

Dane County Conditional Use Permit Application

Application Date	C.U.P Number
04/23/2024	DCPCUP-2024-02622
Public Hearing Date	
06/18/2024	

OWNER INFORMATION				AGENT INFORMATION			
OWNER NAME DANIEL L GAULRAPP		Phone with Area Code 608-609-1181		AGENT NAME DEREK MCGREW		Phone with Area Code ((317) 507-4541	
BILLING ADDRESS (Number, Street) 3316 ELVEHJEM RD				ADDRESS (Number, Street) 103 WILSHIRE COURT			
(City, State, Zip) MCFARLAND, WI 53558				(City, State, Zip) Noblesville, IN 46062			
E-MAIL ADDRESS				E-MAIL ADDRESS derek@cellusite.net			
ADDRESS/LOCATION 1		ADDRESS/LOCATION 2		ADDRESS/LOCATION 3			
ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP			
South of 3316 Elvehjem Rd							
TOWNSHIP DUNN	SECTION 1	TOWNSHIP	SECTION	TOWNSHIP	SECTION		
PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED			
0610-122-80004		---		---			

CUP DESCRIPTION			
170' self-support communication tower with 3' lightning rod			
DANE COUNTY CODE OF ORDINANCE SECTION			ACRES
10.103(9)			0.22
COMMENTS: TOWER CUP AREA TOTALS 9,497 SQFT, TOWER TO BE LOCATED WITHIN 50' X 50' FENCED COMPOUND.		DEED RESTRICTION REQUIRED?	SIGNATURE:(Owner or Agent)
		<input type="checkbox"/> Yes <input type="checkbox"/> No	Inspectors Initials AMA1
		Applicant Initials _____	
		PRINT NAME:	
		DATE:	



April 16, 2024

VIA FEDEX

Majid Allan
Senior Planner
Department of Planning and Zoning
County of Dane
210 Martin Luther King Jr. Blvd.
Madison, WI 53703

Re: Application for Conditional Use Permit – Telecommunication Tower
Property Address: Elvehjem Road, Parcel ID 028/0610-122-8000-4, McFarland,
WI 53589 (Town of Dunn)
Applicants: CelluSite, LLC, agent for Iron Mountain Towers, LLC dba
TowerKing and DISH Wireless LLC
Parcel Owner: Daniel L Gaulrapp

Dear Mr. Allan:

Enclosed for consideration please find Iron Mountain Towers, LLC dba TowerKing (“**TowerKing**”) and DISH Wireless LLC’s (“**DISH**”) (TowerKing and DISH, collectively, the “**Applicants**”) Conditional Use Permit Application (the “**Application**”) to construct a multi-carrier wireless telecommunication tower and associated facilities (the “**Wireless Communications Facility**”). I serve as agent for Applicants.

The Wireless Communications Facility has been designed to accommodate additional providers (carriers, wireless internet providers and E911) interested in improving service within the greater area of the Village of McFarland, the Town of Dunn, and along a portion of Interstate 90/39 in Dane County. TowerKing actively markets its tower sites for collocation to all communications users and offers competitive business terms, which are attractive to its customers. We have approached this project thoughtfully, with an emphasis on blending the needs of the local citizenry with the goals of the Applicants.

The proposed facility meets the guidelines in Wis. Stat. § 66.0404 (the “**Wireless Siting Law**”).¹ It includes a 170-foot galvanized steel self-supporting tower, with a 3-foot lightning rod, for an overall structure height of 173 feet (the “**Tower**”).

¹ The Wireless Siting Law provides that a political subdivision may regulate the siting and construction of a new mobile service support structure and facilities only as provided in Wis. Stat. § 66.0404 and further provides that any ordinances in effect that are inconsistent with Wis. Stat. § 66.0404 may not be applied to, or enforced against, the activity. Wis. Stat. § 66.0404(h) & (i).

WIRELESS SITING LAW

The Wireless Siting Law sets forth six (6) requirements which must be included in an application to construct a new tower.² Those requirements, and the Applicants' responses to those requirements, follow. It is my belief that this information and related enclosures fulfill the requirements of the Wireless Siting Law.

1. The name and business address of, and the contact individual of, the applicant.

Applicants:	Contact Individual:
Iron Mountain Towers, LLC dba TowerKing c/o Grant Phillips 23434 Elliot Road Defiance, OH 43512 (419) 438-7587	Derek McGrew / CelluSite, LLC 103 Wilshire Court Noblesville, IN 46062 (317) 507-4541 derek@cellusite.net
DISH Wireless LLC 8040 Excelsior Drive, Suite 400 Madison, WI 53717	

2. The location of the proposed or affected support structure.

Applicants propose to construct a mobile service facility and related mobile support service structure, as defined by the Wireless Siting Law, on property south of Elvehjem Road, which bears Parcel ID # 028/0610-122-8000-4 (the "**Property**"). The Tower will be constructed by TowerKing and located within a 9,497 square-foot leased area (the "**Leased Premises**"), of which 50' x 50' will be fenced and located in the Southeastern portion of the Property and as depicted in the enclosed survey and construction drawings (the "**Construction Drawings**") marked as Exhibit A.

3. The location of the proposed mobile service facility.

The Wireless Siting Law defines "mobile service facility" as:

the set of equipment and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and associated equipment, that is necessary to

² The six requirements are found at Wis. Stat. § 66.0404(2)(b).

provide mobile service to a discrete geographic area, but does not include the underlying support structure.³

The Construction Drawings depict where the mobile service facility will be located on the Property (the mobile service facility and the Tower, collectively, the “**Installation**”). As noted on the enclosed Construction Drawings, sheet C-1, DISH will attach its equipment on the Tower at the 160-foot centerline. DISH will route its transmission lines along the side of the Tower and install its equipment near the base of the Tower within a fenced compound within the Leased Premises. The Installation is designed to accommodate three (3) additional wireless providers besides DISH.

4. If the application is to substantially modify an existing support structure, a construction plan which describes the proposed modifications to the support structure and the equipment and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and related equipment associated with the proposed modifications.

The application proposes installation of a new Tower; therefore, the requirements of this section are not applicable.

