

# Dane County Rezone & Conditional Use Permit

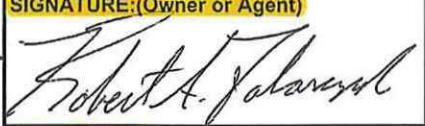
<b>Application Date</b>	<b>Petition Number</b>
04/18/2019	DCPREZ-2019-11428
<b>Public Hearing Date</b>	<b>C.U.P. Number</b>
06/25/2019	

<b>OWNER INFORMATION</b>	<b>AGENT INFORMATION</b>
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OWNER NAME TARA L RINDY	PHONE (with Area Code) (608) 636-4938	AGENT NAME BOB TALARCZYK	PHONE (with Area Code) (608) 527-5216
BILLING ADDRESS (Number & Street) 418 PEERLESS RD		ADDRESS (Number & Street) W5105 KUBLY RD	
(City, State, Zip) BELLEVILLE, WI 53508		(City, State, Zip) NEW GLARUS, WI 53574	
E-MAIL ADDRESS		E-MAIL ADDRESS BOB@TALARCZYKSURVEYS.COM	

ADDRESS/LOCATION 1		ADDRESS/LOCATION 2		ADDRESS/LOCATION 3	
ADDRESS OR LOCATION OF REZONE/CUP		ADDRESS OR LOCATION OF REZONE/CUP		ADDRESS OR LOCATION OF REZONE/CUP	
418 PEERLESS RD		SOUTHEAST OF 418 PEERLESS RD			
TOWNSHIP PRIMROSE	SECTION 25	TOWNSHIP PRIMROSE	SECTION 25	TOWNSHIP	SECTION
PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED	
0507-253-8700-0		0507-253-8502-0			

REASON FOR REZONE			CUP DESCRIPTION	
SHIFTING OF PROPERTY LINES BETWEEN ADJACENT LAND OWNERS				
FROM DISTRICT:	TO DISTRICT:	ACRES	DANE COUNTY CODE OF ORDINANCE SECTION	ACRES
RR-2 (Rural Residential, 2 to 4 acres) District	RR-4 (Rural Residential, 4 to 8 acres) District	2.59		
FP-35 (General Farmland Preservation) District	RR-4 (Rural Residential, 4 to 8 acres) District	3.36		

<b>C.S.M REQUIRED?</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Applicant Initials: <i>TR</i>	<b>PLAT REQUIRED?</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Applicant Initials: <i>TR</i>	<b>DEED RESTRICTION REQUIRED?</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Applicant Initials: <i>TR</i>	<b>INSPECTOR'S INITIALS</b>  SLJ3	<b>SIGNATURE: (Owner or Agent)</b> 
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<b>PRINT NAME:</b> Robert A. Talarczyk
<b>DATE:</b> 04/18/2019



DANE COUNTY  
**PLANNING & DEVELOPMENT**

Zoning Division  
Room 116, City-County Building  
210 Martin Luther King Jr. Blvd.  
Madison, Wisconsin 53703-3342  
Phone: (608) 266-4266  
Fax: (608) 267-1540

**Zoning Change Application**

Items that must be submitted with your application:

- o **Written Legal Description of the proposed Zoning Boundaries**  
Legal description of the land that is proposed to be changed. The description may be a lot in a plat, Certified Survey Map, or an exact metes and bounds description. A separate legal description is required for each zoning district proposed. The description shall include the area in acres or square feet.
- o **Scaled Drawing of the location of the proposed Zoning Boundaries**  
The drawing shall include the existing and proposed zoning boundaries of the property. All existing buildings shall be shown on the drawing. The drawing shall include the area in acres or square feet.

Owner's Name	Dan Rindy (Tara Rindy & Dave Heinz)	Agent's Name	Bob Talarczyk
Address	306 Peerless Rd, New Glarus, WI 53574	Address	W5105 Kubly Rd, New Glarus, WI 53574
Phone	(608) 636-4938	Phone	(608) 527-5216
Email		Email	bob@talarczyk-surveys.com

Town: Primrose Parcel numbers affected: 6507-253-8700-0 0507-253-8502-0

Section: 25 Property address or location: 418 Peerless Rd

Zoning District change: (To / From / # of acres) 3.36 FP-35 to RR-4 / 2.59 RR-2 to RR-4 Part being added to Lot 1, CSM 11659, from A1-(EX) to RH-2; Lot 1, CSM 11659 from existing to RH-2

Soil classifications of area (percentages) Class I soils: 0 % Class II soils: 80 % Other: 20 %

Narrative: (reason for change, intended land use, size of farm, time schedule)

Separation of buildings from farmland

Creation of a residential lot

Compliance for existing structures and/or land uses

Other:  
Enlarging existing rural lot to 5.95 acres.

