

# CONSTRUCTION PLANS FOR: EQUIPMENTSHARE COTTAGE GROVE, WI 53527

## PROJECT INFORMATION

PROJECT	EQUIPMENTSHARE
ADDRESS/LOCATION	NORTH STAR ROAD, COTTAGE GROVE, WI 53527
PARCEL ID NUMBER	071127300330
LOT ACREAGE	5.25 ACRES
LIMIT OF DISTURBANCE (LOD)	4.87 ACRES
PARCEL ZONING	GC (GENERAL COMMERCIAL)
EXISTING BUILDING CONDITIONS	VACANT LAND

## PROJECT SUMMARY

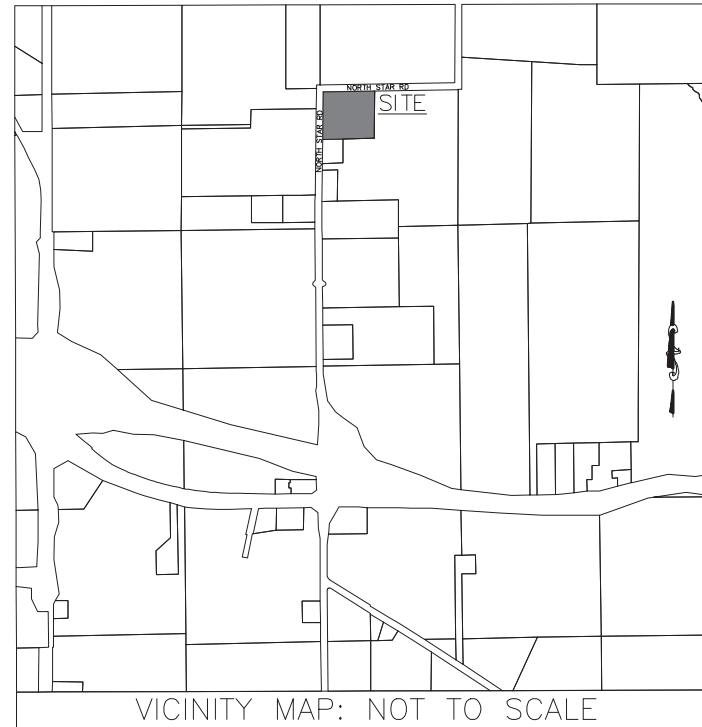
THE APPLICANT PROPOSES A WAREHOUSING AND LIGHT EQUIPMENT RENTAL STORAGE. THE PROPOSED IMPROVEMENTS INCLUDE LANDSCAPE, GRAVEL RESURFACE, AND APPLICABLE UTILITIES.

## AGENCY CONTACTS

HIGHWAY DEPARTMENT/PUBLIC WORKS	TOWN OF COTTAGE GROVE DANIEL DRESEN 608-516-5208
PLANNING AND DEVELOPMENT	DANE COUNTY TODD VIOLANTE 608-266-4021
FIRE DEPARTMENT	TOWN OF COTTAGE GROVE NICK ARCHIBALD 608-839-4343
DEPUTY PUBLIC WORKS DIRECTOR	DANE COUNTY TODD DRAPER 608-267-0119
PUBLIC WORKS ENGINEERING PROJECT MANAGER	DANE COUNTY BRADNDON BRAITHWAITE 608-279-8934

## NOTES

- SITE IS LOCATED IN ZONE X (OUTSIDE OF THE 100-YEAR FLOOD PLAIN)  
PER FEMA FIRM NUMBER 55025C0462H, EFFECTIVE SEPTEMBER 17TH, 2014



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BENCHMARK:	
<b>BENCHMARK - ON SITE</b>	
1.	TOP OF F.E.S. 2 LOCATED NORTHWEST OF THE NORTHWEST PROPERTY CORNER (AS SHOWN ON SURVEY). ELEVATION = 873.42' (NAVD88) N: 470105.26 E: 873093.10
2.	MAG NAIL LOCATED NORTHWEST OF THE SOUTHWEST PROPERTY CORNER (AS SHOWN ON SURVEY). ELEVATION = 878.28' (NAVD88) N: 469631.79 E: 873075.46
<b>BENCHMARK - OFF SITE</b>	
3.	BENCHMARK DF9643 BEING A DISK SET IN TOP OF CONCRETE POST LOCATED NORTH OF CENTERLINE OF US HIGHWAY 12 AND WEST OF PRIVATE ENTRANCE TO 2298 US HIGHWAY 12. ELEVATION = 930.90' (NAVD88) N: 430202.31 W: 0891200.87
4.	BENCHMARK DF9642 BEING A DISK SET IN TOP OF CONCRETE POST LOCATED NORTH OF CENTERLINE OF US HIGHWAY 12 AND WEST OF PRIVATE ENTRANCE TO 2298 US HIGHWAY 12. ELEVATION = 939.99' (NAVD88) N: 430144.20 W: 0891106.80

### ENGINEER

BOWMAN CONSULTING GROUP, LTD  
10 South LaSalle Street, Ste 2110  
Chicago, Illinois 60603  
[Phone] 312.614.0360  
Contact: Payman Homayouni, P.E.

### OWNER / DEVELOPER

EQUIPMENT SHARE  
5710 Bull Run Dr.  
Columbia, MO 65201  
[Email] chris.schreiner@equipmentshare.com [Phone] d: 479.878.3510 / o: 479.636.3545 / f: 479.636.1209  
Contact: Chris Schreiner

### LANDSCAPE ARCHITECT

WILLIAM DOUGLAS HURLEY  
2809 Ajax Avenue Suite 100  
Rogers, AR 72758  
[Phone] d: 479.878.3510 / o: 479.636.3545 / f: 479.636.1209  
Contact: William Douglas Hurley

### SURVEYOR

AMERICAN NATIONAL  
3465 South Arlington Rd Suite E#183  
Akron, OH 44312  
[Phone] 330.294.1077

**REVISED PLANS  
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12/20/2023**

**Bowman**

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DANE COUNTY

COVER SHEET  
EQUIPMENTSHARE  
NORTH STAR ROAD  
COTTAGE GROVE, WI 53527

COTTAGE GROVE, WI

040089-01-002

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PLAN STATUS

12/20/23 COUNTY COMMENTS

DATE	DESCRIPTION
AS DESIGN	OR DRAWN
PK	CHKD

SCALE: AS SHOWN

JOB No. 040089-01-002

DATE: 09/06/2023

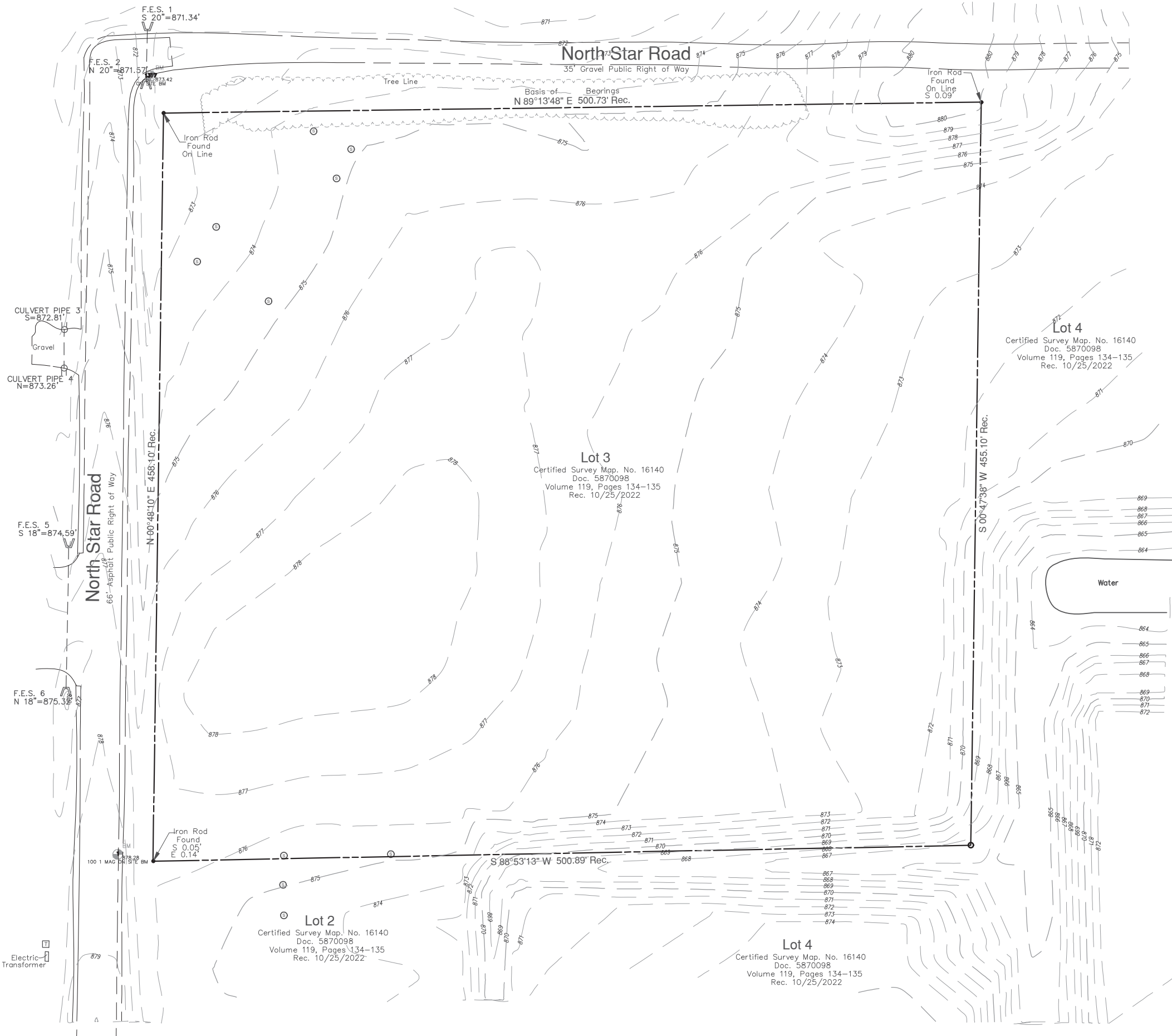
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SHEET NO. 1 OF 13



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**GENERAL NOTES:**

- 1. AN EXISTING CONDITIONS TOPOGRAPHICAL SURVEY OF THIS PARCEL HAS BEEN PREPARED BY AMERICAN NATIONAL THERE MAY BE EASEMENTS, SETBACK LINES OR OTHER MATTERS AFFECTING THIS PROPERTY THAT ARE NOT SHOWN ON THIS SURVEY.
- 2. THERE ARE NO STATE WATERS LOCATED WITHIN 200' FEET OF THE SUBJECT PROPERTY.
- 3. NO ENVIRONMENTAL ASSESSMENT HAS BEEN PERFORMED BY BOWMAN.
- 4. THE EXISTING SITE IS OPEN SPACE.
- 5. THE AREA FOR THIS PROJECT IS 5.25 ACRES WITH A DISTURBED AREA OF 4.87 ACRES.

**FLOODPLAIN NOTES:**

THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP NO. 55025C0462H, DATED 09/17/2014. THIS INFORMATION WAS OBTAINED FROM THE FEMA MAP SERVICE CENTER WEB SITE.

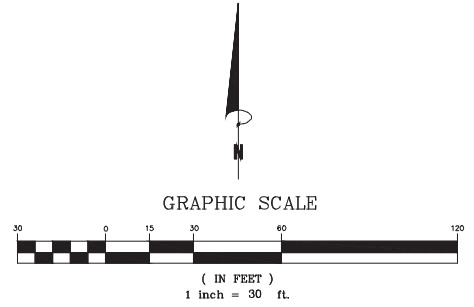
**UTILITY NOTES:**

- 1. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES PROVIDED BY THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES / STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON.
- 2. UNDERGROUND UTILITIES / STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES / STRUCTURES.
- 3. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR TO NOTIFY AND PROVIDE THREE WORKING DAYS NOTICE TO WISCONSIN ONE CALL.