5. If the application is to construct a new mobile service support structure, a construction plan which describes the proposed mobile services support structure and the equipment and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and related equipment to be placed on or around the new mobile service support structure.

The Construction Drawings provide this information.

6. If an application is to construct a new mobile service support structure, an explanation as to why the applicant chose the proposed location and why the applicant did not choose collocation, including a sworn statement from an individual who has responsibility over the placement of the mobile service support structure attesting that collocation within the applicant's search ring would not result in the same mobile service functionality, coverage, and capacity; is technically infeasible; or is economically burdensome to the mobile service provider.

Enclosed is a sworn statement prepared by a DISH radio frequency engineer (the “**DISH Sworn Statement**”) marked as Exhibit B. The DISH Sworn Statement includes the search ring which defines the precise geographic area where an additional cell site is needed to expand network coverage or capacity. Contributing factors for search ring placement and shape include the

³ Wis. Stat. § 66.0404(1)(L).

surrounding topography, the demographics and even whether the surrounding areas are urban, suburbs or open land.

The DISH Sworn Statement outlines why the proposed location was selected and attests there are no existing structures of sufficient height available for collocation within the search ring, making collocation technically infeasible. In fact, there are no available sites within the search ring, and the proposed site is the best candidate to meet DISH's network design needs.

SETBACKS

The Tower meets the FP-1 Farming Preservation Zoning District minimum front setback for structures of 50 feet from the town road center line; the minimum side yard setback of 50 feet from the West lot line, 10 feet from the East lot line; and the minimum rear yard setback of 10 feet from the rear lot line (Section 10.221). In addition, the Tower is designed to have a fall radius of 55 feet and will otherwise be setback a distance equal to its proposed height from any adjacent parcels upon which single-family residential use is permitted. (See Section 10.103(9)(c)6.a.i.) There are no existing telecommunications towers within the search ring or close enough to the search ring to meet the coverage and capacity needs of DISH.

ADDITIONAL DISCUSSION

TowerKing is a national owner and operator of wireless communications infrastructure. TowerKing proposes to operate the Installation within the Leased Premises and will own the Tower. DISH will install its equipment on the Tower and place ground equipment within the Leased Premises. It is not uncommon for wireless telecommunications service providers to partner with companies like TowerKing to site development projects.

The proposed Installation results from the needs of DISH. In 2020, DISH became a nationwide U.S. wireless carrier through the acquisition of Boost Mobile and as part of the regulatory review process of the merger between Sprint and T-Mobile. DISH is building the nation's first virtualized, standalone 5G broadband network, and has also determined a need for coverage within the immediate area.

The Installation will include a 30-foot-wide access and utility easement from Elvehjem Road. The access and utility easements are depicted on the included plans.

The Installation will provide a great benefit in providing high quality, technologically advanced wireless communication services to the area. The Installation will conform to all applicable laws and regulations, including the national standard's seventh revision for Steel Antenna Towers and Antenna Supporting Structures published by the Telecommunications Industry Association (ANSI/TIA 222-G), Federal Communications Commission, and Federal

Aviation Administration (“FAA”). The FAA Determination of No Hazard, which further negates any risk posed by the Tower is marked as Exhibit C.

The Installation will fill the void for wireless coverage within the immediate geographic area of the site. Once constructed, the Installation will negate requests for additional towers in the area.

The Property is in the FP-1 Rural Residential Zoning District (the “**FP-1 District**”), which is described in Section 10.221 of the County’s Zoning Ordinance. The Leased Premises has been positioned upon the Property in a location to best fit with the current uses of the Property, as well as the surrounding properties and to meet setbacks as noted above. Photo simulations are included at marked as Exhibit D. The Installation will require no public financial contribution or result in any additional expenses regarding public facilities and services.

The communication services offered by DISH are expected to be used by the general public, providing an economic asset to the community. The Installation will enhance E-911 services, further protecting public health, safety, and welfare within the area. Besides strengthening coverage, the Tower will facilitate deployment of next generation technology.

The Installation will be unmanned and will not be lighted. No parking or employee facilities are required. DISH’s technicians will visit the site periodically, typically a couple hours once per month or two, for the security monitoring, testing, monitoring, and maintenance of its equipment. TowerKing will also visit the site periodically to monitor the maintenance and security of the facility. The facility will not generate recognizable traffic. Noise level is limited to periodic generator operation.

DANE COUNTY COMMUNICATION TOWER ORDINANCE

Dane County regulates wireless siting via Section 10.103(9) of its Code of Ordinances (the “**Dane County Communication Tower Ordinance**” or the “**County Ordinance**”). The Application meets the applicable provisions of the Ordinance, when read in conjunction with the Wireless Siting Law. The requirements of the County Ordinance, and the Applicants’ responses to those requirements, follow. This information and related enclosures fulfill the applicable requirements of the County Ordinance.

- Section 10.103(9)(b)1.a.i.
 - Contact information for the Applicants is provided above. FCC license numbers are set forth in the FCC Radio Station Authorizations, as well as DISH’s statement of compliance with FCC regulations, is enclosed with this Application and marked as Exhibit E.

- Section 10.103(9)(b)1.a.ii.
 - See Exhibit A, Construction Drawings, sheet T-1.
- Section 10.103(9)(b)1.a.iii.
 - See FCC Radio Station Authorizations. The minimum required elevation AMSL necessary to provide the services is 1,014 feet (*see* Exhibit A, Construction Drawings, Sheet S-1, providing for a ground elevation at tower base of 864 feet AMSL, and Exhibit B, DISH Sworn Statement, requiring a minimum tower height of 160 feet AGL).
- Sections 10.103(9)(b)1.b.i. and 10.103(9)(b)1.b.ii.
 - See Exhibit B, DISH Sworn Statement.
- Section 10.103(9)(b)1.c.
 - See Search Ring, Tower Map & Existing Residences Map enclosed with this Application and marked as Exhibit F.
- Section 10.103(9)(b)1.d.
 - This information will be provided directly to the County's third-party engineering consultant.
- Sections 10.103(9)(b)1.e. & 10.101(6)
 - See Exhibit A, Construction Drawings and Exhibit F, Search Ring, Tower Map & Existing Residences Map.
- Section 10.103(9)(b)1.f.
 - See Exhibit A, Construction Drawings.
 - The Tower will not be lighted per the FAA Determination of No Hazard. *See* Exhibit C.
 - See Exhibit D, Photo Simulations.
 - Notification to other carriers has been provided via email and is attached as Exhibit G.
 - Notification to nearby private airports has been provided and is attached as Exhibit H.

