOOSE BOLT LENGTH TO ALLOW THE EXPOSURE OF AT LEAST TWO THREADS.
 - BACK TO BACK LUG CONNECTIONS ARE AN ACCEPTABLE PRACTICE WHEN BONDED TO A GROUND BAR OR STEEL OBJECTS.
 - AT CONNECTIONS MADE TO STEEL OR ANY OTHER DISSIMILAR METALS, A DRAGON TOOTH WASHER MEETING VZW PRACTICES SHALL BE USED BETWEEN THE CONNECTOR AND STEEL.
 - IF NOT USING DRAGON TOOTH WASHERS, THOROUGHLY REMOVE A SECTION OF PAINT OR COATING APPROXIMATELY THE SAME SIZE AS CONNECTOR. REMOVE THE PAINT FROM SURFACE USING A DREMEL TYPE TOOL.
 - USE AN APPROVED ANTI-OXIDATION COMPOUND ON ALL GROUNDING CONNECTIONS. A COPPER COSMOLINE GREASE BASED COMPOUND (NO OXID) SHALL BE USED ON ALL COPPER TO COPPER CONNECTIONS. A ZINC BASED (GREY COLORED) COMPOUND SHALL BE USED ON ALL COPPER TO STEEL CONNECTIONS.
 - WHEN BONDING TO A METALLIC OBJECT WHERE ACCESS IS LIMITED TO ONLY ONE SURFACE, DRILLING & TAPPING OR SELF DRILLING SCREWS ARE THE PREFERRED AND ACCEPTABLE MEANS OF CONNECTION. SHEET METAL SCREWS SHALL NOT BE USED.

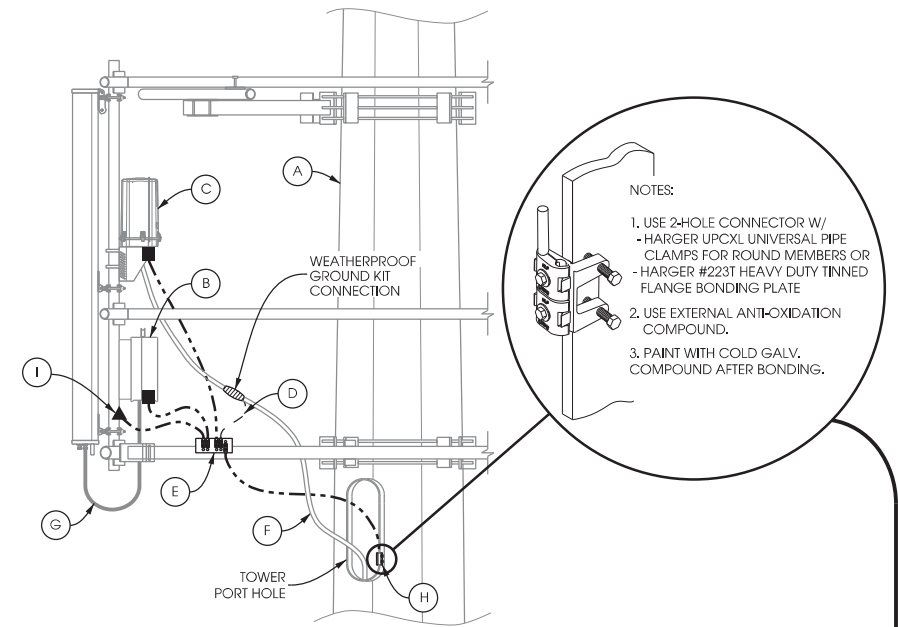


SINGLE CONNECTOR AT METALLIC/STEEL OBJECTS

A LUG DETAIL
SCALE: NTS

KEYED GROUNDING NOTES:

- (A) MONOPOLE TOWER
 - (B) REMOTE RADIO UNIT: GROUND WITH #2 STRANDED INSULATED GROUND LEAD
 - (C) DISTRIBUTION SURGE PROTECTOR: GROUND WITH #2 STRANDED INSULATED GROUND LEAD
 - (D) # 6 INSULATED TINNED COPPER CABLE GROUND KITS TO GROUND BAR: COMMSCOPE PART # UG12158-1584-T OR APPROVED EQUIVALENT
 - (E) UPPER ANTENNA GROUND BAR: MOUNT GROUND BAR DIRECTLY TO TOWER STEEL
 - (F) CABLE, MAINTAIN MINIMUM BEND RADIUS
 - (G) JUMPER, MAINTAIN MINIMUM BEND RADIUS
 - (H) CLAMP #2 STRANDED INSULATED COPPER GROUND LEAD TO TOWER STEEL W/ HARGERS HEAVY DUTY TINNED FLANGE BONDING PLANT(P/N# 223T), OR APPROVED EQUIVALENT
 - (I) CADWELD #2 STRANDED INSULATED COPPER GROUND LEAD TO ANTENNA MAST PIPE
- ** ALL GROUND LEADS TO BE ROUTED IN A DOWNWARD FASHION.



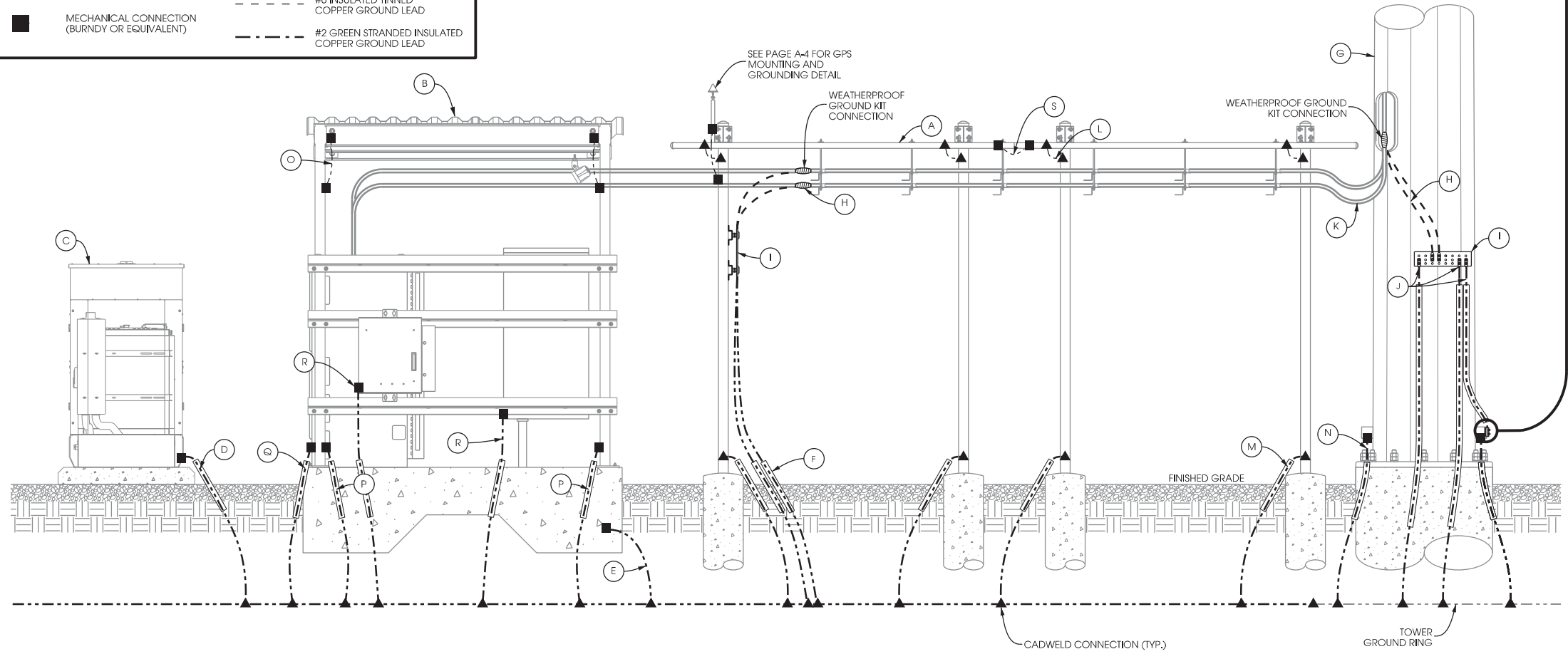
B ANTENNA LEVEL GROUNDING DETAILS
SCALE: NTS