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I authorize that I am the owner or have permission to act on behalf of the owner of the property.  
Submitted By: Robert A. Talarczyk Date: 04/18/2019



FP-35  
DCPREZ-2019-00004

RR-2  
DCPREZ-2019-00004

RR-4

FP-35  
DCPREZ-2019-00004





FP-35  
DCPREZ-2019-00004

RR-4  
DCPREZ-2019-00004

Pearless Rd

### Legend

Wetland > 2 Acres Significant Soils

-  Wetland
-  Class 1
-  Floodplain
-  Class 2



0 75 150 300 Feet

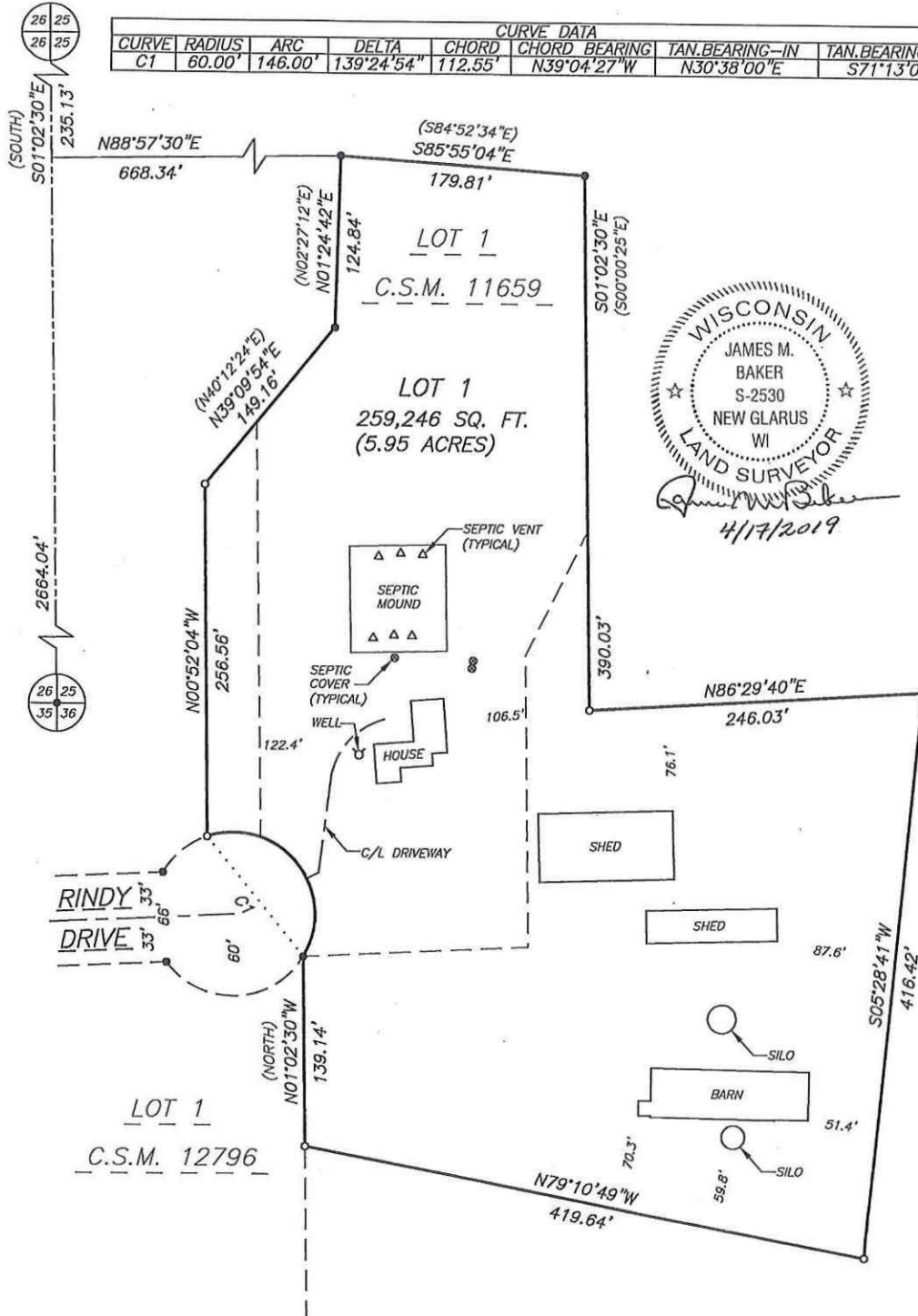
# Petition 11428 TARA L RINDY



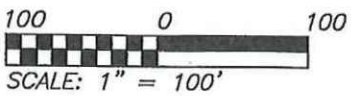
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Lot 1 of Certified Survey Map 11659 (Vol. 71, Pages 164-166) and other lands located in the Northwest 1/4 of the Southwest 1/4 of Section 25, Town 5 North, Range 7 East, Town of Primrose, Dane County, Wisconsin.