STANDARDS FOR CONDITIONAL USE PERMITS

1. The establishment maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The proposed Tower will not be detrimental to or endanger the public health, safety, comfort or general welfare. The Tower does not generate noise, traffic, sounds, odors, or any nuisance that would be detrimental to the residents of the County or Town. At the same time, the Tower will increase telecommunication connectivity, Wi-Fi, and access to emergency services.

2. The uses, values, and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by establishment, maintenance or operation of the conditional use.

The proposed use will not foreseeably substantially impair or diminish the uses, values and enjoyment of other property in the area.⁴ The parcel to the east is vacant and zoned NR-C. Railroad tracks separate the property from the parcels to the west and south. The parcel to the north is owned by the same owner as the subject property. The fenced in equipment compound will be screened by landscaping on the northern side. If the adult trees to the east and south of the fenced equipment compound are removed or die, the Applicant will add landscaping to restore the visual buffer. The proposed Tower is a lattice tower and will not require guy wires. It is minimally invasive from a visual standpoint as provided in the Photo Simulations

3. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed use will not impede the normal and orderly development and improvement of the surrounding properties. The small footprint of the proposed site will allow the Property to be used as permitted and the proposed use will not impede the normal and orderly development and improvement of the surrounding agriculturally zoned properties.

4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the conditional use.

All access and utilities are provided as indicated in the Construction Drawings. The Tower will not have an impact on water, septic, or storm water management, nor generate traffic requiring (one additional vehicle a month) infrastructure improvement. The approval of this Application will add an additional utility for the surrounding public to use.

5. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

⁴ See attached property value studies and correspondence with various towns in Dane County marked as Exhibit I.

As provided in the Construction Drawings, the Tower will be accessible via an extension of an existing driveway. The use will only generate additional traffic of one vehicle per month.

6. That the conditional use shall conform to all applicable regulations of the district in which it is located.

The Tower conforms to all applicable regulations in the district in which it will be located as provided in this letter. The Tower is designed to fail at a location that will result in a fall radius of less than 55 feet⁵ and the Installation will be screened by vegetation.

7. The conditional use is consistent with the adopted town and county comprehensive plans.

The Tower is consistent with the Comprehensive Plans of the Town and County. Specifically, the proposed use is consistent with the County's goal to ensure that its residents continue to enjoy high quality community services and facilities. Similarly, the proposed use further the goals of the Town, as its Plan recognizes that "[a]ccess to communication facilities is very important to the modern economy" and while "[s]everal communication companies provide services to the Town of Dunn ... the quality of these services depends upon the capacity of the ... towers serving the Town."⁶

It not only will provide the services identified as an existing need by at least one carrier but provides the infrastructure to provide for the County's and Town's future needs as telecommunications service (and wireless Internet service) have become a necessary and indispensable need for residents and businesses. Indeed, the proposed use is also consistent with the County's economic development goals as it allows residents to perform daily tasks and improves businesses opportunities. At the same time, the proposed Tower will be located on a portion of the Property that is set back from the nearest properties with residential use and will not interfere with the surrounding agricultural uses.

8. If the conditional use is located in a Farmland Preservation (FP) Zoning district, the conditional use is subject to the following additional standards found in section 10.220(1). Attach additional pages, if necessary.

Not applicable.

⁵ See attached Fall Zone Letter marked as Exhibit J.

⁶ Town of Dunn Comprehensive Plan at A-21.

Majid Allan
April 16, 2024
Page 9

Very truly yours,

CELLUSITE, LLC

By:

[s] Derek McGrew

Derek McGrew
Agent for Iron Mountain Towers, LLC dba
TowerKing and DISH Wireless, LLC

Encls. (Exhibits A-H)

cc: Jake Remington, Husch Blackwell LLP (legal counsel for Applicants)



Dane County
Department of Planning and Development
Zoning Division
Room 116, City-County Building
210 Martin Luther King Jr. Blvd.
Madison, Wisconsin 53703
(608) 266-4266

Application Fees	
General:	\$495
Mineral Extraction:	\$1145
Communication Tower:	\$1145 (+\$3000 RF eng review fee)
PERMIT FEES DOUBLE FOR VIOLATIONS OR WHEN WORK HAS STARTED PRIOR TO ISSUANCE OF PERMIT	

CONDITIONAL USE PERMIT APPLICATION

APPLICANT INFORMATION

Property Owner Name:		Agent Name:	
Address (Number & Street):		Address (Number & Street):	
Address (City, State, Zip):		Address (City, State, Zip):	
Email Address:		Email Address:	
Phone#:		Phone#:	

SITE INFORMATION

Township:		Parcel Number(s):	
Section:		Property Address or Location:	
Existing Zoning:	Proposed Zoning:	CUP Code Section(s):	

DESCRIPTION OF PROPOSED CONDITIONAL USE

Type of conditional use permit (for example: limited family business, animal boarding, mineral extraction, or any other listed conditional use):	Is this application being submitted to correct a violation? Yes <input type="checkbox"/> No <input type="checkbox"/>
Provide a short but detailed description of the proposed conditional use:	

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determined that all necessary information has been provided. Only complete applications will be accepted. All information from the checklist below must be included. Note that additional application submittal requirements apply for particular uses or as may be required by the Zoning Administrator. Applicants for significant and/or potentially controversial conditional uses are strongly encouraged to meet with staff prior to submittal.

<input type="checkbox"/> Complete attached information sheet for standards	<input type="checkbox"/> Site Plan drawn to scale	<input type="checkbox"/> Detailed operational plan	<input type="checkbox"/> Written legal description of boundaries	<input type="checkbox"/> Detailed written statement of intent	<input type="checkbox"/> Application fee (non-refundable), payable to Dane County Treasurer
--	---	--	--	---	--

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I hereby give permission for staff of the Dane County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the review of this application. I acknowledge that submittal of false or incorrect information may be grounds for denial of this application.