KEYED GROUNDING NOTES:

- (A) ICE BRIDGE
- (B) EQUIPMENT CANOPY
- (C) BACKUP GENERATOR
- (D) (2) #2 SOLID BARE TINNED COPPER GROUND LEADS BETWEEN GENERATOR AND EQUIPMENT GROUND RING THROUGH SEALED 1/2" CONDUIT
- (E) GROUND FOR FOUNDATION REBAR: SEE PAGE VZW G-3 FOR DETAIL
- (F) 1/2" DIA. PVC CONDUIT: EXTEND PVC CONDUIT 24" BELOW GRADE AND FILL WITH SILICONE (TYP.)
- (G) MONOPOLE TOWER
- (H) # 6 INSULATED TINNED COPPER CABLE GROUND KITS TO GROUND BAR: COMMSCOPE PART # UG12158-1584-T OR APPROVED EQUIVALENT
- (I) 4" x 20" x 1/4" TINNED, INSULATED, NON-ISOLATED COPPER GROUND BAR FOR GROUND KITS
- (J) PROVIDE (2) #2 SOLID BARE TINNED COPPER GROUND LEADS FROM LOWER TOWER GROUND BAR TO TOWER GROUND RING AND (1) #2 SOLID BARE TINNED COPPER GROUND LEAD FROM LOWER TOWER GROUND BAR TO TOWER STEEL. ALL LEADS TO BE ENCASED IN 1/2" SEALED CONDUIT
- (K) CABLES WITH DRIPLOOP INSTALLED BY ANTENNA CONTRACTOR. MAINTAIN MINIMUM BEND RADIUS
- (L) #2 SOLID BARE TINNED COPPER GROUND JUMPER BETWEEN ICE BRIDGE AND STEEL SUPPORT POST BY ANTENNA CONTRACTOR; ORIENT WITH HIGH SIDE TOWARDS TOWER
- (M) #2 SOLID BARE TINNED COPPER GROUND LEADS TO ICE BRIDGE POSTS IN 1/2" PVC CONDUIT
- (N) IF APPLICABLE: #2 SOLID BARE TINNED COPPER GROUND LEADS (4) FROM TOWER STEEL TO GROUND RING; USE GROUNDING TABS WHEN AVAILABLE
- (O) #2 TINNED COPPER GROUND LEAD BETWEEN EQUIPMENT CANOPY AND STEEL SUPPORT POST
- (P) #2 TINNED COPPER GROUND LEAD BETWEEN SUPPORT COLUMN AND EQUIPMENT GROUND RING THROUGH SEALED 1/2" CONDUIT
- (Q) EQUIPMENT CABINET GROUNDING: EXTEND (2) #2 SOLID BARE TINNED COPPER GROUND LEADS TO GROUND RING THROUGH SEALED 1/2" PVC CONDUITS
- (R) #2 TINNED COPPER GROUND LEAD BETWEEN UTILITY ENCLOSURES AND EQUIPMENT GROUND RING THROUGH SEALED 1/2" CONDUIT
- (S) #2 GREEN STRANDED INSULATED COPPER GROUND LEAD WITH 2-HOLE LUGS BETWEEN ICE BRIDGE SECTIONS

LEGEND

- ▲ EXOTHERMIC CONNECTION (CADWELD OR EQUIVALENT)
- MECHANICAL CONNECTION (BURNDY OR EQUIVALENT)
- #2 SOLID BARE TINNED COPPER GROUND LEAD
- #6 INSULATED TINNED COPPER GROUND LEAD
- #2 GREEN STRANDED INSULATED COPPER GROUND LEAD



C GROUND LEVEL GROUNDING DETAILS
SCALE: NTS

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

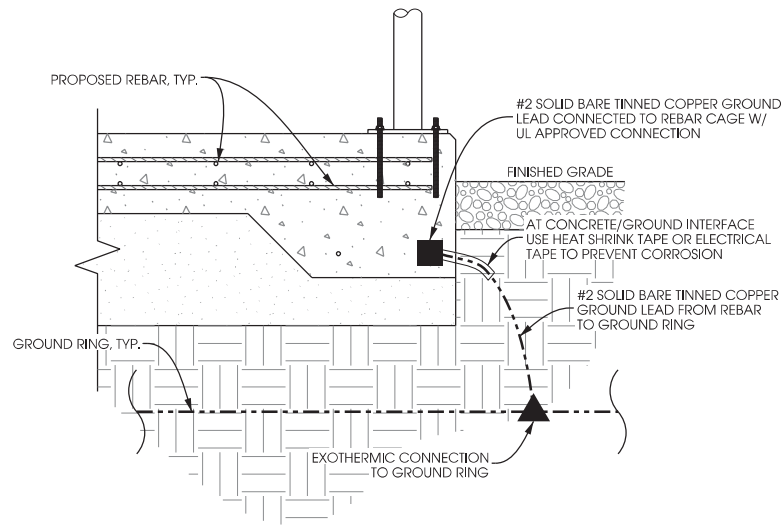
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CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW G-2.dgn

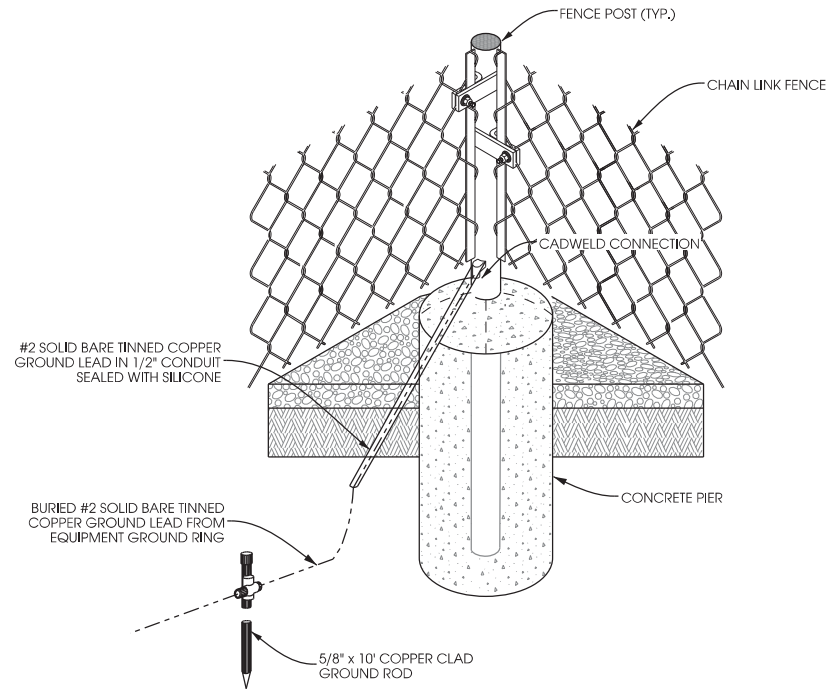
SHEET NUMBER:

VZW G-2

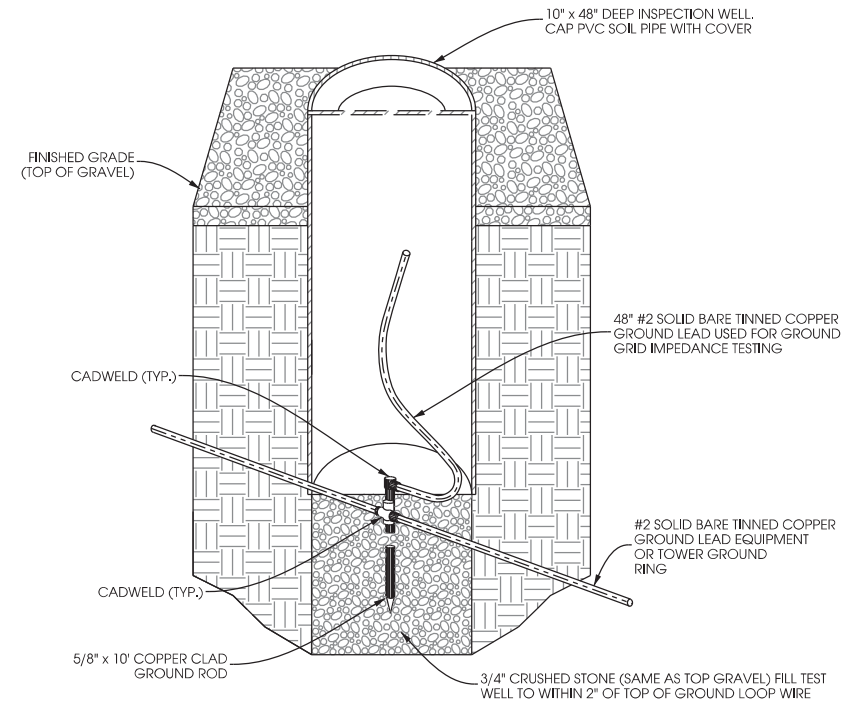
NOTES:
 - FOUNDATION GROUNDING PER NEC 250.52(3)(A)
 - FOUNDATION GROUNDING CONNECTIONS TO BE COVERED BY A MINIMUM OF 3" OF CONCRETE.
 - REBAR GROUNDING SHALL BE MADE TO A MIN. 20' CONTINUOUS REBAR, IF POSSIBLE.