**EXISTING CONDITIONS LEGEND**

EXISTING WATER LINE	— W —
PROPERTY BOUNDARY	— — — —
EXISTING SETBACK	— . — . — .
EXISTING POND	— — — — (U)
EXISTING FACE OF CURB	— — — —
EXISTING SANITARY SEWER LINE	— SS —
EXISTING STORM SEWER LINE	— — — —
EXISTING OVERHEAD ELECTRIC	— OHE —
EXISTING POWER POLE & GUY WIRE	⊕ ⊕
EXISTING FIRE HYDRANT	⊙
EXISTING WATER VALVE	⊗
EXISTING SIGN	⊥
EXISTING ELECTRIC BOX	⊠
EXISTING BUSH	⊕
EXISTING TREES	☀
EXISTING SEPTIC LATH	⊙
EXISTING STORM MANHOLE	⊙

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12/20/2023**



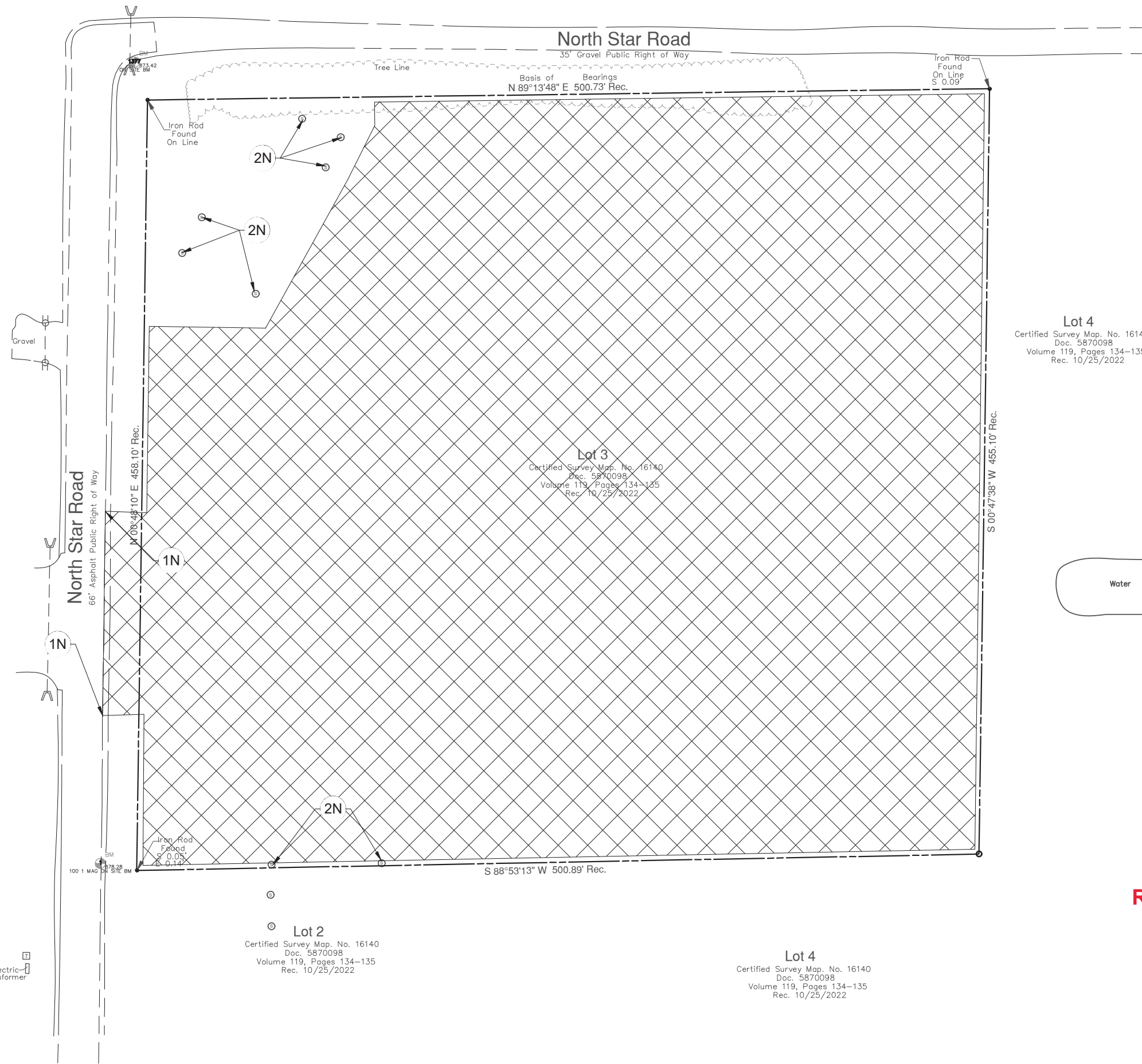
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**EXISTING CONDITIONS  
EQUIPMENTSHARE  
NORTH STAR ROAD  
COTTAGE GROVE, WI 53527**

040089-01-002  
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PLAN STATUS		
12/20/23	COUNTY COMMENTS	
DATE	DESCRIPTION	
AS DESIGN	OR DRAWN	PK CHKD
SCALE:	1"=30'	
JOB No.	040089-01-002	
DATE:	09/06/2023	
FILE:	040089-01-002 EXCON.dwg	
FILE NO.	<b>C1.0</b>	
SHEET NO.	3 OF 13	

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**GENERAL NOTES:**

1. AN EXISTING CONDITIONS / TOPOGRAPHICAL SURVEY OF THIS PARCEL HAS BEEN PREPARED BY AMERICAN NATIONAL THERE MAY BE EASEMENTS, SETBACK LINES OR OTHER MATTERS AFFECTING THIS PROPERTY THAT ARE NOT SHOWN ON THIS SURVEY.
2. THERE ARE NO STATE WATERS LOCATED ON OR WITHIN 200' FEET OF SUBJECT PROPERTY.
3. NO ENVIRONMENTAL ASSESSMENT HAS BEEN PERFORMED BY BOWMAN.
4. THE EXISTING SITE IS VACANT.
5. THE AREA FOR THIS PROJECT IS ±5.25 ACRES WITH A DISTURBED AREA OF ±4.87 ACRES.
6. THE CHARTER TOWNSHIP OR VAN BUREN SHALL BE NOTIFIED 72 HOURS PRIOR TO BEGINNING WORK AND 24 HOURS PRIOR TO RESUMING WORK AT (734)-699-8913.
7. ALL CONSTRUCTION MATERIALS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF CHARTER TOWNSHIP OF VAN BUREN. IF NOT OTHERWISE SPECIFIED, ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MICHIGAN DOT STANDARD SPECIFICATIONS.
8. CONTRACTOR TO INSTALL EROSION CONTROL MEASURES PRIOR TO DEMOLITION.

**DEMOLITION AND EXISTING CONDITIONS NOTES:**

1. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION AND/OR NEW WORK. NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OR CONFLICTS.
2. CONTRACTOR TO OBTAIN ALL PERMITS ASSOCIATED WITH THE DEMOLITION.
3. CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BARRIERS & WARNINGS TO LIMIT ACCESS TO PROJECT AREA TO ONLY THOSE PERSONNEL AUTHORIZED BY THE CONTRACTOR. IN AS MUCH AS AREAS ADJACENT TO PROJECT AREA WILL NOT MAINTAIN "NORMAL OPERATIONS."
4. CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL MEASURES & SHALL MAINTAIN SAFE PASSAGEWAY FOR WORKERS & NON-WORKERS AS REQUIRED ADJACENT TO THE PROJECT SITE.
5. ALL ITEMS REMOVED OR DEMOLISHED BY THE CONTRACTOR WHICH ARE NOT LISTED BY THE SPECIAL PROVISIONS TO BE TURNED OVER TO THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR & SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY FOR PROPER DISPOSAL.
6. DEMOLITION ACTIVITIES ARE NOT EXPECTED TO INCLUDE THE REMOVAL OF HAZARDOUS MATERIALS. IN THE EVENT THAT THAT HAZARDOUS MATERIALS ARE ENCOUNTERED OR SUSPECTED, CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING OF THE MATERIAL.
7. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES TO SCHEDULE ALL UTILITY & SERVICE INTERRUPTIONS TO OCCUPIED PORTIONS OF THE SITE.
8. CONTRACTOR SHALL REMOVE TREES AS INDICATED ON CIVIL PLANS. CONTRACTOR SHALL USE CAUTION DURING ALL CONSTRUCTION ACTIVITIES TO PROTECT ALL TREES INDICATED TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE CLEAN-UP, CLEARING AND GRUBBING PER SPECIFICATIONS. ALL TREES THAT HAVE A MARKETABLE VALUE SHALL BE SALVAGED. CONTRACTOR SHALL COORDINATE WITH OWNER AS TO THE TREES TO BE RELOCATED OR SOLD
9. CONTRACTOR SHALL SAW CUT EXISTING CONCRETE AND ASPHALT PAVEMENTS AT LIMITS OF DEMOLITION TO LEAVE SMOOTH EDGE ON REMAINING CONCRETE/PAVEMENT.
10. ALL WETLAND PROTECTION MUST BE IN PLACE PRIOR TO START OF ANY SITE DEMOLITION.

**UTILITY NOTES:**

1. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES PROVIDED BY THE CHARTER TOWNSHIP OF VAN BUREN. LOCATIONS OF UNDERGROUND UTILITIES / STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON.
2. UNDERGROUND UTILITIES / STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES / STRUCTURES.
3. PRIOR TO COMMENCE ANY CONSTRUCTION ACTIVITIES, CONTRACTOR TO NOTIFY AND PROVIDE THREE WORKING DAYS NOTICE TO MICHIGAN ONE CALL.

**HATCH LEGEND:**



**DEMOLITION KEY NOTES:**

- 1N SAWCUT LINE
- 2N SEPTIC LATHS MARKED PER COTTAGE GROVE RURAL BUSINESS LOTS SHEET C-2 TO REMAIN AND BE PROTECTED.

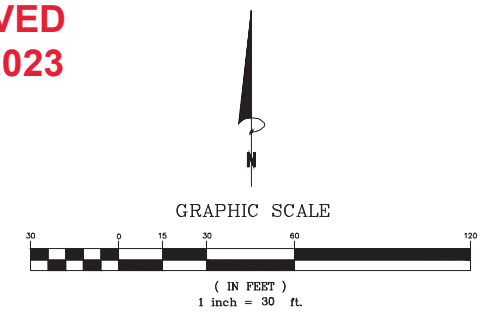
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 Doc. 5870098  
 Volume 119, Pages 134-135  
 Rec. 10/25/2022

**Lot 3**  
 Certified Survey Map. No. 16140  
 Doc. 5870098  
 Volume 119, Pages 134-135  
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**Lot 2**  
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DANE COUNTY