Owner/Agent Signature: _____

Date: _____

STANDARDS FOR CONDITIONAL USE PERMITS

Applicants must provide adequate evidence demonstrating to the Town and Dane County Zoning & Land Regulation Committee that the proposed conditional use satisfies the following 8 standards for approval, along with any additional standards specific to the applicable zoning district or particular use found in sections [10.220\(1\)](#) and [10.103](#) of the code.

Please explain how the proposed land use will meet the following standards (attach additional pages, if necessary):

- | |
|---|
| 1. The establishment maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare. |
| 2. The uses, values, and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by establishment, maintenance or operation of the conditional use. |
| 3. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. |
| 4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the conditional use. |
| 5. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. |
| 6. That the conditional use shall conform to all applicable regulations of the district in which it is located. |
| 7. The conditional use is consistent with the adopted town and county comprehensive plans. |
| 8. If the conditional use is located in a Farmland Preservation (FP) Zoning district, the conditional use is subject to the following additional standards found in section 10.220(1). Attach additional pages, if necessary. <ul style="list-style-type: none">• Explain how the use and its location in the Farmland Preservation Zoning District are consistent with the purposes of the district:• Explain how the use and its location in the Farmland Preservation Zoning district are reasonable and appropriate, considering alternative locations:• Explain how the use is reasonably designed to minimize the conversion of land from agricultural use or open space use:• Explain how the use does not substantially impair or limit the current or future agricultural use of surrounding parcels zoned for agricultural use:• Explain how construction damage to land remaining in agricultural use is minimized and repaired, to the extent feasible: |

WRITTEN STATEMENT OF INTENT AND OPERATIONS PLAN

Applicants must provide a detailed written statement of intent describing the proposed conditional use along with an operational plan that explains how the conditional use will be operated. Please use the form below and provide responses, as applicable, to your proposed conditional use. Attach additional pages, if necessary.

Describe in detail the proposed conditional use. Provide the specific location of the use(s), type of equipment used, planned property improvements, including description / size of existing or proposed new buildings to be used, and any other relevant information. For existing or proposed commercial operations, provide the name of the business and describe the nature and type of business activity.

List the proposed days and hours of operation.

List the number of employees, including both full-time equivalents and maximum number of personnel to be on the premises at any time.

List any anticipated noise, odors, dust, soot, runoff or pollution associated with the conditional use, along with any proposed measures that will be taken to mitigate impacts to neighboring properties.

Describe any materials proposed to be stored outside and any activities, processing or other operations taking place outside an enclosed building.

For proposals involving construction of new facilities and/or infrastructure, describe, as applicable, any measures being taken to ensure compliance with county stormwater and erosion control standards under [Chapter 11](#) of [Chapter 14](#), Dane County Code.

List and describe existing or proposed sanitary facilities, including adequate private onsite wastewater treatment systems, associated with the proposed conditional use. For uses involving domestic pets or livestock, list and describe measures taken to address manure storage or management.

List and describe any existing or proposed facilities for managing and removal of trash, solid waste and recyclable materials.

Describe anticipated daily traffic, types and weights of vehicles, and any provisions, intersection or road improvements or other measures proposed to accommodate increased traffic.

Provide a listing of any hazardous, toxic or explosive materials to be stored on site, and any spill containment, safety or pollution prevention measures.

Describe any existing or proposed outdoor lighting along with any measures that will be taken to mitigate light-pollution impacts to neighboring properties. The Zoning Administrator may require submittal of a photometric plan for outdoor lighting if deemed necessary to determine potential impacts to neighbors.

Describe any existing or proposed signage, including size, location, and materials, consistent with the county's sign ordinance found in s. [10.800](#).

Briefly describe the current use(s) of the property on which the conditional use is proposed.

Briefly describe the current uses of surrounding properties in the neighborhood.

APPLICATION CHECKLIST FOR A CONDITIONAL USE PERMIT

A scaled site plan and detailed operations plan must be submitted with your Conditional Use Permit application. Please use the checklist below to ensure you are submitting all required information applicable to your request. Please attach to your application form the required maps and plans listed below, along with any additional pages.

☐ **SCALED SITE PLAN. Show sufficient detail on 11" x 17" paper. Include the following information, as applicable:**

- ☐ Scale and north arrow.
- ☐ Date the site plan was created.
- ☐ Existing subject property lot lines and dimensions.
- ☐ Existing and proposed wastewater treatment systems and wells.
- ☐ All buildings and all outdoor use and/or storage areas, existing and proposed, including provisions for water and sewer.
- ☐ All dimension and required setbacks, side yards and rear yards.
- ☐ Location and width of all existing and proposed driveway entrances onto public and private roadways, and of all interior roads or driveways.
- ☐ Location and dimensions of any existing utilities, easements or rights-of-way.
- ☐ Parking lot layout in compliance with s. [10.102\(8\)](#).
- ☐ Proposed loading/unloading areas.
- ☐ Zoning district boundaries in the immediate area. All districts on the property and on all neighboring properties must be clearly labeled.
- ☐ All relevant natural features, including navigable and non-navigable waters, floodplain boundaries, delineated wetland areas, natural drainage patterns, archeological features, and slopes over 12% grade.
- ☐ Location and type of proposed screening, landscaping, berms or buffer areas if adjacent to a residential area.
- ☐ Any lighting, signs, refuse dumpsters, and possible future expansion areas.

☐ **NEIGHBORHOOD CHARACTERISTICS. Describe existing land uses on the subject and surrounding properties:**

- ☐ Provide a brief written statement describing the current use(s) of the property on which the conditional use is proposed.
- ☐ Provide a brief written statement documenting the current uses of surrounding properties in the neighborhood.