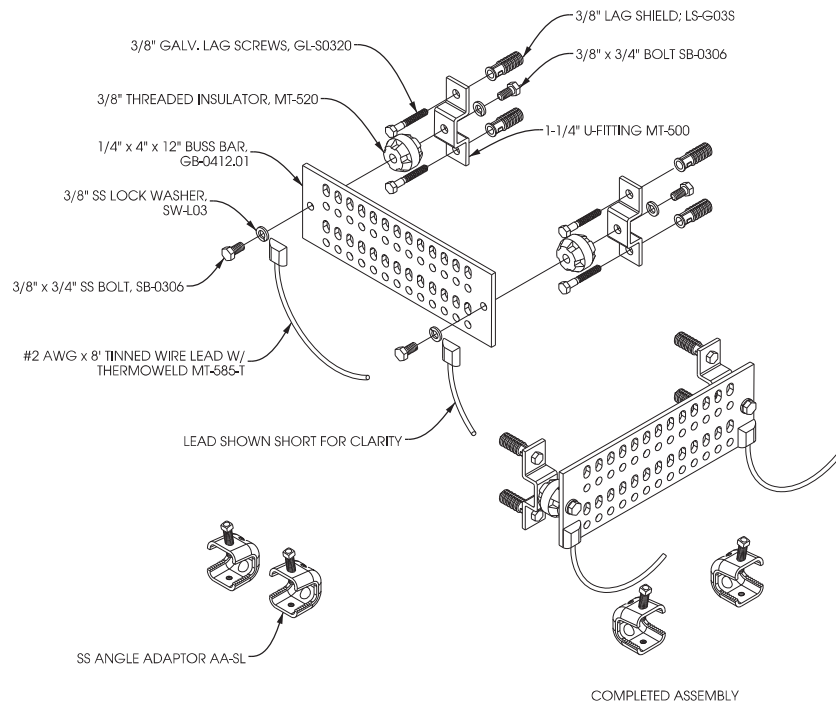
A FOUNDATION GROUNDING
 SCALE: NTS



B FENCE POST GROUNDING DETAIL
 SCALE: NTS

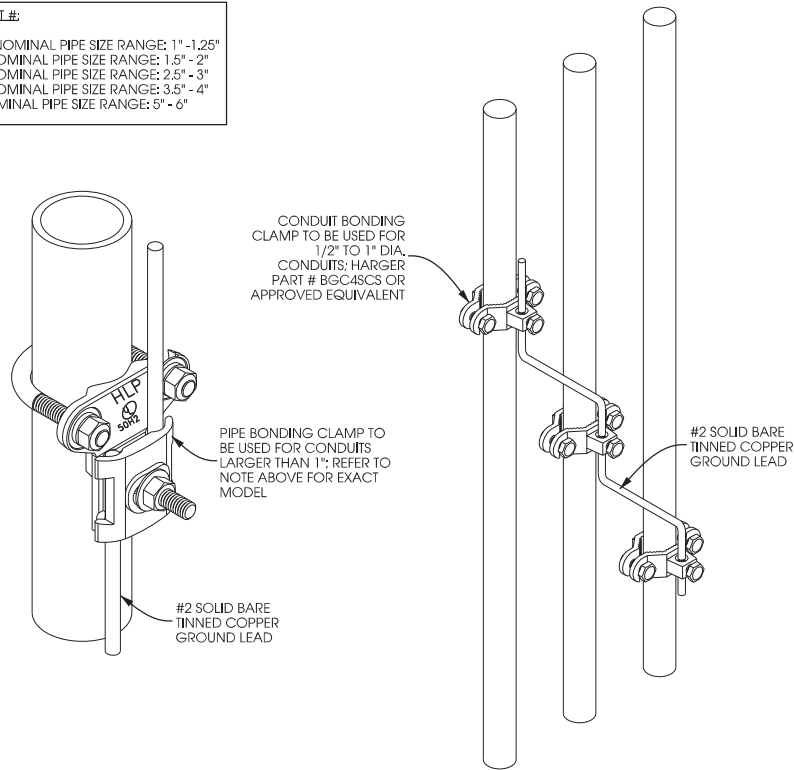


C INSPECTION WELL DETAIL
 SCALE: NTS



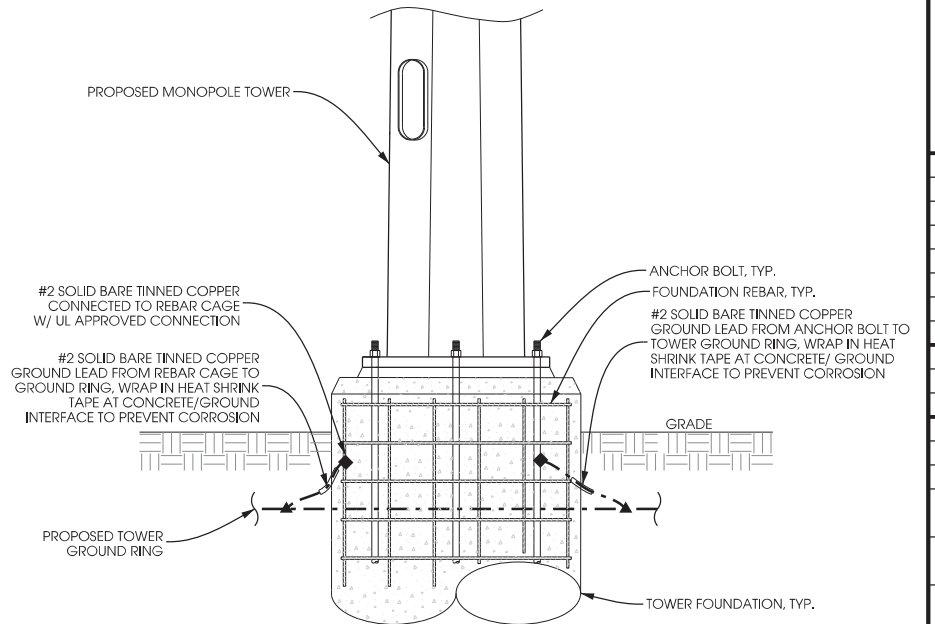
D GROUND AND BUSS BAR DETAIL
 SCALE: NTS

LARGER PART #:
 CPC1/1.25 - NOMINAL PIPE SIZE RANGE: 1" - 1.25"
 CPC1.5/2 - NOMINAL PIPE SIZE RANGE: 1.5" - 2"
 CPC2.5/3 - NOMINAL PIPE SIZE RANGE: 2.5" - 3"
 CPC3.5/4 - NOMINAL PIPE SIZE RANGE: 3.5" - 4"
 CPC5/6 - NOMINAL PIPE SIZE RANGE: 5" - 6"



E CONDUIT GROUNDING
 SCALE: NTS

NOTES:
 - FOUNDATION GROUNDING PER NEC 250.52(3)(A)
 - FOUNDATION GROUNDING CONNECTIONS TO BE COVERED BY A MINIMUM OF 3" OF CONCRETE.
 - REBAR GROUNDING SHALL BE MADE TO A MIN. 20' CONTINUOUS REBAR, IF POSSIBLE.