CURVE DATA							
CURVE	RADIUS	ARC	DELTA	CHORD	CHORD BEARING	TAN BEARING-IN	TAN BEARING-OUT
C1	60.00'	146.00'	139°24'54"	112.55'	N39°04'27"W	N30°38'00"E	S71°13'06"W



WISCONSIN  
JAMES M. BAKER  
S-2530  
NEW GLARUS  
WI  
LAND SURVEYOR  
4/17/2019



PREPARED FOR:  
Dan Rindy  
306 Peerless Road  
New Glarus, WI 53574  
(608) 636-4938

**TALARCZYK**  
LAND SURVEYS LLC  
W5105 Kubly Road  
New Glarus, WI 53574  
608-527-5216  
www.talarczyk-surveys.com

JOB NO. 19033  
POINTS 19033  
DRWG. 19033  
DRAWN BY JMB

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Lot 1 of Certified Survey Map 11659 (Vol. 71, Pages 164-166) and other lands located in the Northwest 1/4 of the Southwest 1/4 of Section 25, Town 5 North, Range 7 East, Town of Primrose, Dane County, Wisconsin, bounded and described as follows:

Commencing at the West 1/4 corner of said Section 25; thence S01°02'30"E along the West line of the Southwest 1/4 of Section 25, 235.13'; thence N88°57'30"E, 668.34' to the point of beginning; thence S85°55'04"E, 179.81'; thence S01°02'30"E, 390.03'; thence N86°29'40"E, 246.03'; thence S05°28'41"W, 416.42'; thence N79°10'49"W, 419.64'; thence N01°02'30"W, 139.14' to the Easterly right-of-way line of Rindy Drive; thence Northwesterly 146.00' along said right-of-way line and the arc of a curve to the left whose radius is 60.00' and whose chord bears N39°04'27"W, 112.55'; thence N00°52'04"W, 256.56'; thence N39°09'54"E, 149.16'; thence N01°24'42"E, 124.84' to the point of beginning; subject to any and all easements of record.

I hereby certify that this survey is in compliance with Chap. 236.34 of the Wis. Statutes, and that I have surveyed, monumented, and mapped the lands described hereon, and that this map is a correct representation thereof in accordance with the information provided.

April 17, 2019



  
James M. Baker, P.L.S.

**NOTES:**

- 1.) Bearings are referenced to the Wisconsin County Coordinate System, Dane County Zone, NAD83 (2011), in which the West line of the Southwest 1/4 of Section 25 bears S01°02'30"E.
- 2.) Recorded data, when different than measured, is shown in parenthesis.
- 3.) Refer to building site information contained in the Dane County Soil Survey.
- 4.) All PLSS witness monuments were found and verified as noted.

**LEGEND:**



1-1/4" x 30" solid round iron rod set, weighing 4.30 pounds per lineal foot (replaced 1-3/8" solid round iron rod found bent)



3/4" x 24" solid round iron rod set, weighing 1.50 pounds per lineal foot (replaced spike found bent)

- 3/4" solid round iron rod found
- 3/4" x 24" solid round iron rod set, weighing 1.50 pounds per lineal foot



W5105 Kubly Road  
New Glarus, WI 53574  
608-527-5216  
www.talarczyk-surveys.com

JOB NO. 19033  
POINTS 19033  
DRWG. 19033  
DRAWN BY JMB

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Lot 1 of Certified Survey Map 11659 (Vol. 71, Pages 164-166) and other lands located in the Northwest 1/4 of the Southwest 1/4 of Section 25, Town 5 North, Range 7 East, Town of Primrose, Dane County, Wisconsin.

### OWNERS' CERTIFICATE:

As owners, we hereby certify that we caused the land described on this Certified Survey Map to be surveyed, divided and mapped as represented on this Certified Survey Map. We also certify that this map is required by s.236.10 or s.236.12 Wisconsin Statutes and S.75.17(1)(a), Dane County Code of Ordinances to be submitted to the following for approval or objection: The Town of Primrose and the Dane County Zoning and Land Regulation Committee.

WITNESS the hand and seal of said owners this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

In presence of:

\_\_\_\_\_  
Dan L. Rindy

\_\_\_\_\_  
Charlotte M. Rindy

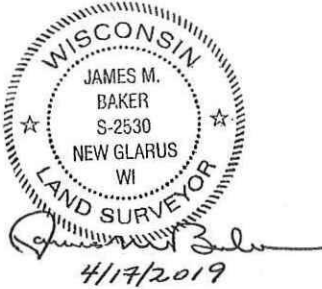
\_\_\_\_\_  
Tara L. Rindy

### STATE OF WISCONSIN)

\_\_\_\_\_ COUNTY) SS  
Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, the above named Dan L. Rindy, Charlotte M. Rindy and Tara L. Rindy to me known to be the same persons who executed the foregoing instrument and acknowledged the same.