☐ **OPERATIONS PLAN AND NARRATIVE. Describe in detail the following characteristics of the operation, as applicable:**

- ☐ Hours of operation.
- ☐ Number of employees, including both full-time equivalents and maximum number of personnel to be on the premises at any time.
- ☐ Anticipated noise, odors, dust, soot, runoff or pollution and measures taken to mitigate impacts to neighboring properties.
- ☐ Descriptions of any materials stored outside and any activities, processing or other operations taking place outside an enclosed building.
- ☐ Compliance with county stormwater and erosion control standards under [Chapter 11](#) of [Chapter 14](#), Dane County Code.
- ☐ Sanitary facilities, including adequate private onsite wastewater treatment systems and any manure storage or management plans approved by the Madison and Dane County Public Health Agency and/or the Dane County Land and Water Resources Department.
- ☐ Facilities for managing and removal of trash, solid waste and recyclable materials.
- ☐ Anticipated daily traffic, types and weights of vehicles, and any provisions, intersection or road improvements or other measures proposed to accommodate increased traffic.
- ☐ A listing of hazardous, toxic or explosive materials stored on site, and any spill containment, safety or pollution prevention measures taken.
- ☐ Outdoor lighting and measures taken to mitigate light-pollution impacts to neighboring properties.
- ☐ Signage, consistent with section [10.800](#).

☐ **ADDITIONAL MATERIALS. Additional information is required for certain conditional uses listed in s. [10.103](#):**

- ☐ Agricultural entertainment, special events, or outdoor assembly activities anticipating over 200 attendees must file an [event plan](#).
- ☐ [Domestic pet](#) or [large animal boarding](#) must provide additional information in site and operations plans.
- ☐ Communication towers must submit additional information as required in s. [10.103\(9\)](#).
- ☐ Farm residences proposed in the FP-35 district must submit additional information as required in s. [10.103\(11\)](#).
- ☐ Mineral extraction proposals must submit additional information as required in s. [10.103\(15\)](#).

Payee Number: 534131-2
Payee Name: Dane County Zoning

Check Number: 850923
Check Date: March 06, 2024

Voucher Number	Invoice Number	Invoice Date	Description	Amount
1111359	05482710306 24114500	03/06/2024	CRINV CUP Application Fee - Telecommunication Tower - Elvehjem Road, McFarland, WI Send To MacDougall, Olivia	1,145.00
				\$1,145.00

Husch Blackwell LLP
8001 Forsyth Boulevard, Suite 1500
St. Louis, MO 63105

Enterprise Bank & Trust
150 North Meramec Clayton
Clayton, MO 63105

83-213/1011

Check Number: 850923
Check Date: 03/06/2024

One Thousand One Hundred Forty-Five and 00/100 Dollar(s) ONLY *****

Amount
\$1,145.00**

PAY TO THE ORDER OF
Dane County Zoning
210 Martin Luther King Jr. Blvd. #116
Madison, WI 53703

TWO SIGNATURES REQUIRED OVER \$10,000.00

Timothy D. Tyler

Authorized Signature

Payee Number: 534131-2
Payee Name: Dane County Zoning

Check Number: 850922
Check Date: March 06, 2024

Voucher Number	Invoice Number	Invoice Date	Description	Amount
1111360	05482710306 24300000	03/06/2024	CRINV RF Engineering Review Fee - Telecommunication Tower - Elvehjem Road, McFarland, WI Send To MacDougall, Olivia	3,000.00
				\$3,000.00

TRUE WATERMARK PAPER HOLD TO LIGHT TO VIEW HEAT SENSITIVE PINK IMAGE DISAPPEARS WITH HEAT

Husch Blackwell LLP
8001 Forsyth Boulevard, Suite 1500
St. Louis, MO 63105

Enterprise Bank & Trust
150 North Meramec Clayton
Clayton, MO 63105

83-213/1011

Check Number: 850922
Check Date: 03/06/2024

Three Thousand and 00/100 Dollar(s) ONLY *****

Amount
\$3,000.00**

PAY TO THE ORDER OF
Dane County Zoning
210 Martin Luther King Jr. Blvd. #116
Madison, WI 53703

TWO SIGNATURES REQUIRED OVER \$10,000.00

Tommy D. Tyler





Authorized Signature

Exhibit A

NOTE:
FOR SITES WHERE A CRANE IS NECESSARY, THE CONTRACTOR SHALL CONFIRM AN UNOBSTRUCTED ROUTE FOR THE CRANE FROM PUBLIC ROAD TO TOWER SITE PRIOR TO CONSTRUCTION. NO AERIAL OBSTRUCTIONS UNDER FIFTEEN FEET ABOVE GRADE, INCLUDING AERIAL UTILITY LINES, ARE ALLOWED ALONG SAID CRANE ROUTE.