F TOWER FOUNDATION GROUNDING
 SCALE: NTS

SHEET TITLE:

PRELIMINARY DWGS:	INT:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INT:
PERMIT CDs V.2 - 07/09/15	APK

STAMPED FINAL DWGS:

CHECKED BY:	PCM
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW G-3.dgn

SHEET NUMBER:

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CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

STAMPED FINAL DWGS:	
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CHECKED BY:	
PCM	
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW-N-1.dgn

SHEET NUMBER:

"Evaluation Summary"/Page 3

such environmental firms performing services on its behalf. The construction bid package shall include qualifications of proposed firms with respect to the following required services:

Environmental Services Required	
Check All That Apply	
<input type="checkbox"/>	Asbestos abatement
<input type="checkbox"/>	Lead based paint abatement
<input type="checkbox"/>	Hazardous or special waste transportation and disposal.
<input type="checkbox"/>	Excavation, drilling or advancement through and staging/stockpiling of contaminated media.
<input checked="" type="checkbox"/>	Other: Implementation of appropriate soil E&S control measures during construction activities to mitigate the risk of impact to the identified wetland.

Company shall ensure at all times that only appropriately trained qualified, and licensed workers perform the required environmental services. It is the responsibility of Company to adhere to the following restrictions in response to the above environmental conditions:

An outside environmental "oversight" consultant is required if transportation and disposal of wastes is carried out in accordance with applicable laws, regulations and the Verizon Wireless Environmental Compliance Program. THE USE OF SUCH CONSULTANT IS MANDATORY.

Site Restrictions	
Check All That Apply	
<input checked="" type="checkbox"/>	Restrictions on excavations/construction methods. Description: Construction related staging and/or the stockpiling of excavated materials/soil on the parent tract may not occur to the northeast, east, or southeast of the SBA compound.
<input type="checkbox"/>	Diesel fuel prohibited at construction site except in fuel tank of vehicle.
<input type="checkbox"/>	Gasoline prohibited at construction site except in fuel tank of vehicle
<input checked="" type="checkbox"/>	Other: Internal generator required (if future Verizon Wireless generator is powered by diesel)

Contractor's Signature: _____

Print Name: _____

Witness: _____

Site Name: Exchange/269139

Site Address: 2660 U.S.H. 51

City: McFarland State: Wisconsin

NOTE: This signed original is to be returned to Area Compliance along with the EES Closeout Report.

Attachment A

NOTICE TO CONTRACTOR – ENVIRONMENTAL CONDITIONS/RESTRICTIONS AT (Exchange/269139) ILWI

Note: Verizon Wireless makes no representation or warranty as to the accuracy or completeness of the information below. Company is fully responsible for its own compliance with all applicable laws and regulations. To the extent that Company becomes aware of any additional environmental conditions, it agrees to immediately inform Verizon Wireless.

The Company's response to this construction bid shall constitute the Company's acknowledgement and acceptance of the stated conditions and restrictions at the site.

The following environmental conditions have been identified at the project site:

Environmental Condition	Description and Location of Contaminant
<input type="checkbox"/> Check All That Apply	
<input type="checkbox"/> Contaminated soil	
<input type="checkbox"/> Contaminated groundwater	
<input type="checkbox"/> Presence of asbestos	
<input type="checkbox"/> Presence of lead-based paint	
<input checked="" type="checkbox"/> Other: Vicinity surface water body	Vicinity Surface Water Body An emergent wet meadow and freshwater "forested/shrub" wetland area is identified along the east parent tract parcel line, approximately 140 feet northeast, 120 feet east, and 110 feet southeast of the Verizon Wireless lease area. <i>Please see the below attached Figure 6 – Wetland Map provided by Ramaker & Associates</i>

Applicable legal requirements or Verizon Wireless policies and procedures may require that these conditions be communicated to all parties involved in the construction activities at the project site. To the extent that the scope of the project work includes measures to address these conditions, details of the work to be performed shall be as specified in the project documents and/or the Authorization Letter.

Environmental conditions affecting scope of work: (see project documents for detailed specifications)
Soil Erosion and Sediment Control – Based on the identification of a wetland in the vicinity of the Verizon Wireless lease area, appropriate soil erosion best management practices and sedimentation controls, including a Soil Erosion and Sediment Control Plan (as appropriate) must be implemented during on-site construction activities to mitigate the risk of impact to the wetland.
Construction related staging and/or the stockpiling of excavated materials/soil (on the parent tract) may not occur to the northeast, east, or southeast of the proposed SBA compound.

Company is required to comply fully with all applicable environmental, industrial hygiene, and worker health and safety laws and regulations; Verizon Wireless' directions and/or instructions contained in this Notice To Contractors. Company shall retain qualified, appropriately specialized (and/or licensed, as required) and adequately insured environmental firms for the completion of specialized work as applicable. Company shall evaluate whether a Health and Safety Plan (HASP) is warranted. Verizon Wireless shall have the final authority to approve the selection of

EXCHANGE (269139)



FIGURE 6 - WETLAND MAP

2660 U.S.H. 51
MCFARLAND (TOWN OF DUNN), WISCONSIN 53558
DANE COUNTY



NOTICE TO CONTRACTOR
EXCHANGE [#269139]
MCFARLAND, WISCONSIN

SHEET TITLE:

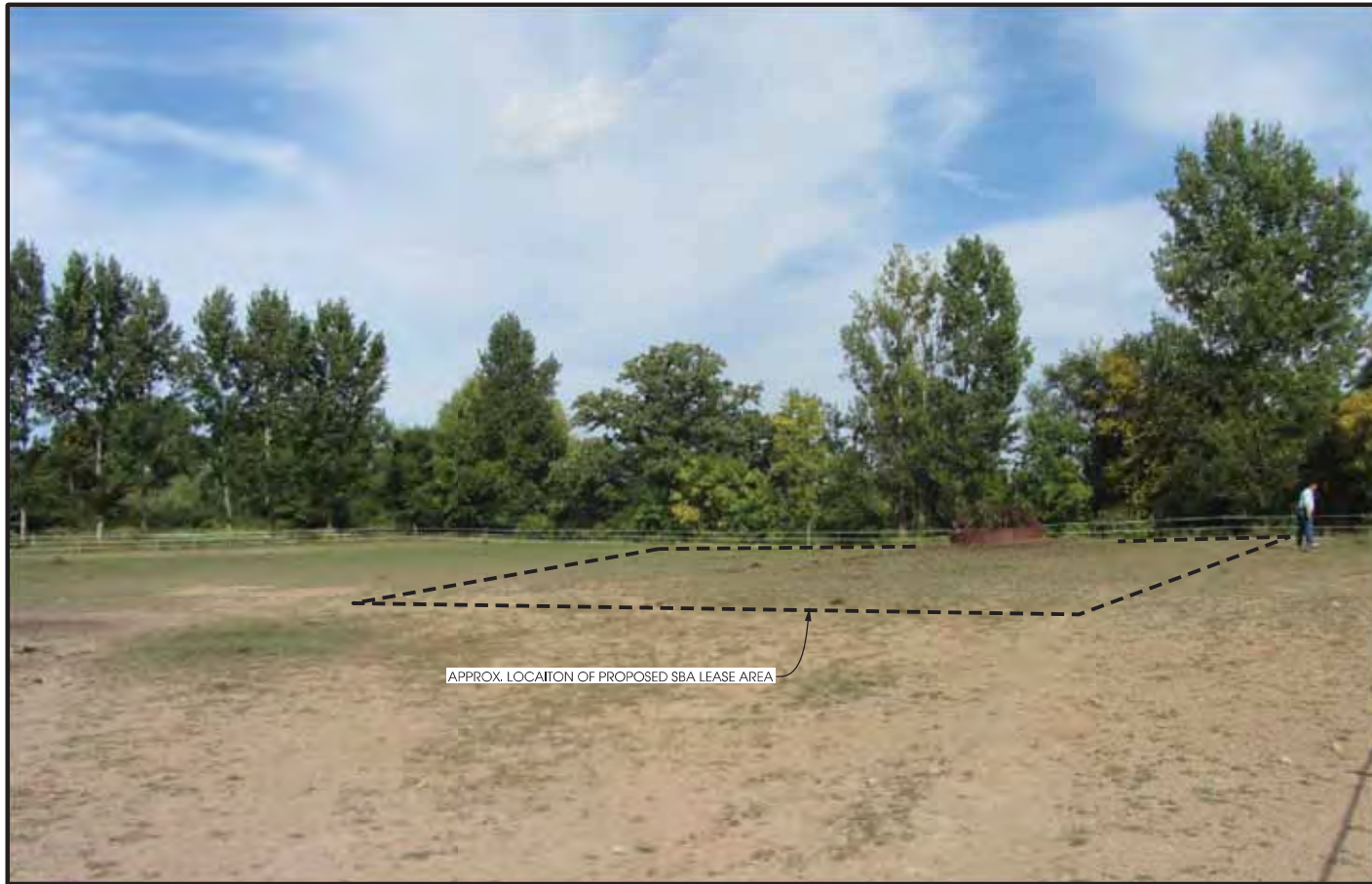
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CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INT:
PERMIT CDS V.2 - 07/09/15	APK