DEMOLITION PLAN  
 EQUIPMENT SHARE  
 NORTH STAR ROAD  
 COTTAGE GROVE, WI 53527

COTTAGE GROVE, WI

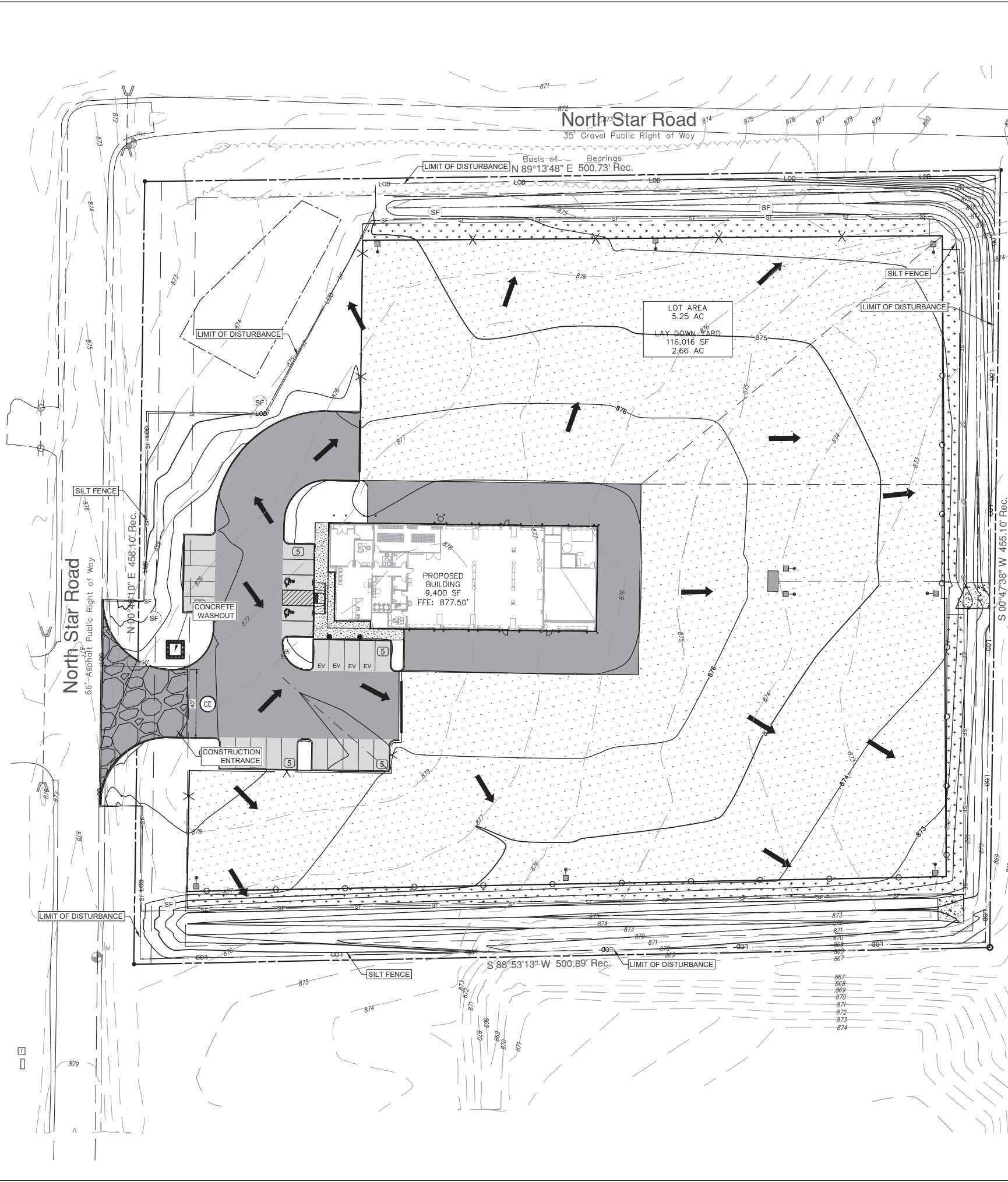
040089-01-002

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

PLAN STATUS

12/20/23 COUNTY COMMENTS		
DATE	DESCRIPTION	
AS	OR	PK
DESIGN	DRAWN	CHKD
SCALE:		1"=30'
JOB No. 040089-01-002		
DATE: 09/06/2023		
FILE: 040089-01-002 DEMO.dwg		
FILE NO.		C2.0
SHEET NO.		4 OF 13

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**EROSION CONTROL LEGEND**

- PROPOSED BUILDING
- PROPERTY LINE
- SF SILT FENCE
- LOD LIMITS OF DISTURBANCE
- 4.30 PROPOSED CONTOUR
- 4.30 EXISTING CONTOUR
- DRAINAGE ARROW
- CONSTRUCTION ENTRANCE
- GRAVEL

**EXISTING LEGEND**

- # W EXISTING WATER LINE
- PROPERTY BOUNDARY
- EXISTING SETBACK
- EXISTING POND
- EXISTING FACE OF CURB
- # SS EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- OHE EXISTING OVERHEAD ELECTRIC
- EXISTING POWER POLE & GUY WIRE
- EXISTING FIRE HYDRANT
- EXISTING SIGN
- EXISTING ELECTRIC BOX
- EXISTING BUSH
- EXISTING TREES
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE

**BMP MAINTENANCE NOTES**

ALL MEASURES STATED ON THESE PLANS SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR COMPLETED PHASE OF WORK OF FINAL STABILIZATION OF THE SITE. SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONSTRUCTION GENERAL PERMIT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
2. ALL SEEDED/SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD VEGETATION IS MAINTAINED. AREAS SHALL BE FERTILIZED, WATERED AND REPAIRED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE.
4. THE CONSTRUCTION ENTRANCE/EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT FROM THE SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE EXIT AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN A GOOD CONDITION. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE AREA AS CONDITIONS DEMAND.
6. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT LEAVING THE SITE SHALL BE CLEANED IMMEDIATELY.
7. ALL INLETS AND STORM DRAINS SHALL BE KEPT CLEAN OF DEBRIS AND SEDIMENT. ANY DEBRIS AND/OR SEDIMENT THAT ENTERS ANY INLET OR STORM DRAIN SHALL BE CLEANED IMMEDIATELY. FLUSHING SHALL NOT BE USED TO CLEAN DEBRIS AND/OR SEDIMENT FROM STORM DRAINS.

**CONSTRUCTION SEQUENCE**

1. CONDUCT PRE-CONSTRUCTION MEETING WITH THE CITY TO DISCUSS EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION PHASING.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
3. INSTALL CONSTRUCTION FENCES.
4. PREPARE TEMPORARY PARKING AND STORAGE AREAS.
5. INSTALL INLET PROTECTION, SILT DIKES, AND SILT FENCE ON THE SITE AS SHOWN ON PLANS WITHIN THE CONSTRUCTION LIMITS.
6. DEMO EXISTING STRUCTURES, PAVEMENT, AND SPECIFIED UTILITIES.
7. BEGIN GRADING THE SITE.
8. BEGIN CONSTRUCTION OF UTILITIES.
9. BEGIN SUBGRADE PREPARATION AND CONSTRUCTION OF STRUCTURES.
10. BEGIN INSTALLATION OF CURB, GUTTER, AND PAVING.
11. COMPLETE PERMANENT STABILIZATION ON AREAS WHERE CONSTRUCTION HAS COMPLETED.
12. COMPLETE FINAL GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
13. OBTAIN CONCURRENCE FROM THE OWNER AND THE CITY THAT THE SITE HAS BEEN FULLY STABILIZED.
14. REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
15. STABILIZE ALL AREAS DISTURBED BY BMP REMOVAL.

CONTRACTOR MAY COMPLETE CONSTRUCTION RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY THE PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE GENERAL CONTRACTOR ON THESE PLANS.

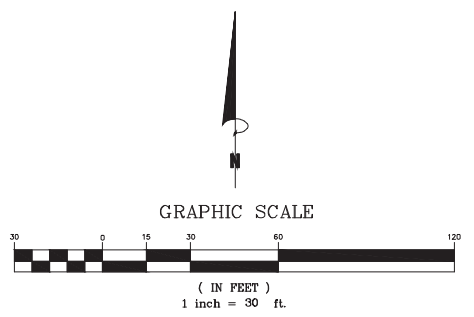
**EROSION CONTROL NOTES**

1. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP AND THAT CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
2. PERMIT FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
3. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
4. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
5. ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
6. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
7. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISE THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
8. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
9. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
10. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SODDED/LANDSCAPED PER PLANS. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
11. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
12. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ON TO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
13. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
14. ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
15. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
16. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.
17. CONTRACTOR SHALL DESIGNATE/IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
18. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

DISTURBED AREA	
212,000	SQUARE FEET
4.87	ACRES

CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

**REVISED PLANS RECEIVED 12/20/2023**



**Bowman**

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DANE COUNTY

EROSION CONTROL PLAN  
EQUIPMENTSHARE  
NORTH STAR ROAD  
COTTAGE GROVE, WI 53527

040089-01-002

PRELIMINARY NOT FOR CONSTRUCTION

PLAN STATUS

12/20/23	COUNTY COMMENTS
DATE	DESCRIPTION
AS	OR
DESIGN	DRAWN
SCALE:	1"=30'
JOB No.	040089-01-002
DATE:	09/06/2023
FILE:	040089-01-002 ECP.dwg
FILE NO.	C3.0
SHEET NO.	5 OF 13

### SDD 08E09 Silt Fence

**GENERAL NOTES**  
 DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 8" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" X 1 1/2" OF OAK OR HICKORY.
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.

CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

**TRENCH DETAIL**

**SILT FENCE TIE BACK**  
 (WHEN REQUIRED BY THE ENGINEER)

**JOINING TWO LENGTHS OF SILT FENCE**

**WOOD POSTS**  
 4" - 6" MIN LENGTH  
 2" - 4" MIN DEPTH IN GROUND

**NOTE:** ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOIL.

**NOTE:** 6" - 8" SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

**STATE OF WISCONSIN  
 DEPARTMENT OF TRANSPORTATION**

APPROVED: [Signature] DATE: [Date]  
 [Signature] Jerry H. Zogg  
 CHIEF ROADWAY DEVELOPMENT ENGINEER

SDD 08E09 - 06

SDD 08E09 - 06

### SDD 08E14 Tracking Pad

**GENERAL NOTES**  
 DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

TRACKING PAD SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.

TRACKING PAD TO BE REMOVED AFTER CONSTRUCTION IS COMPLETED.

TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT.

SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY, AROUND OR CONVEYED UNDER THE TRACKING PAD.

CULVERT PIPE OR OTHER BMP USED TO DIVERT WATER AWAY, AROUND OR UNDER THE TRACKING PAD SHALL BE DESIGNED TO CONVEY THE 2 YEAR - 24 HOUR EVENT.

THE COST OF ADDITIONAL BMP TO DIVERT WATER ARE INCIDENTAL TO THE TRACKING PAD BID ITEM.

**SECTION A - A**

**SECTION B - B**

**TRACKING PAD**

**STATE OF WISCONSIN  
 DEPARTMENT OF TRANSPORTATION**

APPROVED: [Signature] DATE: [Date]  
 [Signature] Jerry H. Zogg  
 CHIEF ROADWAY DEVELOPMENT ENGINEER

SDD 08E14 - 01

SDD 08E14 - 01

**REVISED PLANS  
 RECEIVED  
 12/20/2023**

# Bowman

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 10 South LaSalle Street  
 Suite 2110  
 Chicago, IL 60603  
 Phone: (312) 614-0380  
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**EROSION CONTROL DETAILS  
 EQUIPMENTSHARE  
 NORTH STAR ROAD  
 COTTAGE GROVE, WI 53527**

040089-01-002

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

PLAN STATUS

DATE	DESCRIPTION
AS DESIGN	OR DRAWN
	PK CHKD

SCALE: N/A

JOB No. 040089-01-002

DATE: 09/06/2023

FILE: 040089-01-002 ECP.dwg

FILE NO. C3.1

SHEET NO. 6 OF 13

DANE COUNTY

COTTAGE GROVE, WI

### PROPOSED LEGEND

- PROPOSED BUILDING
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- GRAVEL YARD
- SIDEWALK
- SECURITY FENCE
- SITE LIGHT

### EXISTING LEGEND

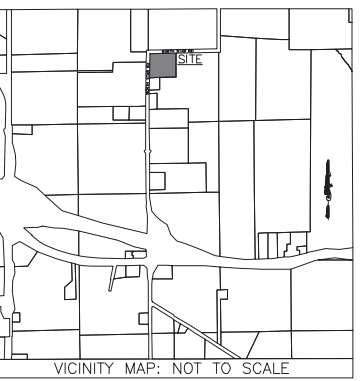
- EXISTING WATER LINE # W
- PROPERTY BOUNDARY
- EXISTING SETBACK
- EXISTING POND
- EXISTING FACE OF CURB
- EXISTING SANITARY SEWER LINE # SS
- EXISTING STORM SEWER LINE
- EXISTING OVERHEAD ELECTRIC OHE
- EXISTING POWER POLE & GUY WIRE
- EXISTING FIRE HYDRANT
- EXISTING SIGN
- EXISTING ELECTRIC BOX
- EXISTING BUSH
- EXISTING TREES
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE

### GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB, PROPERTY LINE OR CENTERLINE OF STRIPING UNLESS OTHERWISE NOTED.
- ALL EXISTING EASEMENTS, RIGHTS-OF-WAY, AND LOT LINES MAY NOT BE SHOWN. REFER TO THE ALTA/NSP LAND TITLE SURVEY PREPARED BY AMERICAN NATIONAL DATED JUNE 21, 2023 FOR COMPLETE BOUNDARY INFORMATION AND ASSOCIATED ENCUMBRANCES.
- A PRE-CONSTRUCTION MEETING WITH CITY ENGINEER SHALL BE HELD PRIOR TO CONSTRUCTION COMMENCEMENT.
- ALL MECHANICAL EQUIPMENT TO BE ROOF MOUNTED AND SCREENED FROM THE STREET.
- CONTRACTOR TO PROVIDE AS-BUILTS OF ALL IMPROVEMENTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES. IN ADDITION TO THE AFOREMENTIONED CRITERIA AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCTION.
- ALL AFFECTED SIDEWALKS, RAMPS AND CROSSWALKS, WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.
- BUILDING SETBACK DIMENSIONS MEASURED TO OUTERMOST ARCHITECTURAL FEATURE. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL CURB RADI ARE 5' UNLESS SHOWN OTHERWISE.
- PRIOR TO INSTALLATION, CONTRACTOR MUST VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING AND UTILITIES.
- ROW PERMITS REQUIRED FOR WORK WITHIN ROW.