McFARLAND

DRAWING INDEX		CIVIL ENGINEER LANDTECH PROFESSIONAL SURVEYING AND ENGINEERING 1275 MCGREGOR WAY GRAWN, MI 49637 P.O. BOX 193 PHONE: (231) 943-0050	SURVEYOR LANDTECH PROFESSIONAL SURVEYING AND ENGINEERING 1275 MCGREGOR WAY GRAWN, MI 49637 P.O. BOX 193 PHONE: (231) 943-0050	PROJECT INFORMATION																																																							
T-1	TITLE SHEET	DIRECTIONS TO SITE: DEPART DANE COUNTY REGIONAL AIRPORT 4000 INTERNATIONAL LN, MADISON WI 53704, UNITED STATES, TURN LEFT (SOUTH-EAST) ONTO ANDERSON ST 1.4 MI TURN RIGHT (SOUTH) ONTO US-51 [N STOUGHTON RD] 1.2 MI TURN LEFT (EAST) ONTO LOCAL ROAD(S) 32 YDS TAKE RAMP ONTO WI-301.4 MI WI-30 E / MILWAUKEETAKE RAMP (RIGHT) ONTO I-39 [I-90] 4.1 MII-39 S / I-90 E / JANESVILLE / CHICAGO AT EXIT 142B, TAKE RAMP (RIGHT) ONTO US-12 [US-18] 2.0 MI US-12 E / US-18 E / CAMBRIDGETURN RIGHT (SOUTH) ONTO CR-AB43 YDS KEEP STRAIGHT ONTO CR-AB [COUNTY ROAD AB] 1.8 MI TURN RIGHT (WEST) ONTO CR-AB [CR-MN] 1.0 MI TURN LEFT (SOUTH) ONTO CR-AB [COUNTY ROAD AB] 0.7 MI TURN LEFT (EAST) ONTO ELVEHJEM RD 0.5 MI SITE IS ON SOUTH SIDE OF ELVEHJEM RD.		<u>SCOPE OF WORK:</u> UNMANNED TELECOMMUNICATIONS FACILITY																																																							
S-1	SURVEY PLAN			<u>TYPE OF CONSTRUCTION</u> PROJECT TYPE: PROPOSED 170' SELF SUPPORT																																																							
S-2	ENLARGED SITE PLAN			<u>SITE ADDRESS:</u> TBD ELVEHJEM RD. MCFARLAND, WI 53558																																																							
S-3	1/2 MILE RESIDENCE MAP			<u>TOWER INFORMATION:</u> (LATITUDE & LONGITUDE BASED ON NAD1983) LATITUDE: 43° 00' 17.09"N LONGITUDE: 89° 15' 28.38"W GROUND ELEVATION AT TOWER BASE: 854' AMSL PROPOSED RAD CENTER HEIGHT: 160' AGL.																																																							
C-1	TOWER ELEVATION & DETAILS			<u>SQUARE FOOTAGE:</u> PROPOSED LEASE AREA: 9,497 SQ. FT.																																																							
C-3	ICE BRIDGE & FENCE DETAILS			<u>PROPERTY OWNERS:</u> DANIEL GAULRAPP 3316 ELVEHJEM RD. MCFARLAND, WI 53558																																																							
C-4	GENERAL NOTES			<u>PARCEL NUMBER (TAX I.D.):</u> 028/0610-122-8000-4																																																							
E-1	ELECTRICAL NOTES & DETAILS			<u>OCCUPANT LOAD:</u> UNOCCUPIED																																																							
E-2	SINGLE LINE DIAGRAM & DETAILS			<u>PARKING REQUIREMENTS:</u> ADDITIONAL PARKING REQUIRED: NONE EXISTING PARKING MODIFICATIONS: NONE REQUIRED																																																							
E-3	GROUNDING DETAILS																																																										
E-4	GROUNDING DETAILS																																																										
E-5	GROUNDING NOTES & DETAILS																																																										
NOTES		 VICINITY MAP NOT TO SCALE																																																									
CONCRETE AND REINFORCING STEEL NOTES (SEE PAGE C-4) APPLICABLE BUILDING CODES AND STANDARDS (SEE PAGE C-4) SITE WORK GENERAL NOTES (SEE PAGE C-4) STRUCTURAL STEEL NOTES (SEE PAGE C-4) GROUNDING NOTES (SEE PAGE E-5) ELECTRICAL INSTALLATION NOTES (SEE PAGE E-1) GENERAL NOTES (SEE PAGE C-4)																																																											
 LANDTECH PROFESSIONAL SURVEYING & ENGINEERING AL, AR, AZ, CO, FL, GA, IL, IN, KS, KY, MI, MN, MO, NE, NC, ND, NJ, NM, NY, OH, OK, PA, SC, SD, TN, TX, VA, WI, WY 231-943-0050 ph 231-943-0051 fax 877-520-LAND toll free www.landtechps.com www.towersurveyors.com				TOWER KING 23434 ELLIOTT ROAD, DEFIANCE, OH 43512 PH: (419) 782-8591		McFARLAND TBD ELVEHJEM RD. MCFARLAND, WI 53558		<table><tr><td>5</td><td>04/09/24</td><td>PER COMMENTS</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>4</td><td>04/02/24</td><td>PER COMMENTS</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>3</td><td>02/14/24</td><td>PER COMMENTS</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>2</td><td>01/17/24</td><td>PER COMMENTS</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>1</td><td>01/16/24</td><td>LEASE MOVE</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>0</td><td>12/04/23</td><td>ISSUED FOR REVIEW</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>NO.</td><td>DATE</td><td>REVISIONS</td><td>BY</td><td>CHK</td><td>APP'D</td></tr><tr><td colspan="2">SCALE: AS SHOWN</td><td>DESIGNED BY: MM</td><td colspan="3">DRAWN BY: RJH</td></tr></table>		5	04/09/24	PER COMMENTS	RJH	MM	MM	4	04/02/24	PER COMMENTS	RJH	MM	MM	3	02/14/24	PER COMMENTS	RJH	MM	MM	2	01/17/24	PER COMMENTS	RJH	MM	MM	1	01/16/24	LEASE MOVE	RJH	MM	MM	0	12/04/23	ISSUED FOR REVIEW	RJH	MM	MM	NO.	DATE	REVISIONS	BY	CHK	APP'D	SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: RJH			SHEET T-1 TITLE SHEET DRAWING NUMBER 23359006	
5	04/09/24	PER COMMENTS	RJH	MM	MM																																																						
4	04/02/24	PER COMMENTS	RJH	MM	MM																																																						
3	02/14/24	PER COMMENTS	RJH	MM	MM																																																						
2	01/17/24	PER COMMENTS	RJH	MM	MM																																																						
1	01/16/24	LEASE MOVE	RJH	MM	MM																																																						
0	12/04/23	ISSUED FOR REVIEW	RJH	MM	MM																																																						
NO.	DATE	REVISIONS	BY	CHK	APP'D																																																						
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: RJH																																																								

LATITUDE & LONGITUDE

LATITUDE AND LONGITUDE OF SITE ARE BASED ON NAD 83.