STAMPED FINAL DWGS:	
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CHECKED BY:	
PCM	
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW-N-2.dgn

SHEET NUMBER:
VZW N-2



APPROX. LOCATION OF PROPOSED SBA LEASE AREA

SITE OVERVIEW
LOOKING EAST



APPROX. LOCATION OF PROPOSED VZV LEASE AREA

APPROX. LOCATION OF PROPOSED SBA LEASE AREA

SITE OVERVIEW
LOOKING SOUTH



APPROX. LOCATION OF PROPOSED GRAVEL ACCESS DRIVE ALONG EXISTING FENCE

PROPOSED ACCESS DRIVE
LOOKING WEST



SITE OVERVIEW
LOOKING NORTHEAST

SITE PHOTOS
EXCHANGE [#269139]
MCFARLAND, WISCONSIN

SHEET TITLE:

PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV

STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

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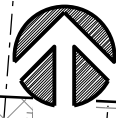
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PCM	
PLOT DATE:	6/7/2018
PROJECT #:	19747
FILE NAME:	VZW P-1.dgn

SHEET NUMBER:

VZW P-1



AERIAL OVERVIEW OF SITE



NOTE:
FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT).
PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.

NIC NOTE:
AN EMERGENT WET MEADOW AND FRESH WATER "FORESTED/SHRUB" WETLAND AREA IS IDENTIFIED ALONG THE EAST PARENT TRACT PARCEL LINE, APPROXIMATELY 140 FEET NORTHEAST, 120 FEET EAST, AND 110 SOUTHEAST OF THE LESSEE LEASE AREA, BASED ON THE IDENTIFICATION OF A WETLAND IN THE VICINITY OF THE LESSEE LEASE AREA. APPROPRIATE SOIL EROSION BEST MANAGEMENT PRACTICES AND SEDIMENT CONTROLS, INCLUDING A SOIL EROSION AND SEDIMENT CONTROL PLAN (AS APPROPRIATE) MUST BE IMPLEMENTED DURING ON-SITE CONSTRUCTION ACTIVITIES TO MITIGATE RISK OF IMPACT TO THE WETLAND. CONSTRUCTION RELATED STAGING AND/OR THE STOCKPILING OF EXCAVATED MATERIALS/SOILS (ON THE PARENT TRACT) MAY NOT OCCUR TO THE NORTHEAST, EAST, OR SOUTHEAST OF THE PROPOSED SBA COMPOUND.

DISTANCE FROM TOWER C/L TO PROPERTY LINE:
- TOWER C/L TO NORTH PROPERTY LINE = 219'-2" ±
- TOWER C/L TO EAST PROPERTY LINE = 102'-2" ±
- TOWER C/L TO WEST PROPERTY LINE = 500'-1" ±

EXISTING 10' WIDE SANITARY SEWER EASEMENT PER DEED BOOK 11748 PAGE 77

(NO VEHICULAR ACCESS) PER C.S.M. NO. 6609

42' BLD. SETBACK LINE PER C.S.M. NO. 6609

US HWY 51

EXISTING 16" CULVERT

EXISTING POWER POLE, TYP.

EXISTING GRAVEL DRIVE

GRASS

EXISTING HOUSE NO. 2660

EXISTING GARAGE

EXISTING GRAVEL DRIVE

EXISTING OVERHEAD ELECTRIC, TYP.

EXISTING LP TANK

EXISTING FENCELINE

EXISTING 10' WIDE SANITARY SEWER EASEMENT PER DEED BOOK 11748 PAGE 77

EXISTING FENCELINE, TYP.

PROPOSED BURIED FIBER OPTIC: SEE PAGE E-1 FOR DETAILS

PROPOSED 30' WIDE LANDLORD UTILITY AND INGRESS/EGRESS EASEMENT (SBA TOWERS V. LLC.)

EXISTING PASTURE FENCE

EXISTING MANURE PIT TO BE AVOIDED

EXISTING BUILDING

EXISTING BUILDING

100' WETLAND SETBACK

LANDLORD HAS REQUESTED THAT FINE CRUSHED LIME STONE (FINER/SMALLER PARTICLES BETTER) BE USED IN THIS AREA DUE TO HORSE TRAFFIC

EXISTING CORN CRIB

EXISTING CORRAL

CONTRACTOR TO RELOCATE EXISTING PASTURE FENCE: APPROX. 96± LINEAL FEET TO BE RELOCATED AND APPROX 233± LINEAL FEET TO BE FURNISHED AND INSTALLED TO MATCH EXISTING

PROPOSED 12' x 30' VZW LEASE AREA

PROPOSED 30' WIDE LANDLORD UTILITY AND INGRESS/EGRESS EASEMENT (SBA TOWERS V. LLC.)

EXISTING PASTURE GATE, TYP.

PROPOSED 100' x 100' LEASE AREA (SBA TOWERS V. LLC.)

PROPOSED 130'-0" MONOPOLE TOWER (EXTENDABLE TO 160'-0")

PROPOSED 65' x 65' FENCED COMPOUND

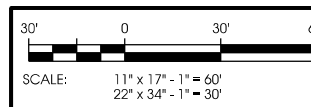
75' WETLAND SETBACK

100 YEAR FLOODPLAIN PER SCALING OF FEMA FIRM PANEL NO. 55025C0606G WITH AN EFFECTIVE DATE OF JANUARY 2, 2009

APPROX. WETLAND BOUNDARY PER DANE COUNTY GIS MAPPING

WOODS

WOODS



SHEET TITLE:	
PRELIMINARY DWGS:	INI:
CD 90's REV.6 - 10/26/16	APK
CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV
CD 90's REV.9 - 07/09/18	CV
STAMPED PERMIT DWGS:	INI:
PERMIT CDS V.2 - 07/09/15	APK
STAMPED FINAL DWGS:	
CHECKED BY:	
PCM	
PLOT DATE:	7/9/2018
PROJECT #:	19747
FILE NAME:	C-1.dgn
SHEET NUMBER:	

C-1

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SITE OVERVIEW (LOOKING EAST)



PROPOSED LEASE AREA (LOOKING SOUTHEAST)



NORTH

NOTE:
FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT).
PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.

CONTRACTOR TO RELOCATE EXISTING PASTURE FENCE: APPROX. 96± LINEAL FEET TO BE RELOCATED AND APPROX 233± TO BE FURNISHED AND INSTALLED TO MATCH EXISTING

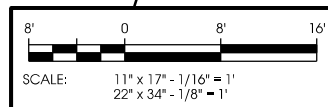
PROPOSED 30' WIDE LANDLORD UTILITY AND INGRESS/EGRESS EASEMENT (SBA TOWERS V. LLC.)