### FLOOD STATEMENT

ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO.55025C0462H DATED SEPTEMBER 17, 2014 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DANE, WISCONSIN, THIS PROPERTY IS WITHIN ZONE X.



### SITE DATA TABLE

PROJECT NAME	EQUIPMENTSHARE
EXISTING ZONING	GC GENERAL COMMERCIAL
PROPOSED USE	M1 MANUFACTURING & INDUSTRIAL
LOT AREA/SF AND AC	228,563 SF/5.25 AC
BUILDING AREA (GROSS SQUARE FOOTAGE)	9,400 SF
TOTAL PARKING REQUIRED	1 PARKING SPACE PER 500 SF OF GFA
TOTAL PARKING PROVIDED	1:500 = 9,400/500 = 19
BUILDING SETBACK	25 (INCLUDING ACCESSIBLE STALLS)
IMPERVIOUS LAND COVER	30'
PERVIOUS LAND COVER	155,509 SF / 67%
	77,275 SF / 33%

### NOTES

- 1N PARKING STALL STRIPING
- 2N SECURITY FENCING
- 3N 30' SLIDING GATE
- 4N END CURB
- 5N HEAVY DUTY CONCRETE PAVEMENT
- 6N LIGHT DUTY CONCRETE PAVEMENT
- 7N FUEL ISLAND (REFER TO BUILDING PLANS)
- 8N LIGHT POLES
- 9N ELECTRIC VEHICLE CHARGING STATION
- 10N SWALE
- 11N PROPOSED SEPTIC FIELD
- 12N PROPOSED WELL
- 13N VEGETATED FILTER STRIP
- 14N REVERSE SLOPE CURB AND GUTTER

### DETAILS

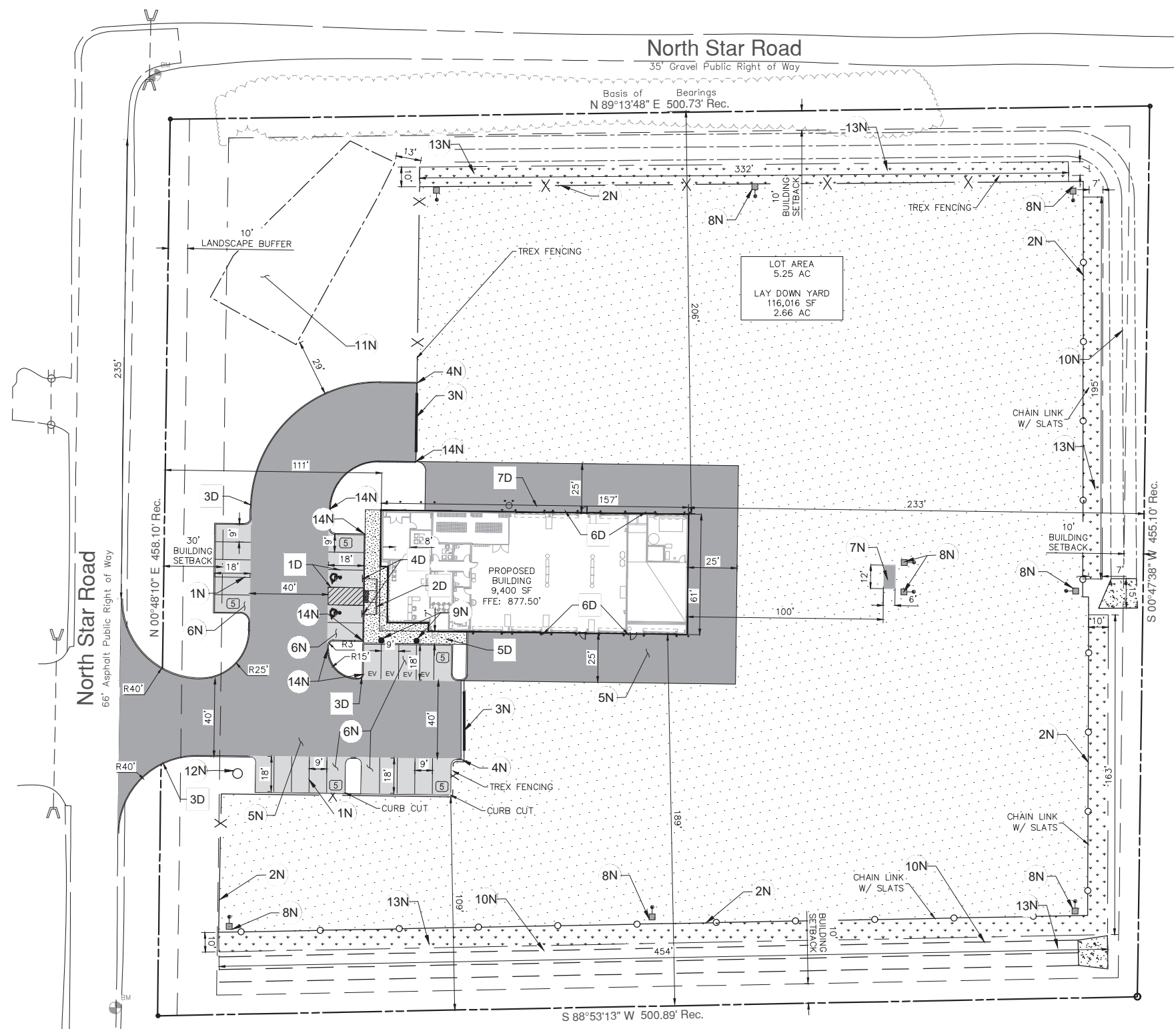
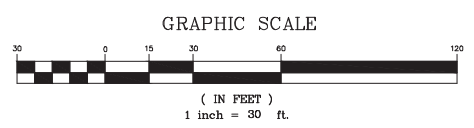
- 1D ADA PARKING AND STRIPING
- 2D ADA RAMP
- 3D 6" CONCRETE CURB & GUTTER
- 4D ADA SIGN
- 5D SIDEWALK
- 6D CONCRETE BOLLARDS
- 7D AIR COMPRESSOR

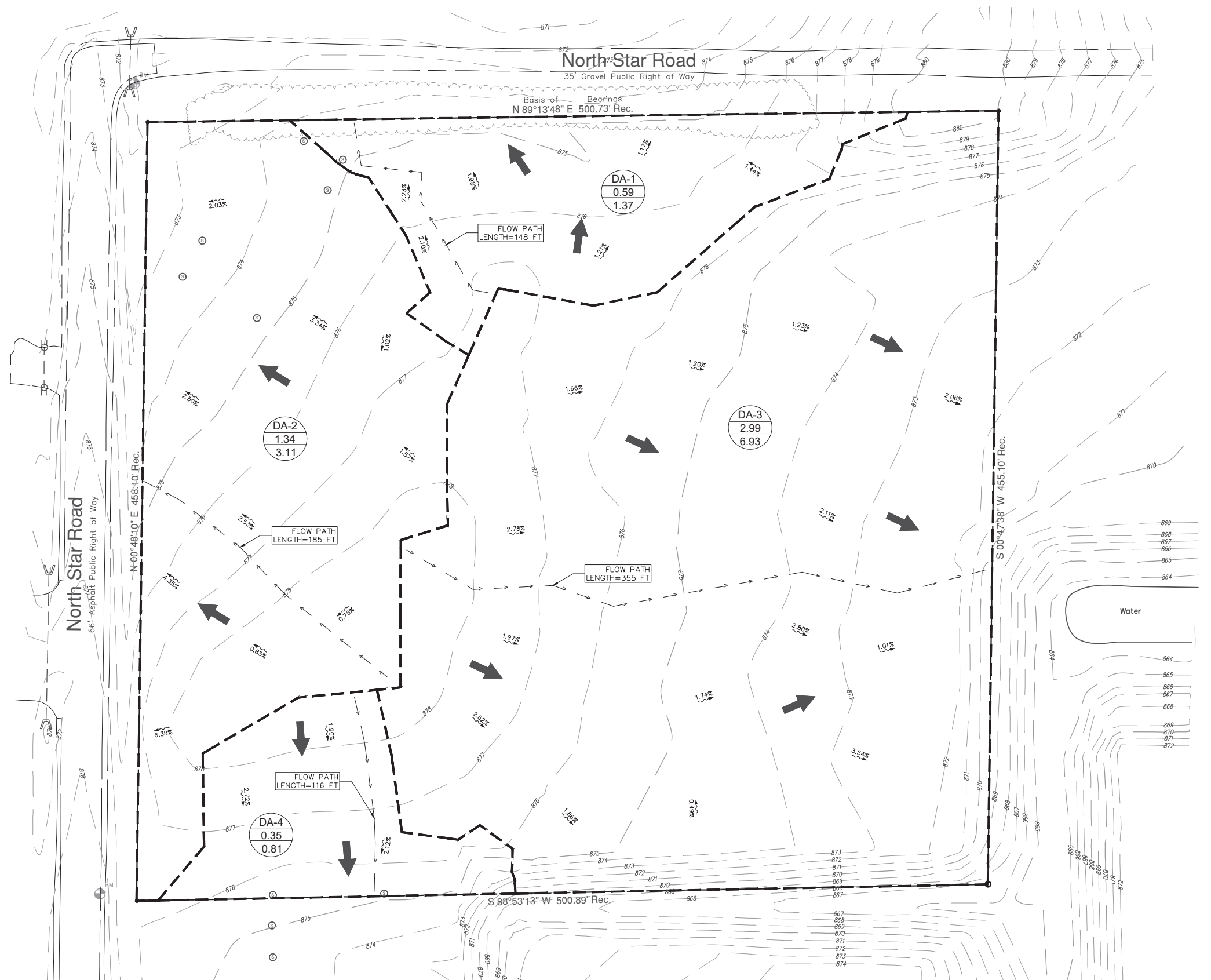
### PAVING LEGEND

- DRIVEWAY & FUEL ISLAND  
HEAVY DUTY CONCRETE
- 7" PCC OVER 6" LIME TREATED SUBGRADE  
NO. 4 REBAR @ 18" O.C.E.W.
- PARKING AREA  
LIGHT DUTY CONCRETE  
5" PCC OVER 6" REWORKED SUBGRADE  
NO. 3 REBAR @ 18" O.C.E.W.
- GRAVEL YARD PAVING REQUIREMENTS  
FROM GEOTECH

REFER TO GEOTECHNICAL REPORT ECS SOUTHWEST LLP DATED 07/31/2023 FOR MORE DETAILS

**REVISED PLANS  
 RECEIVED  
 12/20/2023**





DRAINAGE LEGEND

- SLOPE OF FLOW 2.30%
- DRAINAGE AREA BOUNDARY - - - - -
- DRAINAGE AREA IDENTIFIER 

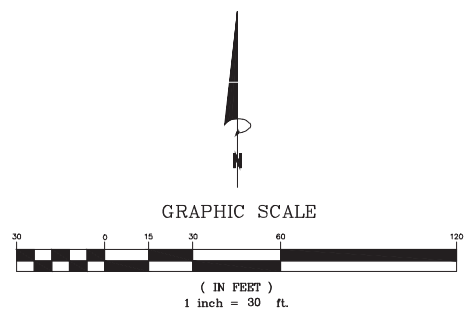
DA-1	I.D.
2.55	Area (acres)
3.97	Q 100 (cfs)
- EXISTING CONTOURS - 825 -
- DIRECTION OF FLOW ➔

FLOOD STATEMENT  
 ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO.55025C0462H DATED SEPTEMBER 17TH, 2014 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DANE COUNTY, WISCONSIN, THIS PROPERTY IS WITHIN ZONE X.