LATITUDE: 43° 00' 17.09"N
LONGITUDE: 89° 15' 28.38"W
GROUND ELEVATION AT TOWER BASE: 854' AMSL
ELEVATIONS ARE BASED ON NGVD88

SITE INFORMATION

SITE ADDRESS:
TBD ELVEHJEM RD,
MCFARLAND, WI 53558

PROPERTY OWNER:
DANIEL L. GAULRAPP
3316 ELVEHJEM RD,
MCFARLAND, WI 53558

ZONING INFORMATION

SUBJECT SITE ZONING: FP1
ADJACENT ZONING:

NORTH: RR8
SOUTH: FP35
EAST: NR-C
WEST: RR4

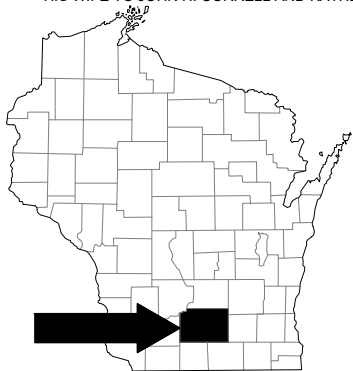
TOWER SETBACKS:

FRONT: 170'
REAR: 56'
SIDES: 56'

TITLE REPORT

THE PROPERTY REPORT ISSUED BY CHICAGO TITLE COMPANY, FILE NO. CO-14636, WITH AN EFFECTIVE DATE OF NOVEMBER 28, 2023.

- LAND CONTRACT BETWEEN CARL W. THOMPSON, RICHARD C. SHEIL AND RICHARD L. BECK, AS TENANTS IN COMMON AND DANIEL L. GAULRAPP RECORDED ON MARCH 17, 1980 AS DOCUMENT NO. 1660219. [BLANKET IN NATURE, NOT PLOTTED]
- ASSIGNMENT OF LAND CONTRACT BETWEEN CARL W. THOMPSON, RICHARD C. SHEIL ASSIGNORS AND FIRST FEDERAL SAVINGS AND LOAN ASSOCIATION OF MADISON RECORDED ON FEBRUARY 5, 1982 AS DOCUMENT NO. 1731510 [NOT PLOTTABLE IN NATURE, NOT PLOTTED]
- AN ACTION OF LIS PENDENS RECORDED ON SEPTEMBER 25, 1986 AS DOCUMENT NO. 1966533 AS REFERENCING CASE NO. 86CV5085, FOR PURPOSE OF SPECIFIC PERFORMANCE OF LAND CONTRACT. [BLANKET IN NATURE, NOT PLOTTED]
- WARRANTY DEED BETWEEN PAUL G. CHRISTOPHER, SR., AND MARGARET C. CHRISTOPHER, AS JOINT TENANTS AND AS HUSBAND AND WIFE TO CARL W. THOMPSON, RICHARD C. SHEIL AND RICHARD L. BECK, AS TENANTS IN COMMON.RECORDED ON FEBRUARY 5, 1982 AS DOCUMENT NO. 1731502. [BLANKET IN NATURE, NOT PLOTTED]
- QUIT CLAM DEED BETWEEN RICHARD L. BECK AND CARL W. THOMPSON AND RICHARD C. SHEIL AS TENANTS IN COMMON RECORDED ON FEBRUARY 5, 1982 AS DOCUMENT NO. 1731508. [BLANKET IN NATURE, NOT PLOTTED]
- QUIT CLAIM DEED RECORDED ON DECEMBER 1, 1986 AS DOCUMENT NO. 1980664 BETWEEN FIRST FEDERAL SAVINGS AND LOAN ASSOCIATION OF MADISON TO CARL W. THOMPSON AND RICHARD C. SHEIL. [BLANKET IN NATURE, NOT PLOTTED]
- EASEMENT(S) FOR THE PURPOSE(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN INDIVIDUAL CONVEYANCE OF EASEMENT TO GENERAL TELEPHONE COMPANY OF WISCONSIN, A WISCONSIN CORPORATION, RECORDED ON MAY 29, 1981, AS DOCUMENT NO. 1707361. [SHOWN HEREON]
- WARRANTY DEED BETWEEN CARL W. THOMPSON AND RICHARD C. SHEIL, AS TENANTS IN COMMON AND DANIEL L. GAULRAPP RECORDED ON DECEMBER 1, 1986 AS DOCUMENT NO. 1980665. [BLANKET IN NATURE, NOT PLOTTED]
- EASEMENT(S) FOR THE PURPOSE(S) AND RIGHTS INCIDENTAL THERETO, FOR INGRESS AND EGRESS, CONTAINED IN WARRANTY DEED RECORDED ON DECEMBER 1, 1986, AS DOCUMENT NO. 1980665. [SHOWN HEREON]
- NOTICE OF PENDENCY OF PETITION TO LAY TOWN HIGHWAY RECORDED DECEMBER 1, 1987 AS DOCUMENT NO. 2056644. [SHOWN HEREON]
- WARRANTY DEED RECORDED ON JUNE 13, 1994 AS DOCUMENT NO. 2608933 BETWEEN DANIEL L. GAULRAPP AND NANCY L.GAULRAOO, HIS WIFE TO JOHN H. CORRELL AND KATHLEEN A. CORRELL HIS WIFE. [SHOWN HEREON] (SEE SHEET S-2)



GENERAL NOTES

- NO PROPOSED MUNICIPAL SEWER OR WATER UTILITIES ARE REQUIRED FOR THIS SITE.
- FINISH GRADE WILL MATCH EXISTING CONTOUR.
- THERE WILL BE NO CHANGE IN DRAINAGE PATTERN DUE TO THE PROPOSED INSTALLATION.
- NO SIGNIFICANT RUNOFF IS GENERATED BY THE PROPOSED INSTALLATION.
- NO HAZARDOUS MATERIALS WILL BE USED, PROCESSED OR STORED AT THE SITE.
- TOWER LIGHTING SHALL CONFORM TO FAA STANDARDS AS REQUIRED.
- ALL WORK SHALL CONFORM TO FAA & FCC REGULATIONS.