LANDLORD HAS REQUESTED THAT FINE CRUSHED LIME STONE (FINER/SMALLER PARTICLES BETTER) BE USED IN THIS AREA DUE TO HORSE TRAFFIC



COMPOUND PLAN EXCHANGE (#269139) MCFARLAND, WISCONSIN

SHEET TITLE:	
PRELIMINARY DWGS:	INI:
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CD 90's REV.7 - 01/03/17	APK
CD 90's REV.8 - 06/07/18	CV
CD 90's REV.9 - 07/09/18	CV
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PERMIT CDs V.2 - 07/09/15	APK
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PROJECT #:	19747
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SHEET NUMBER:	
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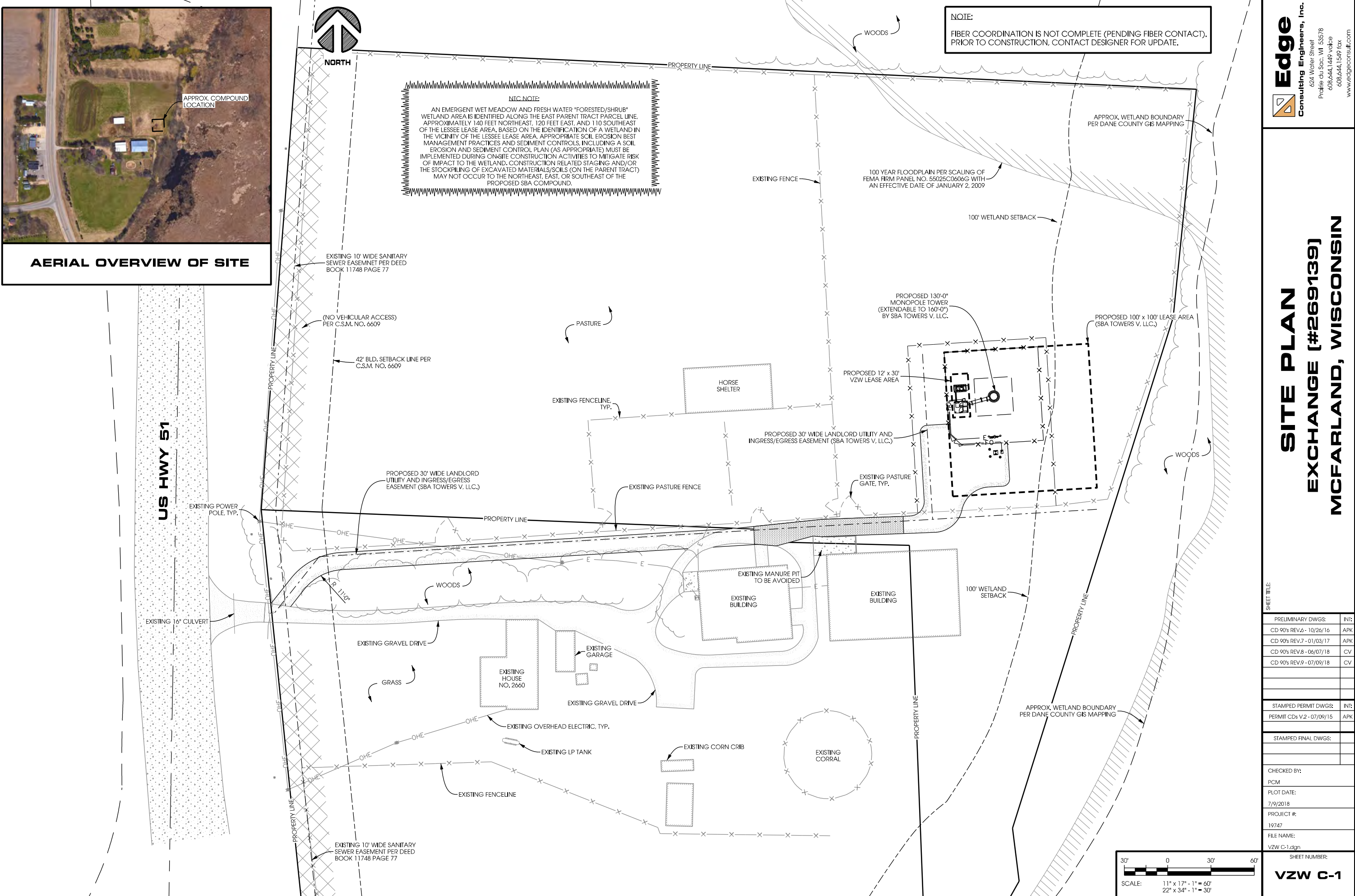


AERIAL OVERVIEW OF SITE



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NIC NOTE:
AN EMERGENT WET MEADOW AND FRESH WATER "FORESTED/SHRUB" WETLAND AREA IS IDENTIFIED ALONG THE EAST PARENT TRACT PARCEL LINE, APPROXIMATELY 140 FEET NORTHEAST, 120 FEET EAST, AND 110 SOUTHEAST OF THE LESSEE LEASE AREA, BASED ON THE IDENTIFICATION OF A WETLAND IN THE VICINITY OF THE LESSEE LEASE AREA. APPROPRIATE SOIL EROSION BEST MANAGEMENT PRACTICES AND SEDIMENT CONTROLS, INCLUDING A SOIL EROSION AND SEDIMENT CONTROL PLAN (AS APPROPRIATE) MUST BE IMPLEMENTED DURING ON-SITE CONSTRUCTION ACTIVITIES TO MITIGATE RISK OF IMPACT TO THE WETLAND. CONSTRUCTION RELATED STAGING AND/OR THE STOCKPILING OF EXCAVATED MATERIALS/SOILS (ON THE PARENT TRACT) MAY NOT OCCUR TO THE NORTHEAST, EAST, OR SOUTHEAST OF THE PROPOSED SBA COMPOUND.



Edge Consulting Engineers, Inc.
624 Water Street
Profile du Soc, WI 53578
608.644.1449 vo/ce
608.644.1519 fax
www.edgeconsulting.com

**SITE PLAN
EXCHANGE (#269139)
MCFARLAND, WISCONSIN**

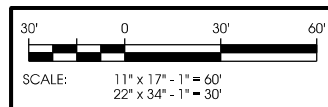
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STAMPED PERMIT DWGS:	INI:
PERMIT CDs V.2 - 07/09/15	APK

CHECKED BY:
PCM
PLOT DATE:
7/9/2018
PROJECT #:
19747
FILE NAME:
VZW C-1.dgn

SHEET NUMBER:
VZW C-1



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SITE OVERVIEW (LOOKING EAST)

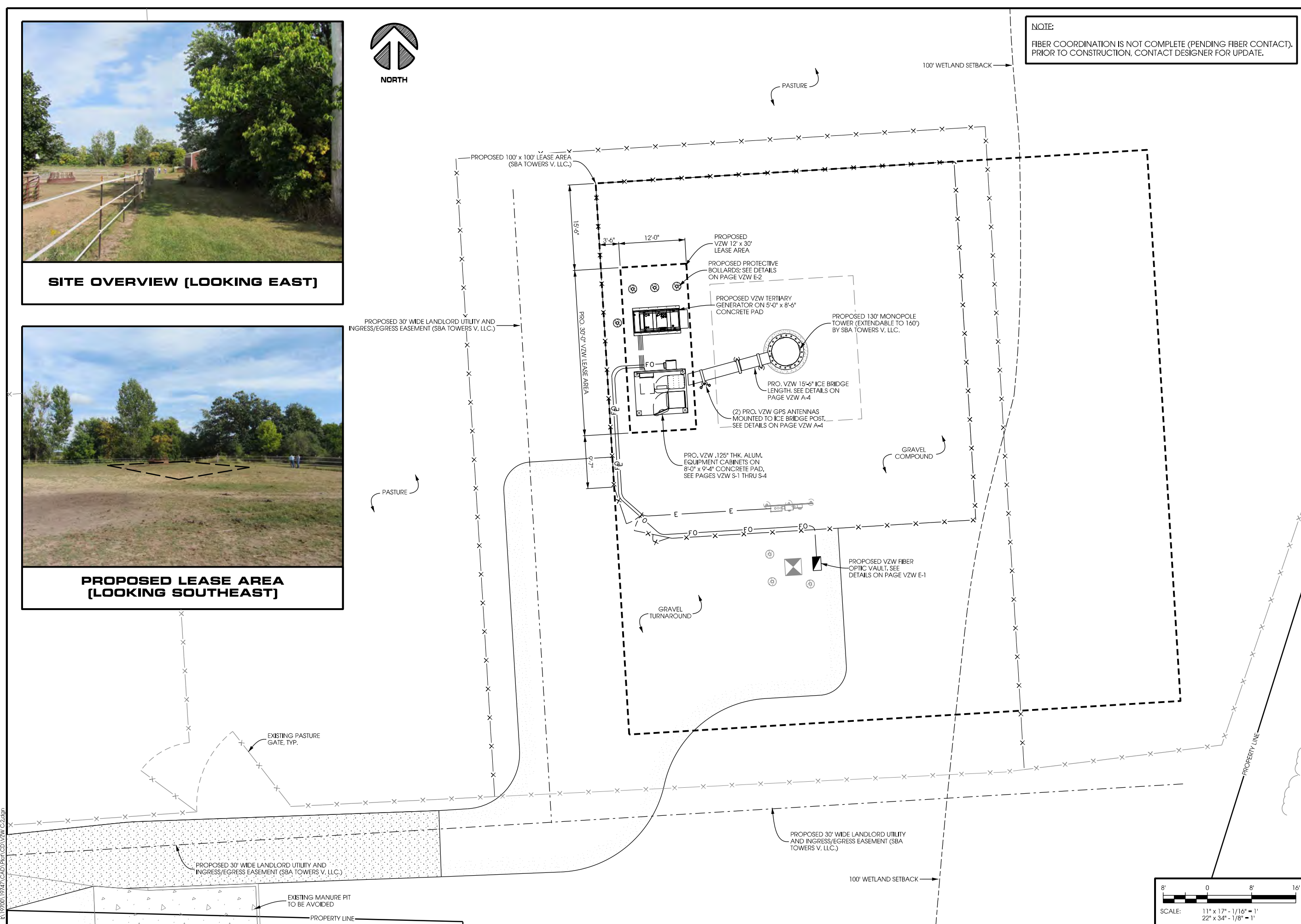


PROPOSED LEASE AREA (LOOKING SOUTHEAST)



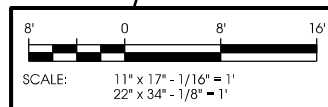
NORTH

NOTE:
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PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.