EXISTING LEGEND

- EXISTING WATER LINE — # W —
- PROPERTY BOUNDARY - - - - -
- EXISTING SETBACK - - - - -
- EXISTING POND ○
- EXISTING FACE OF CURB —
- EXISTING SANITARY SEWER LINE — # SS —
- EXISTING STORM SEWER LINE - - - - -
- EXISTING OVERHEAD ELECTRIC — OHE —
- EXISTING POWER POLE & GUY WIRE ⊕
- EXISTING FIRE HYDRANT ⊕
- EXISTING SIGN □
- EXISTING ELECTRIC BOX □
- EXISTING BUSH ⊙
- EXISTING TREES ⊙
- EXISTING SANITARY MANHOLE ⊕
- EXISTING STORM MANHOLE ⊕

**REVISED PLANS RECEIVED 12/20/2023**



PRE DEVELOPMENT CONDITIONS

Drainage Area	Area (ac.)	Time of Concentration (min)	1 Year Runoff Coefficient	1 Year Intensity (in/hr)	1 Year Runoff (cfs)	2 Year Runoff Coefficient	2 Year Intensity (in/hr)	2 Year Runoff (cfs)	10 Year Runoff Coefficient	10 Year Intensity (in/hr)	10 Year Runoff (cfs)	100 Year Runoff Coefficient	100 Year Intensity (in/hr)	100 Year Runoff (cfs)	200 Year Runoff Coefficient	200 Year Intensity (in/hr)	200 Year Runoff (cfs)
DA-1	0.59	6.00	0.30	2.49	0.44	0.30	2.84	0.50	0.30	4.09	0.72	0.30	6.66	1.18	0.30	7.53	1.33
DA-2	1.34	14.50	0.30	2.49	1.00	0.30	2.84	1.14	0.30	4.09	1.64	0.30	6.66	2.68	0.30	7.53	3.03
DA-3	2.99	10.00	0.30	2.49	2.23	0.30	2.84	2.55	0.30	4.09	3.67	0.30	6.66	5.97	0.30	7.53	6.75
DA-4	0.35	6.00	0.30	2.49	0.26	0.30	2.84	0.30	0.30	4.09	0.43	0.30	6.66	0.70	0.30	7.53	0.79
<b>Total Flow</b>					<b>3.94</b>			<b>4.49</b>			<b>6.47</b>			<b>10.53</b>			<b>11.90</b>

\*24 hr duration



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PRE DEVELOPMENT DRAINAGE AREA MAP  
 EQUIPMENT SHARE  
 NORTH STAR ROAD  
 COTTAGE GROVE, WI 53527

040089-01-002

PRELIMINARY NOT FOR CONSTRUCTION

PLAN STATUS

DATE	COUNTY COMMENTS DESCRIPTION
12/20/23	

AS DESIGN OR DRAWN OR PK CHKD

SCALE: 1"=30'

JOB No. 040089-01-002

DATE: 09/06/2023

FILE: 040089-01-002 PREDEV.dwg

FILE NO. **C5.0**

SHEET NO. **8** OF **13**



### DRAINAGE LEGEND

- SLOPE OF FLOW 2.30%
- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA IDENTIFIER I.D. Area (acres)  
Q 100 (cfs)
- PROPOSED CONTOURS 430
- EXISTING CONTOURS 430
- DIRECTION OF FLOW

### FLOOD STATEMENT

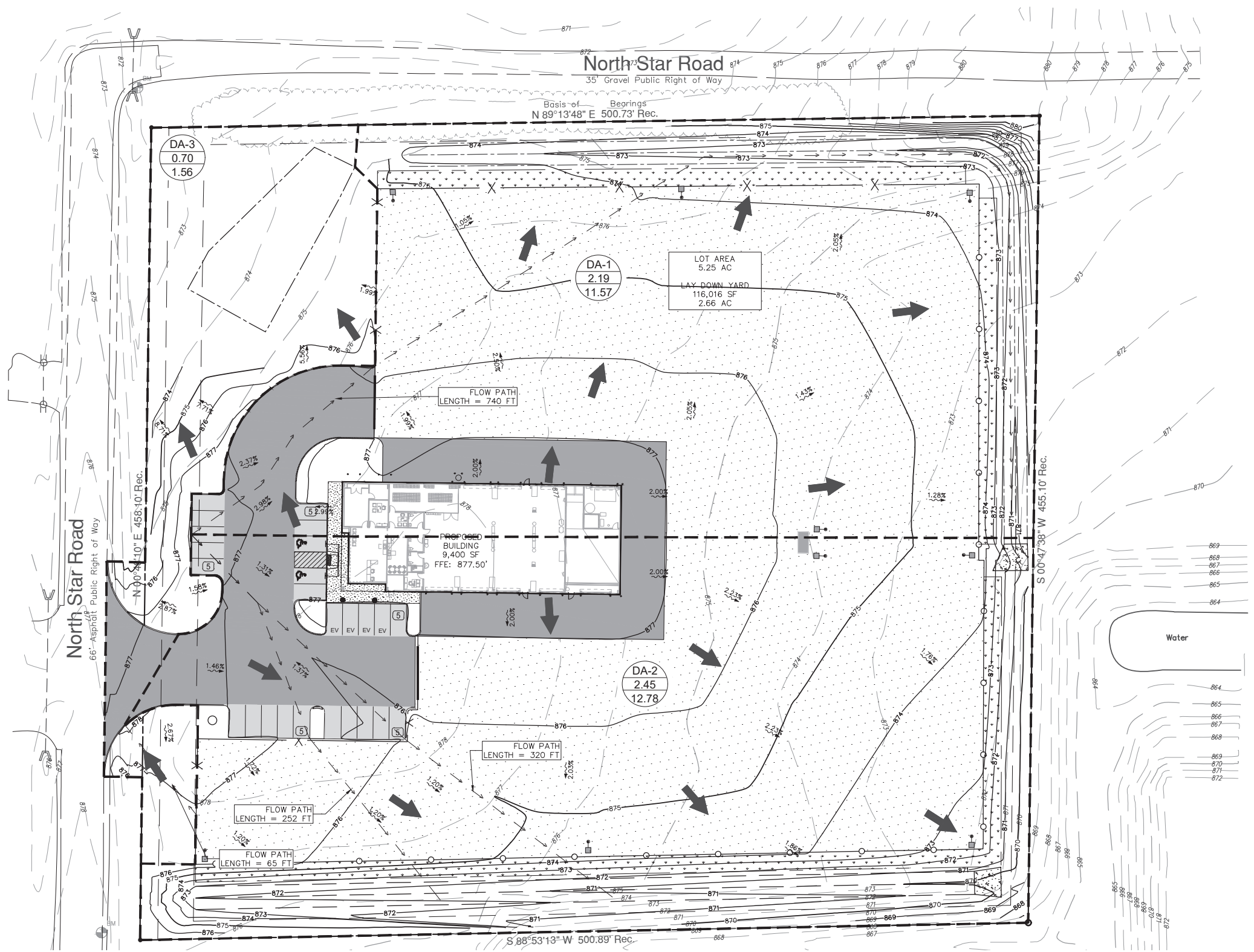
ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO.55025C0462H DATED SEPTEMBER 17TH, 2014 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DANE COUNTY, WISCONSIN, THIS PROPERTY IS WITHIN ZONE X.

### EXISTING LEGEND

- EXISTING WATER LINE # W
- PROPERTY BOUNDARY
- EXISTING SETBACK
- EXISTING POND
- EXISTING FACE OF CURB
- EXISTING SANITARY SEWER LINE # SS
- EXISTING STORM SEWER LINE
- EXISTING OVERHEAD ELECTRIC OHE
- EXISTING POWER POLE & GUY WIRE
- EXISTING FIRE HYDRANT
- EXISTING SIGN
- EXISTING ELECTRIC BOX
- EXISTING BUSH
- EXISTING TREES
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE

### PROPOSED IMPERVIOUS AREA CALCULATIONS

- PROPOSED IMPERVIOUS AREA = 3.57 AC (67%)
- PROPOSED OPEN SPACE AREA = 1.77 AC (33%)



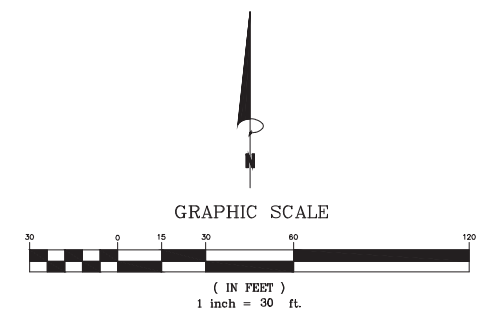
### POST DEVELOPMENT CONDITIONS

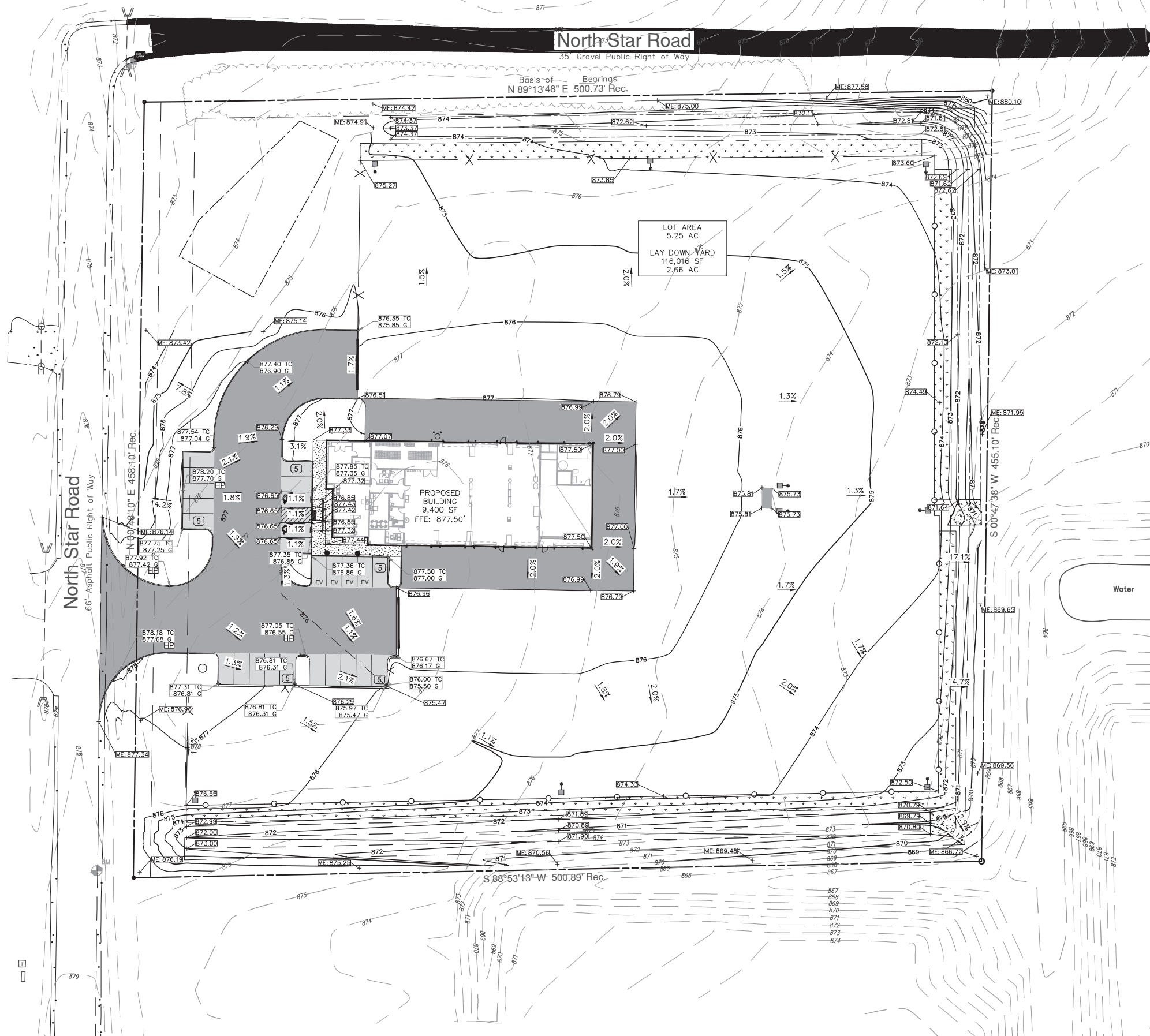
Drainage Area	Drainage Area	Area (ac.)	Time of Concentration (min)	1 Year Runoff Coefficient	1 Year Intensity (in/hr)	1 Year Runoff (cfs)	2 Year Runoff Coefficient	2 Year Intensity (in/hr)	2 Year Runoff (cfs)	10 Year Runoff Coefficient	10 Year Intensity (in/hr)	10 Year Runoff (cfs)	100 Year Runoff Coefficient	100 Year Intensity (in/hr)	100 Year Runoff (cfs)	200 Year Runoff Coefficient	200 Year Intensity (in/hr)	200 Year Runoff (cfs)
DA-1	IMPERVIOUS	1.69	14.00	0.90	2.49	3.79	0.90	2.84	4.32	0.90	4.09	6.22	0.90	6.66	10.13	0.90	7.53	11.45
	PERVIOUS	0.50	14.00	0.43	2.49	0.54	0.43	2.84	0.62	0.43	4.09	0.89	0.43	6.66	1.44	0.43	7.53	1.63
DA-2	IMPERVIOUS	1.84	7.80	0.90	2.49	4.12	0.90	2.84	4.70	0.90	4.09	6.77	0.90	6.66	11.03	0.90	7.53	12.47
	PERVIOUS	0.61	7.80	0.43	2.49	0.65	0.43	2.84	0.74	0.43	4.09	1.07	0.43	6.66	1.75	0.43	7.53	1.98
DA-3	IMPERVIOUS	0.04	6.00	0.90	2.49	0.09	0.90	2.84	0.10	0.90	4.09	0.15	0.90	6.66	0.24	0.90	7.53	0.27
	PERVIOUS	0.66	6.00	0.30	2.49	0.49	0.30	2.84	0.56	0.30	4.09	0.81	0.30	6.66	1.32	0.30	7.53	1.49
Total Flow						9.69		11.05			15.91			25.91			29.29	