My commission expires \_\_\_\_\_.

Notary Public, \_\_\_\_\_ County, Wisconsin



TOWNSHIP APPROVAL: This Certified Survey Map is approved for recording this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by the Town of Primrose.

\_\_\_\_\_  
Town Clerk

\_\_\_\_\_  
Town Chairperson

COUNTY APPROVAL: Approved for recording per Dane County Zoning and Land Regulation Committee action of \_\_\_\_\_, by \_\_\_\_\_.

\_\_\_\_\_  
Authorized Representative

REGISTER OF DEEDS CERTIFICATE: Received for record this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ at \_\_\_\_\_ o'clock \_\_\_\_\_M., and recorded in Vol. \_\_\_\_\_ of Certified Survey Maps of Dane Co., on Pages \_\_\_\_\_.


\_\_\_\_\_  
Register of Deeds

JOB NO. 19033  
POINTS 19033  
DRWG. 19033  
DRAWN BY JMB

 **TALARCZYK**  
LAND SURVEYS LLC  
W5105 Kubly Road  
New Glarus, WI 53574  
608-527-5216  
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**Parcel Number - 048/0507-253-8700-0****Current**[← Parcel Parents](#)[Summary Report](#)

<b>Parcel Detail</b>		<b>Less —</b>
Municipality Name	TOWN OF PRIMROSE	
State Municipality Code	048	
PLSS (T,R,S,QQ,Q)	05N 07E 25 NW SW (Click link above to access images for Qtr-Qtr)	
Section	05N 07E 25 (Click link above to access images for Section)	
Plat Name	CSM 11659 (Click link above to access images for Plat) CSM 11659 (Click link above to access images for Surveys within Plat)	
Block/Building		
Lot/Unit	1 (Click link above to see images for this Lot)	
Parcel Description	LOT 1 CSM 11659 CS71/164&166-1/24/2006 DESCR AS SEC 25-5-7 PRT NW1/4SW1/4 (2.59 ACRES EXCL R/W) <b>This property description is for tax purposes. It may be abbreviated. For the complete legal description please refer to the deed.</b>	
Current Owner	TARA L RINDY	
Primary Address	418 PEERLESS RD	
Billing Address	418 PEERLESS RD BELLEVILLE WI 53508	

<b>Assessment Summary</b>		<b>More +</b>
<b>Assessment Year</b>	<b>2018</b>	
Valuation Classification	G1	
Assessment Acres	2.590	
Land Value	\$87,500.00	
Improved Value	\$103,000.00	
Total Value	\$190,500.00	

Show Valuation Breakout

Show Assessment Contact Information ▼

### Zoning Information

For the most current and complete zoning information, contact the Division of Zoning.

#### Zoning

RR-2 DCPREZ-2019-00004

NOTICE: Some portion of this parcel either contains or is in close proximity to sensitive environmental features (i.e. shorelands, floodplains, or wetlands), and Dane County regulations may apply. Please contact the Dane County Zoning Division at (608) 266-4266 for additional permitting information.