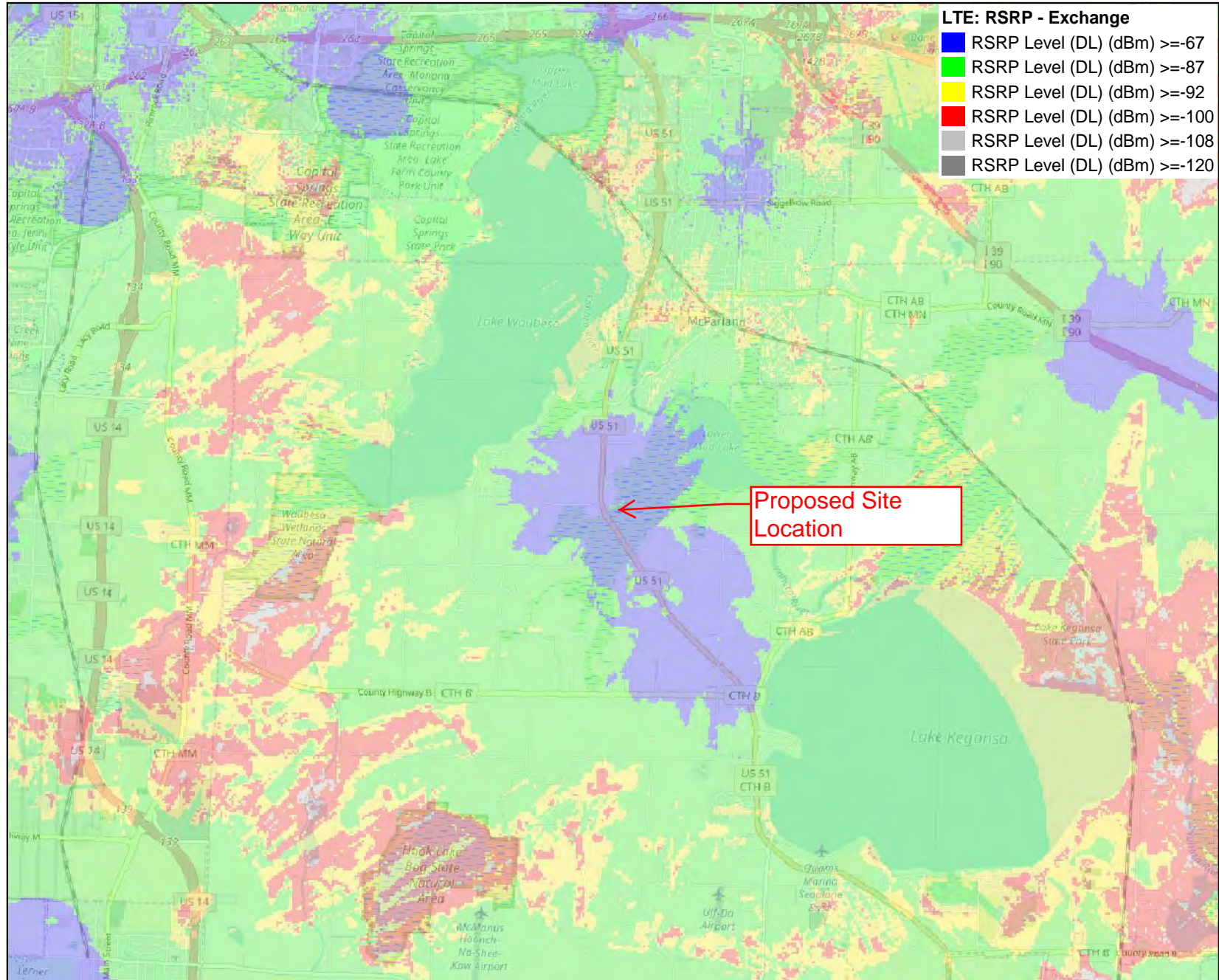


COMPOUND PLAN EXCHANGE (#269139) MCFARLAND, WISCONSIN

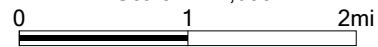
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PERMIT CDs V.2 - 07/09/15	APK
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PROJECT #:	19747
FILE NAME:	VZW C-2.dgn
SHEET NUMBER:	



700 MHz LTE RSRP



Scale: 1:72,099



Prepared by and Return to:
SBA Network Services, LLC
Attn: Denise Scherer
8051 Congress Avenue
Boca Raton, FL 33487
561-226-9538

[Recorder's Use Above This Line]

STATE OF WISCONSIN

COUNTY OF DANE

Parcel ID Number: 028/0610-103-9210-1 &
028/0610-103-9190-6

SECOND AMENDMENT TO OPTION AND EASEMENT AGREEMENT

This Second Amendment to Option and Easement Agreement ("Second Amendment") dated as of January 20, 2018 ("Effective Date") by and among Jane Liess, a single woman, and Phyllis Dube, a single woman (together, "Grantor") with an address of 2660 US Hwy 51, McFarland, WI 53558, and SBA Towers IX, LLC, a Delaware limited liability company, with an address of 8051 Congress Avenue, Boca Raton, FL 33487 ("Grantee").

WHEREAS, Grantor and Grantee, successor in interest to SBA Towers V, LLC, a Florida limited liability company, entered into that certain Option and Easement Agreement, dated July 7, 2014, and recorded July 9, 2014, as Document #5082637, and amended pursuant to that certain first Amendment to Option and Easement Agreement dated January 20, 2017, and recorded February 28, 2017, as Document #5308936; both recordings of the Register of Deeds of Dane County, Wisconsin (the "Agreement"), whereby Grantor granted to Grantee Easements over certain lands owned by the Grantor and described on Exhibit "A"; and

WHEREAS, Grantor and Grantee desire and intend to amend the Agreement by providing for an extension of the Option Period, as defined therein.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereto covenant, agree and bind themselves to the following modifications to the Agreement:

1. Section 1 (a), Grant of Option of the Agreement is hereby amended by adding the following language to the end of Section 1 (a):

Grant of Option. The Agreement is hereby amended to indicate that the Option Period shall end on the day immediately preceding the Effective Date of this Amendment. For the sum of [REDACTED] Dollars (\$ [REDACTED]) (the "Additional Option Fee") to be paid to Grantor by Grantee upon execution of this Amendment, and other good and valuable consideration, the Option Period is hereby extended for a period of one (1) year commencing on the Effective Date of this Amendment. Any and all Option Periods, as extended herein shall be referred to collectively as the "Option Period," and shall expire on January 19, 2019.

2. Full Force and Effect. Except as specifically set forth in this Second Amendment, the Agreement, as it has been previously amended, is unmodified and in full force and effect, and is ratified and reaffirmed. In the event of any inconsistencies between the Easement, as it has been previously amended, and this Second Amendment, this Second Amendment takes precedence

[The remainder of this page is intentionally left blank. Signatures to follow.]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed as of the dates written below.