DIFFERENCE IN RUNOFF (EXISTING VS PROPOSED)				
1 Year Runoff (cfs)	2 Year Runoff (cfs)	10 Year Runoff (cfs)	100 Year Runoff (cfs)	200 Year Runoff (cfs)
5.75	6.56	9.44	15.38	17.39

Runoff to Swale - DA-1					
Drainage Area	Area (ac.)	2 Year Runoff Coefficient	2 Year Intensity (in/hr)	2 Year Runoff (cfs)	
DA-1	IMPERVIOUS	1.69	0.90	2.84	4.32
	PERVIOUS	0.50	0.43	2.84	0.62
Total Flow				4.94	

Runoff to Swale - DA-2					
Drainage Area	Area (ac.)	2 Year Runoff Coefficient	2 Year Intensity (in/hr)	2 Year Runoff (cfs)	
DA-2	IMPERVIOUS	1.84	0.90	2.84	4.70
	PERVIOUS	0.61	0.43	2.84	0.74
Total Flow				5.45	





**PROPOSED GRADING LEGEND**

- PROPERTY LINE
- PROPOSED BUILDING
- PROPOSED CONTOUR
- EXISTING CONTOUR
- DIRECTION OF FLOW
- SPOT ELEVATION
- TOP & BACK OF CURB ELEVATION

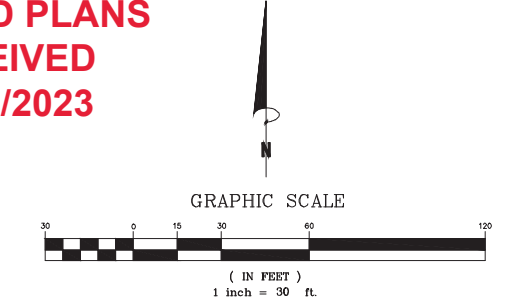
**EXISTING LEGEND**

- EXISTING WATER LINE
- PROPERTY BOUNDARY
- EXISTING SETBACK
- EXISTING POND
- EXISTING FACE OF CURB
- EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING POWER POLE & GUY WIRE
- EXISTING FIRE HYDRANT
- EXISTING SIGN
- EXISTING ELECTRIC BOX
- EXISTING BUSH
- EXISTING TREES
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE

**GRADING & DRAINAGE NOTES**

1. CONTRACTOR SHALL SAWCUT AND REPAIR 2\"/>
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS, AND/OR FROM UTILITY OWNERS. THE OWNER DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND/OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILTS AND DEBRIS.
4. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
5. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
6. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6\"/>
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTIONS ACTIVITIES.
8. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND FOR ALL NATURAL AND PAVED AREAS.
9. ALL SUBSURFACE AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL RESTORE ALL GRASS DISTURBED AREAS IN ACCORDANCE WITH JURISDICTION SPECIFICATIONS UNTIL HEALTHY STAND OF GRASS IS OBTAINED.
10. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
11. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT PROVIDED BY THE OWNER.
12. CONTRACTOR TO PROVIDE AS-BUILTS OF ALL IMPROVEMENTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES. IN ADDITION TO THE AFOREMENTIONED CRITERIA AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCTION.
13. ALL PROPOSED SPOT ELEVATIONS ARE PAVEMENT GRADES, UNLESS OTHERWISE NOTED, TOP OF CURB ELEVATIONS ARE 6 INCH ABOVE ELEVATIONS SHOWN ON THIS PLAN.
14. ALL ELEVATIONS PRESENTED IN THESE PLANS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF NAVD 88.
15. CONTRACTOR TO MAINTAIN 1\"/>
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING CONSTRUCTION ACTIVITIES TO ENSURE THAT PUBLIC STREETS AND RIGHT-OF-WAYS ARE KEPT CLEAN OF MUD, DUST OR DEBRIS. DUST ABATEMENT SHALL BE MAINTAINED BY ADEQUATE WATERING OF THE SITE BY THE CONTRACTOR.
17. CLEAR AND GRUB WITHIN WORK LIMITS FOR ALL SURFACE VEGETATION, TREES, STUMPS, BRUSH, ROOTS, ETC. DO NOT DAMAGE OR REMOVE TREES EXCEPT AS APPROVED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS. PROTECT ALL ROOTS TWO INCHES IN DIAMETER OR LARGER.
18. STRIP WORK LIMITS, REMOVING ALL ORGANIC MATTER WHICH CANNOT BE COMPACTED INTO A STABLE MASS. ALL TREES, BRUSH, AND DEBRIS ASSOCIATED WITH CLEARING, STRIPPING OR GRADING SHALL BE REMOVED AND DISPOSED OFF SITE BY THE CONTRACTOR.
19. ALL EXISTING AND CONSTRUCTED MANHOLES, CLEANOUTS, MONUMENTS, GAS VALVES, WATER VALVES, AND SIMILAR STRUCTURES SHALL BE ADJUSTED TO MATCH FINISH GRADE OF THE PAVEMENT, SIDEWALK, LANDSCAPED AREA, OR MEDIAN STRIP WHEREIN THEY LIE.
20. THIS PROJECT WONT REQUIRE ANY ONSITE DETENTION.

**REVISED PLANS  
RECEIVED  
12/20/2023**



**Bowman**

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**GRADING AND DRAINAGE PLAN  
EQUIPMENTSHARE  
NORTH STAR ROAD  
COTTAGE GROVE, WI 53527**

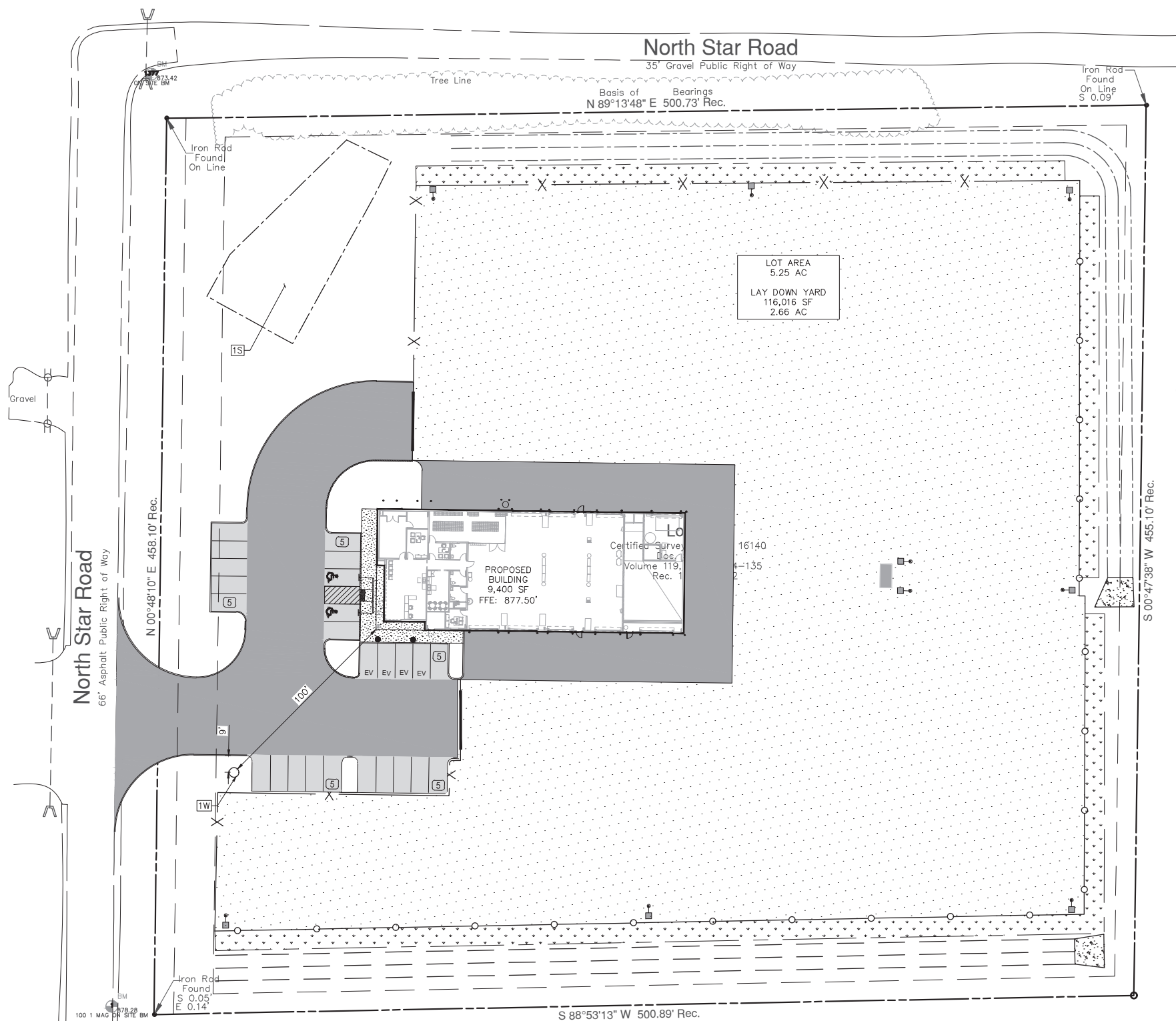
040089-01-002

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PLAN STATUS

12/20/23 COUNTY COMMENTS	
DATE	DESCRIPTION
AS DESIGN	OR DRAWN
PK CHKD	
SCALE: 1"=30'	
JOB No. 040089-01-002	
DATE: 09/06/2023	
FILE: 040089-01-002 GRD.dwg	
FILE NO. <b>C7.0</b>	
SHEET NO. 10 OF 13	

User: A5184944 Rev: 04/06/2023 Date: 12/21/2023 10:11:14 Drawing: V:\040089 - Equipment Share\040089-01-002.dwg - Cottage Grove, WI\Engineering\Engineering\Share\040089-01-002.dwg UTP.dwg



**Lot 2**  
 Certified Survey Map. No. 16140  
 Doc. 5870098  
 Volume 119, Pages 134-135  
 Rec. 10/25/2022

**Lot 4**  
 Certified Survey Map. No. 16140  
 Doc. 5870098  
 Volume 119, Pages 134-135  
 Rec. 10/25/2022

**Lot 4**  
 Certified Survey Map. No. 16140  
 Doc. 5870098  
 Volume 119, Pages 134-135  
 Rec. 10/25/2022

NOTE: WELL WATER AND SEPTIC SYSTEM WILL BE PROPOSED FOR THIS PROJECT BY OTHERS

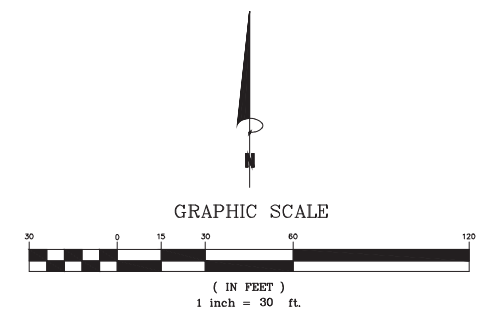
**WATER SERVICE NOTES**

1W. PROPOSED WATER WELL

**SANITARY SEWER SERVICE NOTES**

1S. PROPOSED SEPTIC FIELD PER COTTAGE GROVE RURAL BUSINESS LOTS SHEET C-2. PROTECT FROM GRADING.