Zoning District Fact Sheets



**Parcel Maps**

**418 Peerless Rd**

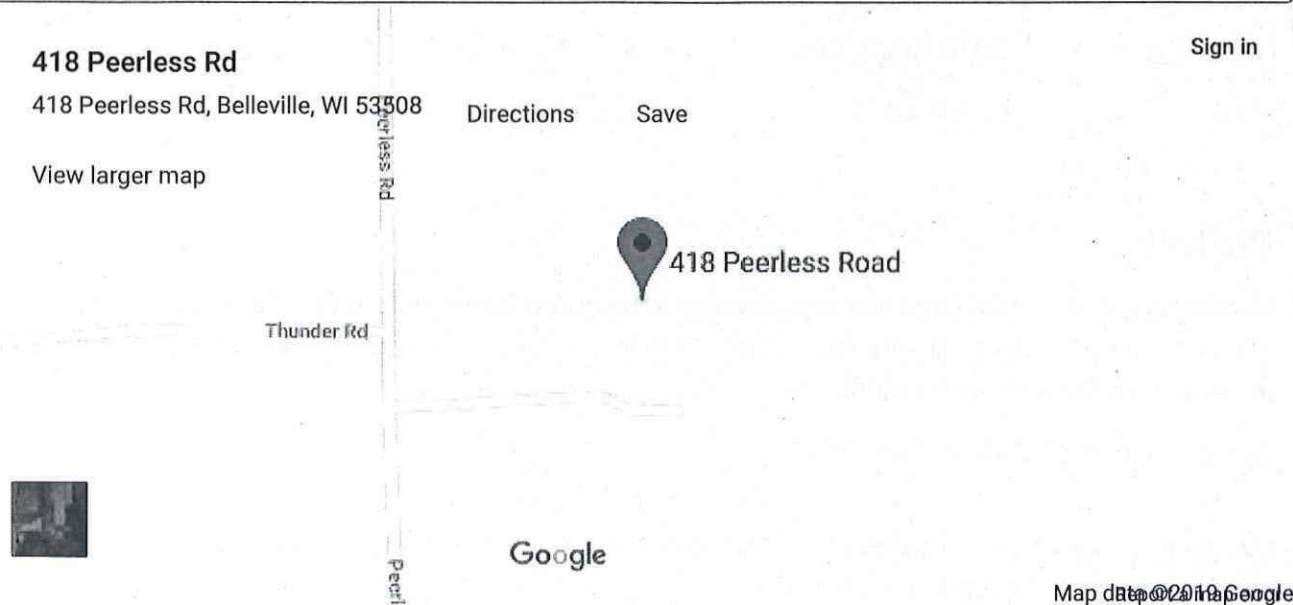
418 Peerless Rd, Belleville, WI 53508

Sign in

Directions

Save

View larger map



Map data ©2018 Google

Surveyor Map

DCiMap

Google Map

Bing Map

**Tax Summary (2018)** More +

E-Statement

E-Bill

E-Receipt

Assessed Land Value	Assessed Improvement Value	Total Assessed Value
\$87,500.00	\$103,000.00	\$190,500.00
<b>Taxes:</b>		\$3,465.24
<b>Lottery Credit(-):</b>		\$197.76
<b>First Dollar Credit(-):</b>		\$81.43
<b>Specials(+):</b>		\$8.67
<b>Amount:</b>		\$3,194.72

**District Information**

Type	State Code	Description
REGULAR SCHOOL	3934	NEW GLARUS SCHOOL DIST
TECHNICAL COLLEGE	0400	MADISON TECH COLLEGE
OTHER DISTRICT	24E3	EMS NEW GLARUS
OTHER DISTRICT	24NG	NEW GLARUS FIRE

Recorded Documents				
Doc. Type	Date Recorded	Doc. Number	Volume	Page
WD	08/14/2006	4224301		

Show More ▼

## DocLink

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By Parcel Number: 0507-253-8700-0

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**Parcel Number - 048/0507-253-8502-0****Current**[← Parcel Parents](#)[Summary Report](#)

<b>Parcel Detail</b>		<b>Less —</b>
Municipality Name	TOWN OF PRIMROSE	
State Municipality Code	048	
PLSS (T,R,S,QQ,Q)	05N 07E 25 NW SW (Click link above to access images for Qtr-Qtr)	
Section	05N 07E 25 (Click link above to access images for Section)	
Plat Name	METES AND BOUNDS (Click link above to access images for Plat) METES AND BOUNDS (Click link above to access images for Surveys within Plat)	
Block/Building		
Lot/Unit	(Click link above to see images for this Lot)	
Parcel Description	SEC 25-5-7 NW1/4 SW1/4 EXC CSM 11659 & EXC CSM 12796 <b>This property description is for tax purposes. It may be abbreviated. For the complete legal description please refer to the deed.</b>	
Current Owner	DAN L RINDY	
Current Co-Owner	CHARLOTTE M RINDY	
Primary Address	<b>No parcel address available.</b>	
Billing Address	306 PEERLESS RD NEW GLARUS WI 53574	

<b>Assessment Summary</b>		<b>More +</b>
<b>Assessment Year</b>	<b>2018</b>	
Valuation Classification	G4 G5 G5M G7	
Assessment Acres	31.120	
Land Value	\$31,800.00	
Improved Value	\$43,500.00	
Total Value	\$75,300.00	

Show Valuation Breakout

Show Assessment Contact Information ▼

### Zoning Information

For the most current and complete zoning information, contact the Division of Zoning.

#### Zoning

FP-35 DCPREZ-2019-00004

NOTICE: Some portion of this parcel either contains or is in close proximity to sensitive environmental features (i.e. shorelands, floodplains, or wetlands), and Dane County regulations may apply. Please contact the Dane County Zoning Division at (608) 266-4266 for additional permitting information.