WITNESSES:

GRANTOR:

Kathryn Lillesand
Print Name: KATHRYN LILLESAND

Jane Liess
Jane Liess

Gwen Freiberg
Print Name: Gwen Freiberg

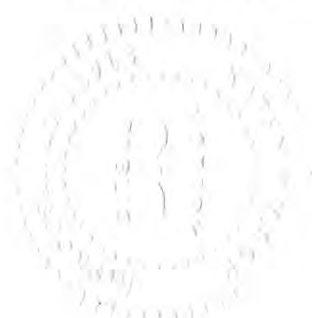
STATE OF WISCONSIN

COUNTY OF Dane

The instrument was acknowledged before me this 12th day of March, 2018 by Jane Liess, who is personally known to me or has produced _____ as identification.

Kathy Wilson
Notary Public
Print Name: KATHY WILSON
My Commission Expires: 6/5/21

(NOTARY SEAL)



WITNESSES:

Kathryn Lillesand
Print Name: KATHRYN LILLESAND

Gwen Freiberg
Print Name: Gwen Freiberg

GRANTOR:

Phyllis Dube
Phyllis Dube

STATE OF WISCONSIN

COUNTY OF Dane

The instrument was acknowledged before me this 12th, day of March, 20 18, by Phyllis Dube, who is personally known to me or has produced _____ as identification.

Kathy Wilson
Notary Public
Print Name: KATHY WILSON
My Commission Expires: 6/5/21

(NOTARY SEAL)



WITNESSES:

Taylor [Signature]
Print Name: Taylor [Signature]

Denise M. Scherer
Print Name: DENISE M. SCHERER

GRANTEE:

SBA Towers IX, LLC, a Delaware limited liability company

By: *[Signature]*
Thomas P. Hunt
Executive Vice President & General Counsel

STATE OF FLORIDA

COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me April 19, 2018 by Thomas P. Hunt, the Executive Vice President & General Counsel of SBA Towers IX, LLC, a Delaware limited liability company, on behalf of the company, who is personally known to me.



Kaela Feliciano
Commission # GG023862
Expires: August 23, 2020
Bonded thru Aaron Notary

(NOTARY SEAL)

Kaela Feliciano
Notary Public
Print Name: _____
My Commission Expires: _____

EXHIBIT 'A'

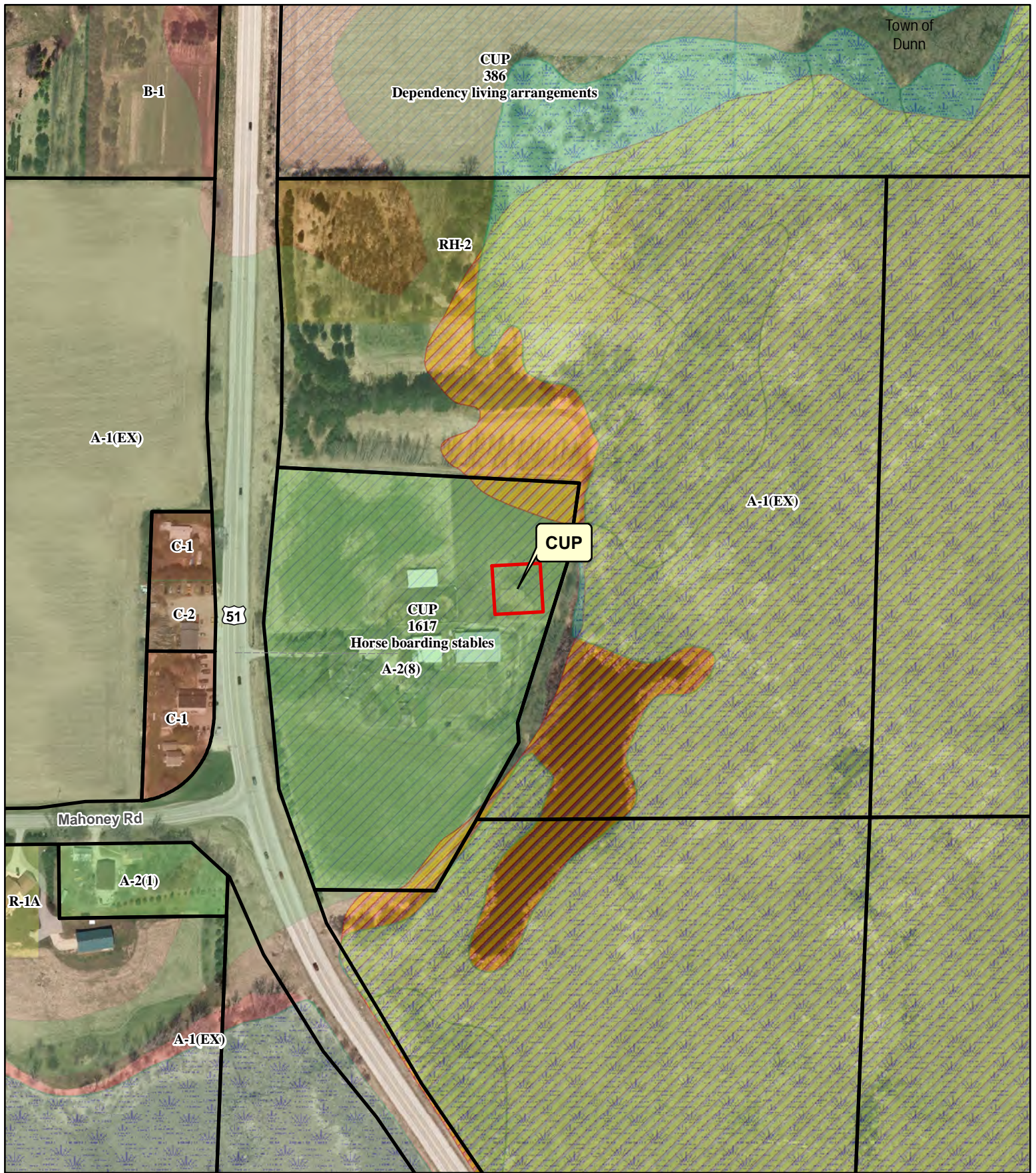
PROPOSED PARENT PARCEL LEGAL DESCRIPTION:

An interest in land, said interest being over a portion of the following described parent parcel:

A part of the Southwest 1/4 of the Southwest 1/4 of Section 10, Township 6 North, Range 10 East, in the Town of Dunn, Dane County, Wisconsin, more fully described as follows: Commencing at the Southwest corner of said Section 10; thence North 0°59'58" East along the West line of the said Southwest 1/4, 417.21 feet; thence North 89°21'52" East, 59.20 feet to the point of beginning; said point also being the Northwest corner of Lot 1, Certified Survey Map No. 6609; thence North 4°25'14" East along the Easterly Right of Way line of U.S. Highway "51", 321.31 feet; thence South 87°20'45" East, 624.00 feet; thence South 5°49'19" West, 159.03 feet; thence South 17°27'02" West, 371.06 feet; thence South 7°05'40" East, 36.97 feet; thence South 29°15'36" West, 128.14 feet; thence North 2°13'36" West, 344.81 feet; thence North 88°35'57" West, 86.71 feet; thence North 1°43'49" West, 8.35 feet; thence North 87°45'14" West, 362.56 feet to the point of beginning.

AND BEING a portion of the same property conveyed to Kimberly J. Krueger, as to 92.5% interest and Jane C. Liess, as to 7.5% interest from Marty Brewer and Connie Brewer by Warranty Deed dated March 17, 2000 and recorded March 21, 2000 in Instrument No. 3199200; AND FURTHER CONVEYED to Jane C. Liess from Kimberly J. Krueger by Warranty Deed dated July 02, 2002 and recorded July 10, 2002 in Instrument No. 3511998; AND FURTHER CONVEYED to Phyllis J. Dube, an undivided fifty percent interest from Jane C. Liess by Warranty Deed dated November 30, 2007 and recorded December 04, 2007 in Instrument No. 4378736 and corrected in Affidavit recorded in Instrument No. 4386586.

Tax Parcel No. 028-0610-109-9190-6



Town of
Dunn

CUP
386

Dependency living arrangements

RH-2

A-1(EX)

C-1

C-2

51

CUP
1617

Horse boarding stables

A-2(8)

CUP

A-1(EX)

Mahoney Rd

A-2(1)

R-1A

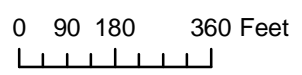
A-1(EX)

Legend

- Wetland
- Floodplain

Significant Soils

- Class 1
- Class 2



CUP 02437
JANE C LIESS