**REVISED PLANS RECEIVED 12/20/2023**



12/20/23 COUNTY COMMENTS	
DATE	DESCRIPTION
AS DESIGN	OR DRAWN
	PK CHKD
SCALE: 1"=30'	
DATE: 09/06/2023	
JOB No. 040089-01-002	
FILE: 040089-01-002 UTP.dwg	
FILE NO. <b>C8.0</b>	
SHEET No. 11 OF 13	

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DANE COUNTY

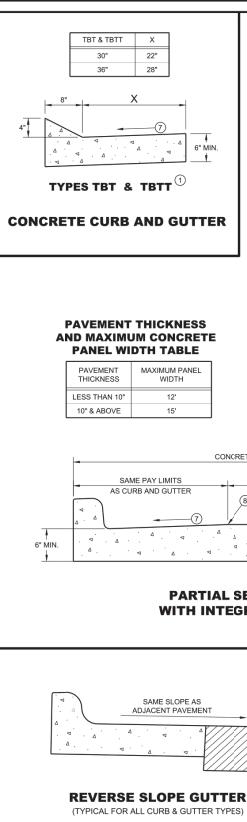
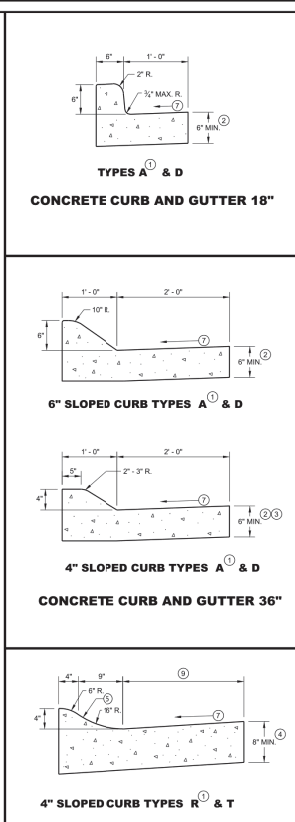
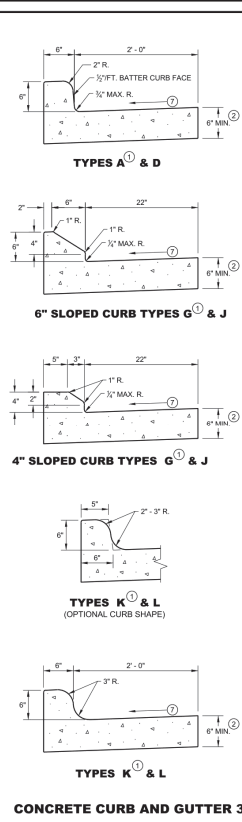
UTILITY PLAN  
 EQUIPMENTSHARE  
 NORTH STAR ROAD  
 COTTAGE GROVE, WI 53527

040089-01-002

PRELIMINARY NOT FOR CONSTRUCTION

PLAN STATUS

SDD 08D001 - 23a



**GENERAL NOTES**

DETAILS OF CONSTRUCTION AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE CONTRACT.

PAVEMENT TIES AND THE BARS SHALL BE EPOXY COATED IN CONFORMANCE WITH SUBSECTION 505.2.2 OF THE STANDARD SPECIFICATIONS.

INTEGRAL CURBS AND GUTTERS SHALL CONFORM TO THE DETAILS SHOWN FOR CONCRETE CURBS AND GUTTERS INCLUDING THE TRANSVERSE GUTTER SLOPE.

UNLESS OTHERWISE SHOWN ON THE TYPICAL CROSS SECTIONS, THE BASE AGGREGATE AND COMMON EXCAVATION LIMITS ARE 2'-0" BEHIND THE BACK OF CURBS.

- THE BARS ARE REQUIRED FOR CURBS AND GUTTERS TYPES A, G, K, R, AND TBT.
- THE BOTTOM OF CURBS AND GUTTERS MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MINIMUM GUTTER THICKNESS IS MAINTAINED.
- USE 1" MINIMUM GUTTER THICKNESS WHEN USED WITH AN ADJACENT CONCRETE TRUCK APRON PLACED BEHIND BACK OF CURB.
- THE BOTTOM OF CURBS AND GUTTERS MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MINIMUM GUTTER THICKNESS IS MAINTAINED.
- UNLESS OTHERWISE NOTED, FOR STAKING PURPOSES THE FACE OF CURB IS 8" FROM THE BACK OF CURB.
- WHEN REVERSE SLOPE GUTTER IS REQUIRED, THE LOCATION(S) WILL BE SHOWN ELSEWHERE IN THE PLAN.
- USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
- INCLUDE LONGITUDINAL JOINT AND THE BARS ALONG LANE EDGE WHEN CONCRETE PANEL WIDTH EXCEEDS THE MAXIMUM WIDTH PER TABLE BELOW. LONGITUDINAL JOINTS ARE NOT ALLOWED WITHIN TRAFFIC LANES AND BIKE LANES. LONGITUDINAL JOINT MAY BE SAVED.
- CONCRETE CURB AND GUTTER 4 INCH SLOPED 30 INCH TYPE "K" AND "T" = 17 INCHES
- CONCRETE CURB AND GUTTER 4 INCH SLOPED 36 INCH TYPE "R" AND "T" = 23 INCHES

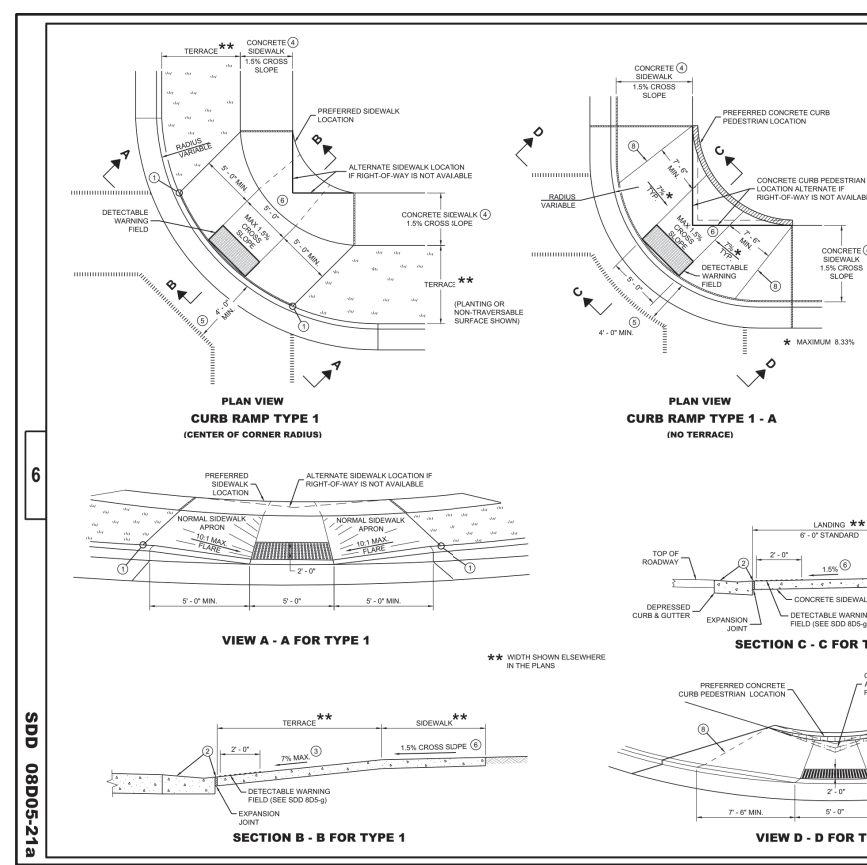
**PARTIAL SECTION OF PAVEMENT\* WITH INTEGRAL CURB AND GUTTER** \*BIKE LANE IS NOT SHOWN

**REVERSE SLOPE GUTTER** (TYPICAL FOR ALL CURB & GUTTER TYPES)

**CONCRETE CURB AND GUTTER**

STATE OF WISCONSIN  
DEPARTMENT OF TRANSPORTATION

SDD 08D001 - 23a



**GENERAL NOTES**

AVOID PLACING DRAINAGE STRUCTURES, JUNCTION BOXES OR OTHER OBSTRUCTIONS IN FRONT OF RAMP ACCESS AREAS.

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

TYPE 1 CURB RAMPS SHALL HAVE A NORMAL SIDEWALK APRON AND CURB ON BOTH SIDES OF RAMP.

DETECTABLE WARNING FIELD SHALL BE MEASURED AND PAID BY THE SQUARE FOOT AS "CURB RAMP DETECTABLE WARNING FIELD". THE CONCRETE PEDESTRIAN CURB, IF NEEDED, SHALL BE MEASURED AND PAID BY THE LINEAR FOOT AS "CONCRETE CURB PEDESTRIAN". CONCRETE SIDEWALK IN THE CURB RAMP AREA SHALL BE MEASURED AND PAID BY THE SQUARE FOOT AS CONCRETE SIDEWALK, INCLUDING THE AREA UNDER THE DETECTABLE WARNING FIELD.

SELECT CURB RAMP DETECTABLE WARNING FIELD MATERIALS AND DEVICES FROM THE DEPARTMENT'S APPROVED MATERIALS LIST. THE COLOR OF THE DETECTABLE WARNING FIELD IS SPECIFIED ELSEWHERE AND IS INCIDENTAL TO THE BID ITEM OF "CURB RAMP DETECTABLE WARNING FIELD".

DETECTABLE WARNING FIELDS THAT ARE INSTALLED AS A GROUP OR SIDE BY SIDE, SHALL BE FROM THE SAME MANUFACTURER.

SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

- THIS POINT IS AN EXTENSION OF OUTSIDE EDGE OF APPROACHING SIDEWALK WHERE IT MEETS THE BACK OF CONCRETE CURB. POINT LOCATION MAY BE ADJUSTED TO ALIGN WITH BEGINNING OF FULL-HEIGHT CURB IF THIS DISTANCE IS SHORT.
- GRADE CHANGE BETWEEN GUTTER FLAG SLOPE AND THE CURB RAMP SLOPE SHALL NOT EXCEED 11%. MAXIMUM GUTTER FLAG SLOPE IS 4%. PROVIDE LONGITUDINAL DRAINAGE AROUND CURB AND AWAY FROM CURB RAMP. NO VERTICAL LIPS OR DISCONTINUITIES GREATER THAN 1/8" INCH ARE ALLOWED. SLOPE OF CURB HEAD OPENING SHALL MATCH THE RAMP SLOPE. MINIMUM 1.5% AND NOT TO EXCEED 7% WHEN ADJACENT TO 1.5% LANDING. CONSTRUCT CURB HEAD OPENING AT 1.5% IN THE DIRECTION OF PEDESTRIAN TRAVEL.
- MAXIMUM 8.33% CURB RAMP SLOPE IS ALLOWABLE WITH FLATTENED GUTTER FLAG SLOPE AND NOT TO EXCEED 11% GRADE CHANGE.
- ±0.5% CONSTRUCTION TOLERANCE IN SIDEWALK CROSS SLOPE. THE SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- PROVIDE A LEVEL LANDING IN THE STREET AND GUTTER AREA (2% MAXIMUM SLOPE IN ANY DIRECTION) WHEN THE GUTTER SLOPE EXCEEDS 2%. CONSTRUCT THE LEVEL LANDING IN THE STREET AREA. 4 FOOT WIDTH IS MEASURED FROM THE FLANGE LINE.
- PROVIDE A LEVEL LANDING (MAXIMUM 2% SLOPE) IN ANY DIRECTION OF PEDESTRIAN TRAVEL. STANDARD LEVEL LANDING SIZE IS 5 FEET BY 5 FEET.
- PROVIDE GRADE BREAK PERPENDICULAR TO DIRECTION OF WHEELCHAIR TRAVEL.

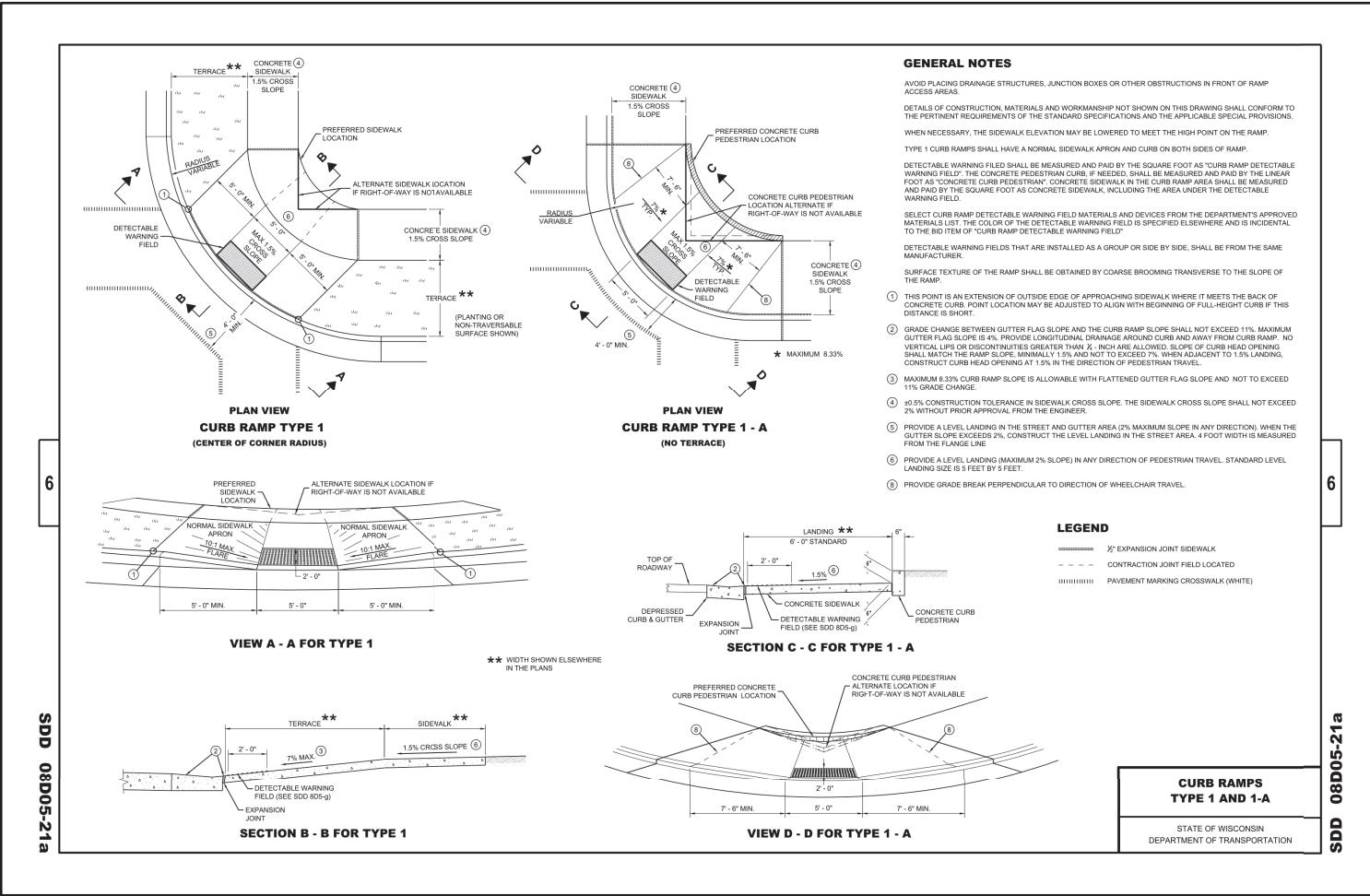
**LEGEND**

- 2" EXPANSION JOINT SIDEWALK
- - - CONSTRUCTION JOINT FIELD LOCATED
- |||||| PAVEMENT MARKING CROSSWALK (WHITE)

**CURB RAMPS TYPE 1 AND 1-A**

STATE OF WISCONSIN  
DEPARTMENT OF TRANSPORTATION

SDD 08D05-21a



**GENERAL NOTES**

AVOID PLACING DRAINAGE STRUCTURES, JUNCTION BOXES OR OTHER OBSTRUCTIONS IN FRONT OF RAMP ACCESS AREAS.

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

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- ±0.5% CONSTRUCTION TOLERANCE IN SIDEWALK CROSS SLOPE. THE SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- PROVIDE A LEVEL LANDING IN THE STREET AND GUTTER AREA (2% MAXIMUM SLOPE IN ANY DIRECTION) WHEN THE GUTTER SLOPE EXCEEDS 2%. CONSTRUCT THE LEVEL LANDING IN THE STREET AREA. 4 FOOT WIDTH IS MEASURED FROM THE FLANGE LINE.
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- PROVIDE GRADE BREAK PERPENDICULAR TO DIRECTION OF WHEELCHAIR TRAVEL.

**LEGEND**

- 2" EXPANSION JOINT SIDEWALK
- - - CONSTRUCTION JOINT FIELD LOCATED
- |||||| PAVEMENT MARKING CROSSWALK (WHITE)

**CURB RAMPS TYPE 1 AND 1-A**

STATE OF WISCONSIN  
DEPARTMENT OF TRANSPORTATION

SDD 08D05-21a

REVISED PLANS RECEIVED 12/20/2023



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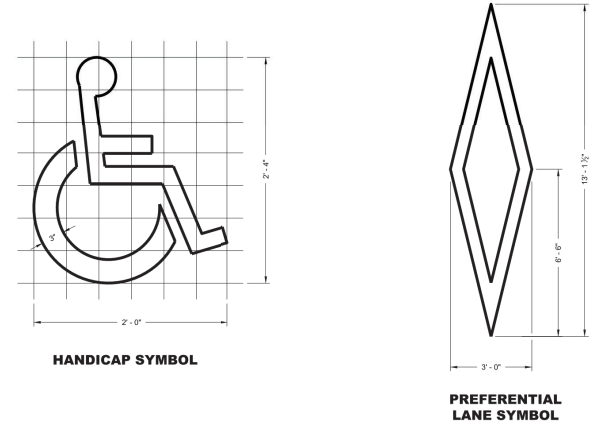
CONSTRUCTION DETAILS  
EQUIPMENTSHARE  
NORTH STAR ROAD  
COTTAGE GROVE, WI 53527

040089-01-002  
PRELIMINARY NOT FOR CONSTRUCTION  
PLAN STATUS

12/20/23	COUNTY COMMENTS
DATE	DESCRIPTION
AS DESIGN	OR PK
DESIGN	DRAWN CHKD
SCALE:	N/A
JOB No.	040089-01-002
DATE:	09/06/2023
FILE:	040089-01-002 DET.dwg
FILE NO.	C9.0
SHEET NO.	12 OF 13

**SDD 15C07-a Pavement Marking Symbols**

**GENERAL NOTES**  
 DETAILS OF INSTALLATION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.



**PAVEMENT MARKING SYMBOLS**

STATE OF WISCONSIN  
 DEPARTMENT OF TRANSPORTATION

APPROVED  
 November 2019 *RS Matthew Rauch*  
 DATE STATE SIGNING AND MARKING ENGINEER

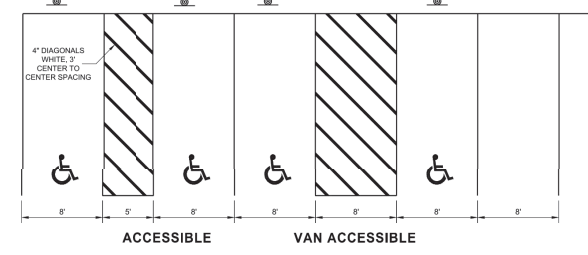
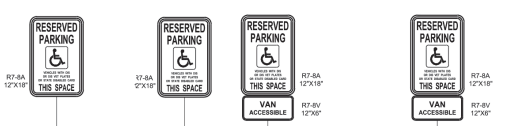
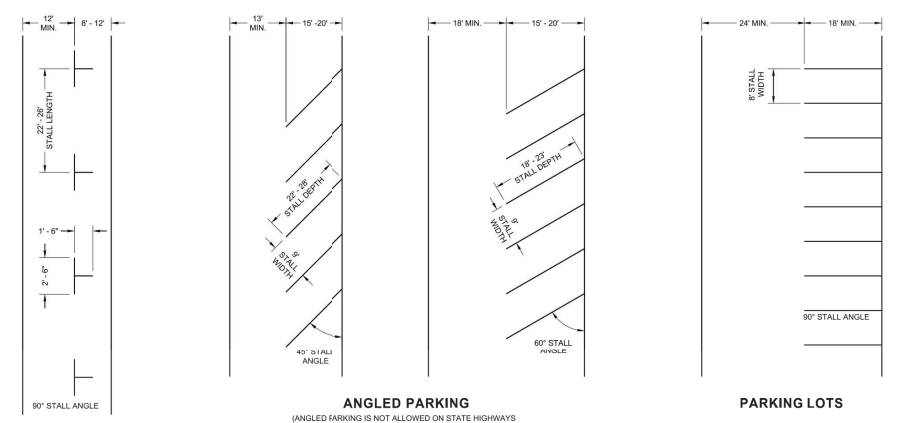
SDD 15C07 - 15a

SDD 15C07 - 15a

**SDD 15C36 Parking Stall Marking**

**GENERAL NOTES**  
 ALL LINES 4" WHITE (UNLESS OTHERWISE NOTED).  
 LAST PARKING STALL IS A MINIMUM OF 15' FROM THE CROSSWALK.

**LEGEND**  
 SIGN ON PERMANENT SUPPORT



**PARKING STALL MARKING**

STATE OF WISCONSIN  
 DEPARTMENT OF TRANSPORTATION

APPROVED  
 August 2019 *RS Matthew Rauch*  
 DATE STATE SIGNING AND MARKING ENGINEER

SDD 15C36 - 01

SDD 15C36 - 01

**REVISED PLANS  
 RECEIVED  
 12/20/2023**



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CONSTRUCTION DETAILS  
 EQUIPMENTSHARE  
 NORTH STAR ROAD  
 COTTAGE GROVE, WI 53527

040089-01-002

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

PLAN STATUS

12/20/23 COUNTY COMMENTS

DATE	DESCRIPTION
AS DESIGN	OR DRAWN
PK CHKD	
SCALE:	N/A
JOB No.	040089-01-002
DATE:	09/06/2023
FILE:	040089-01-002 DET.dwg
FILE NO.	C9.1
SHEET NO.	13 OF 13