Zoning District Fact Sheets



**Parcel Maps**

[Surveyor Map](#)

[DCiMap](#)

**Tax Summary (2018) More +**

[E-Statement](#)

[E-Bill](#)

[E-Receipt](#)

Assessed Land Value	Assessed Improvement Value	Total Assessed Value
\$31,800.00	\$43,500.00	\$75,300.00
<b>Taxes:</b>		\$1,369.72
<b>Lottery Credit(-):</b>		\$0.00
<b>First Dollar Credit(-):</b>		\$81.43
<b>Specials(+):</b>		\$0.00
<b>Amount:</b>		\$1,288.29

**District Information**

Type	State Code	Description
REGULAR SCHOOL	3934	NEW GLARUS SCHOOL DIST
TECHNICAL COLLEGE	0400	MADISON TECH COLLEGE
OTHER DISTRICT	24NG	NEW GLARUS FIRE
OTHER DISTRICT	24E3	EMS NEW GLARUS

Recorded Documents				
Doc. Type	Date Recorded	Doc. Number	Volume	Page
WD	03/21/2001	3299089		

Show More ▼

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By Parcel Number: 0507-253-8502-0

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DAN L RINDY  
306 PEERLESS RD  
NEW GLARUS, WI 53574

HENRY S AUSTIN  
100 GROSSENBACHER LN  
NEW GLARUS, WI 53574

DAN L RINDY  
306 PEERLESS RD  
NEW GLARUS, WI 53574

TARA L RINDY  
418 PEERLESS RD  
BELLEVILLE, WI 53508

MITCHELL D RINDY  
342 PEERLESS RD  
BELLEVILLE, WI 53508

DAN L RINDY  
306 PEERLESS RD  
NEW GLARUS, WI 53574

MICHAEL K JELLE  
425 PEERLESS RD  
BELLEVILLE, WI 53508

HENRY S AUSTIN  
100 GROSSENBACHER LN  
NEW GLARUS, WI 53574

RICHARD A MCKAY  
PO BOX 4459  
JACKSON, WY 83001

DAN L RINDY  
306 PEERLESS RD  
NEW GLARUS, WI 53574

MICHAEL K JELLE  
425 PEERLESS RD  
BELLEVILLE, WI 53508

TARA L RINDY  
418 PEERLESS RD  
BELLEVILLE, WI 53508

MICHAEL K JELLE  
425 PEERLESS RD  
BELLEVILLE, WI 53508

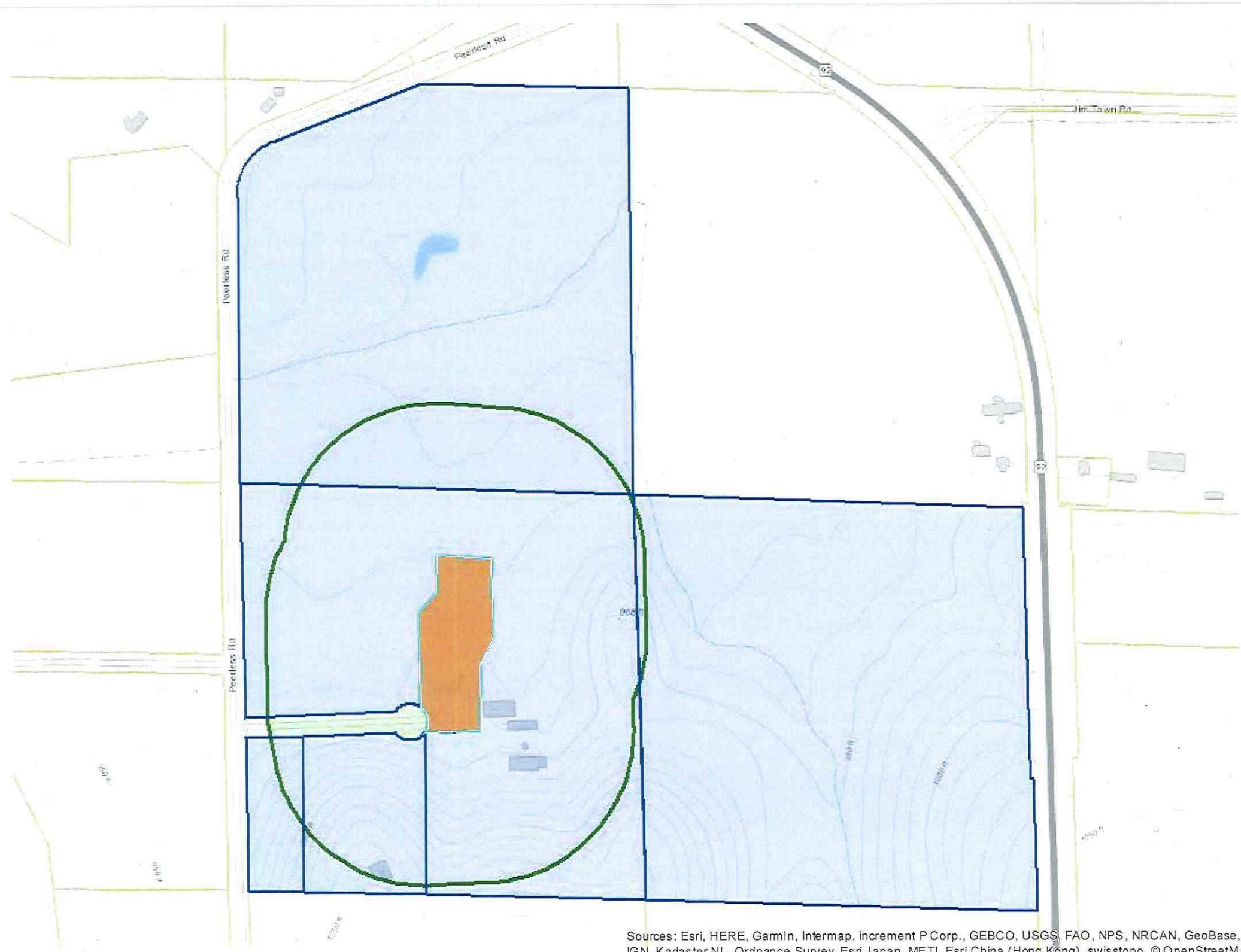
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NEW GLARUS, WI 53574

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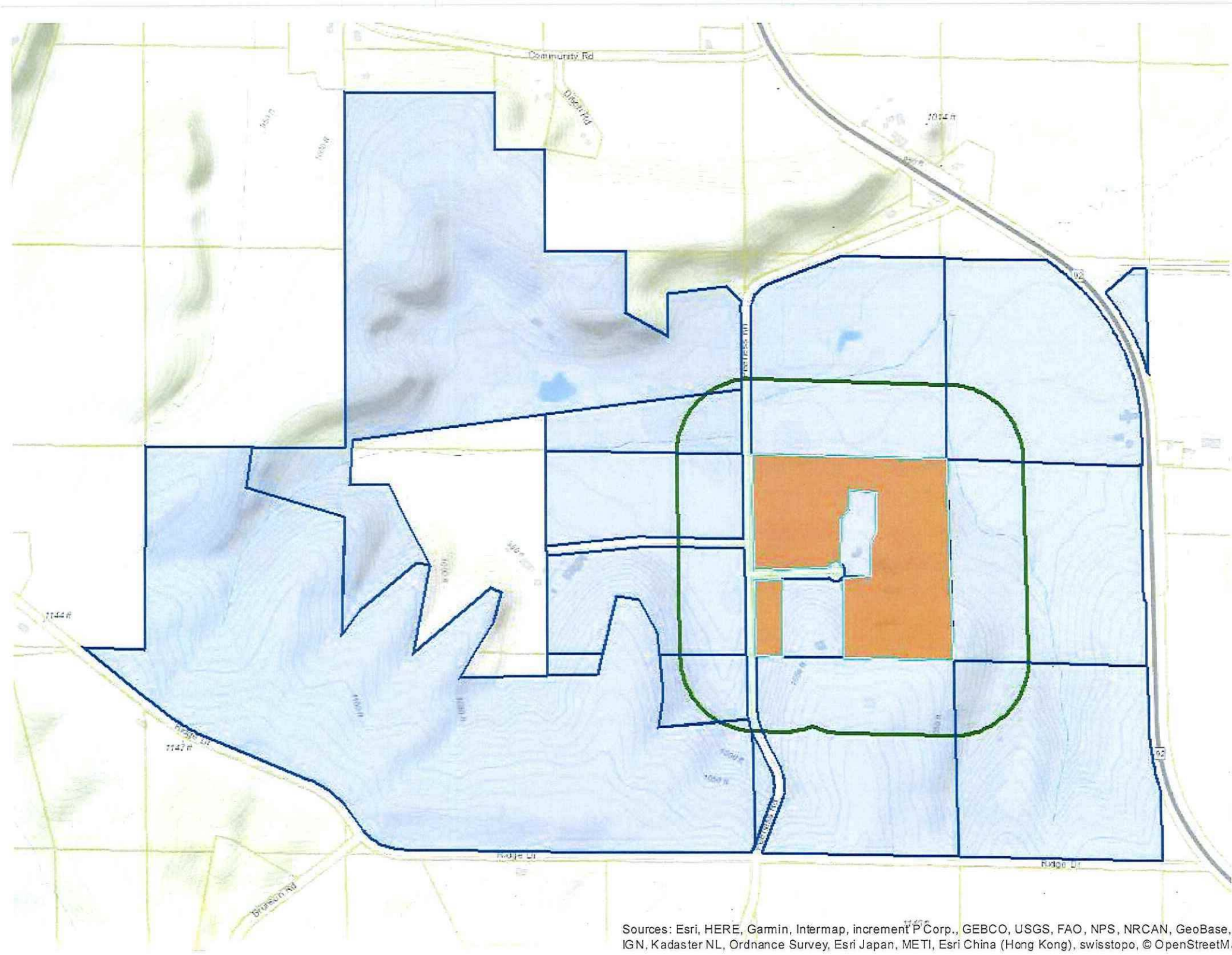
HENRY S AUSTIN  
100 GROSSENBACHER LN  
NEW GLARUS, WI 53574

DAVID CORDRAY  
473 PEERLESS RD  
BELLEVILLE, WI 53508



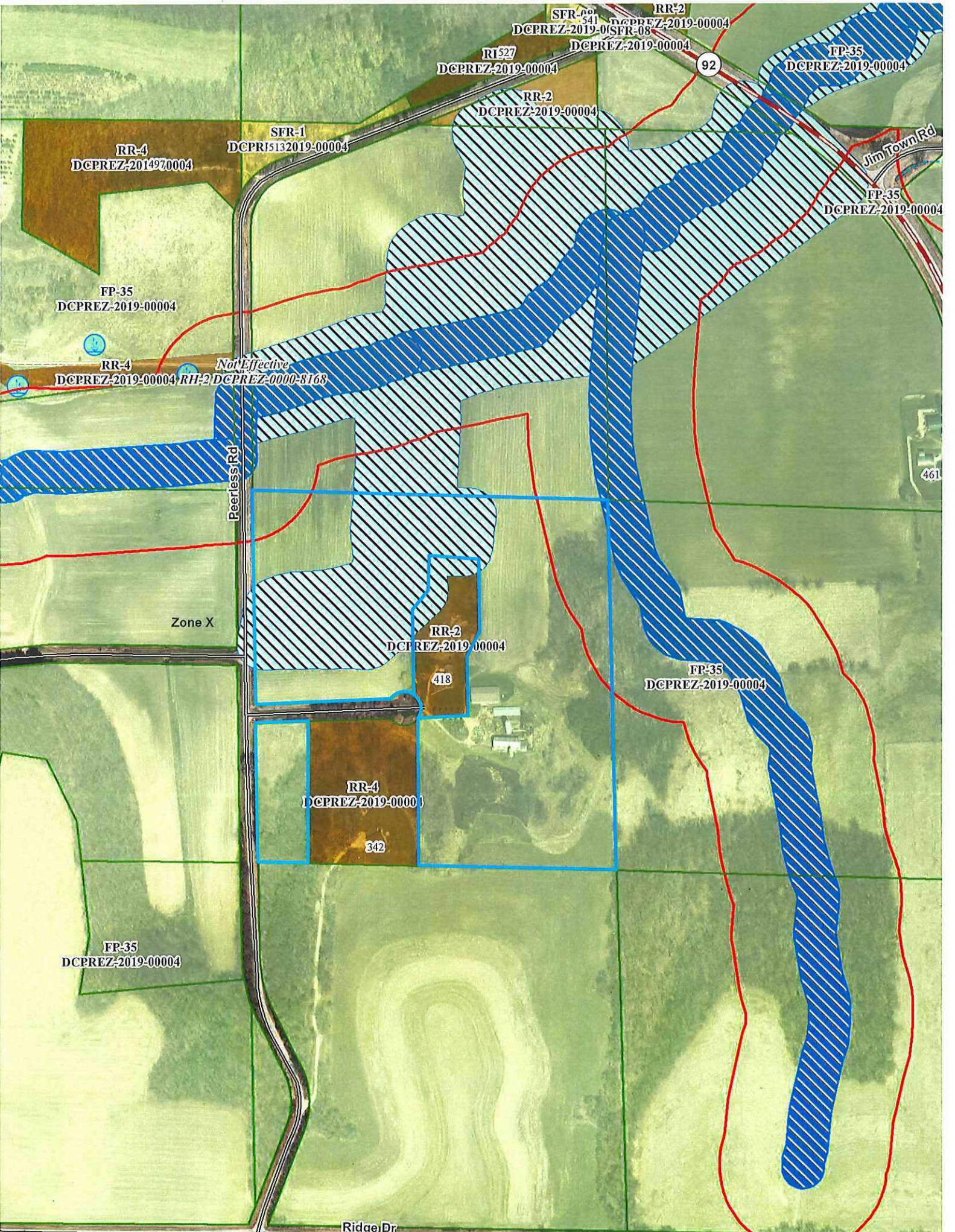
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, © OpenStreetM.





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SFR-2  
DCPREZ-2019-00004

RI-527  
DCPREZ-2019-00004

FP-35  
DCPREZ-2019-00004

RR-2  
DCPREZ-2019-00004

SFR-1  
DCPREZ-2019-00004

RR-4  
DCPREZ-2019-00004

Jim Town Rd

FP-35  
DCPREZ-2019-00004

FP-35  
DCPREZ-2019-00004

RR-4  
DCPREZ-2019-00004

Not Effective

Peerless Rd

Zone X

RR-2  
DCPREZ-2019-00004

418

FP-35  
DCPREZ-2019-00004

RR-4  
DCPREZ-2019-00004

342

FP-35  
DCPREZ-2019-00004

Ridge Dr