PARENT PARCEL DESCRIPTION (as provided)

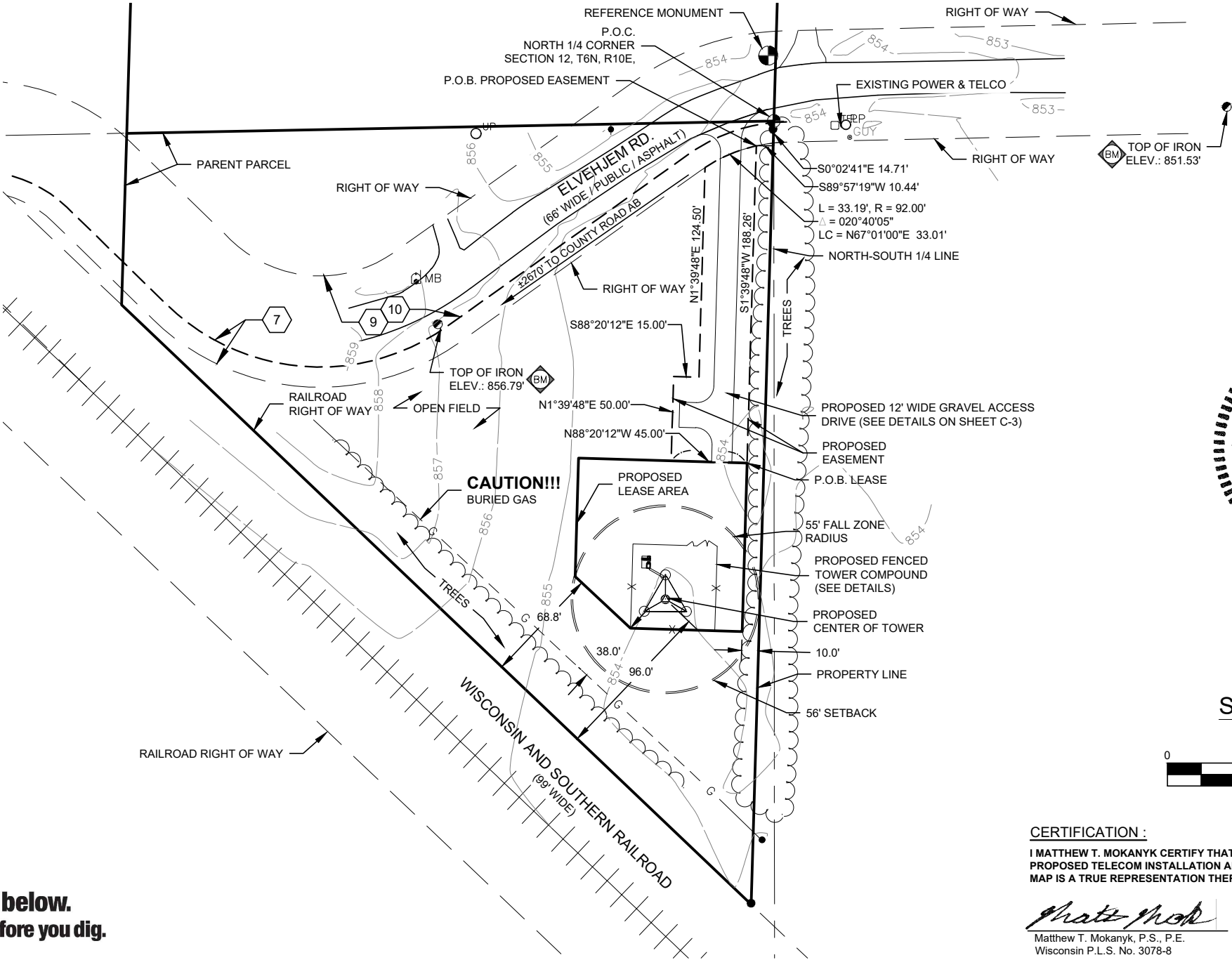
A PARCEL OF LAND LOCATED IN THE SE 1/4 OF THE SW 1/4 OF SECTION 1 AND THE NE 1/4 OF THE NW 1/4 OF SECTION 12, T6N, R10E, TOWNSHIP OF DUNN, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 1, T6N, R10E, TOWN OF DUNN,DANE COUNTY, THE POINT OF BEGINNING OF THIS DESCRIPTION;
THENCE TO THE NORTHEASTERLY RIGHT-OF-WAY OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD S 01°-32'-50" W, 464.90 FEET;
THENCE ALONG SAID RAILROAD RIGHT-OF-WAY N 46°-30'-05" W, 515.61 FEET; THENCE N 01°-34' -07" E, 749.46 FEET;
THENCE S 89°-10' -42" W, 283.55 FEET;
THENCE N 01° -35' -24" E, 649.73 FEET;
THENCE ALONG THE NORTH LINE OF THE SE 1/4 OF THE SW 1/4 OF SECTION 1, T6N, R10E,
N 89° -34' -28" E, 666.40 FEET;
THENCE S 01°-32' -50" W, 1290.19 FEET TO THE POINT OF BEGINNING.
EXCEPT THAT PART CONVEYED IN DEED RECORDED AS DOCUMENT NO. 2608933 DESCRIBED AS FOLLOWS:
PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 10 EAST, IN THE TOWN OF DUNN, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF THE GAULRAPP PARCEL, 800 FEET IN A SOUTHERLY DIRECTION ALONG THE PROPERTY LINE, THEN 300 FEET S. 89° 29' 18" W, THEN N01°32' 50" E FOR 800 FEET, THEN TO THE POINT OF BEGINNING.
TAX KEY NO. 028/0610-122-8000-4

TOWER KING LEASE AREA DESCRIPTION

PART OF THE NORTHWEST 1/4 OF SECTION 12, TOWN 6 NORTH, RANGE 10 EAST, TOWN OF DUNN, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION; THENCE SOUTH 00°02'41" EAST ALONG THE NORTH-SOUTH 1/4 LINE A DISTANCE OF 14.71 FEET; THENCE SOUTH 89°57'19" WEST A DISTANCE OF 10.44 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF ELVENHJEM ROAD (66' WIDE / PUBLIC); THENCE SOUTH 01°39'48" WEST A DISTANCE OF 188.26 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 01°39'48" WEST A DISTANCE OF 100.00 FEET; THENCE NORTH 88°20'12" WEST A DISTANCE OF 66.21 FEET; THENCE NORTH 46°58'14" WEST A DISTANCE OF 45.02 FEET; THENCE NORTH 01°39'48" EAST A DISTANCE OF 70.24 FEET; THENCE SOUTH 88°20'12" EAST A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING.
CONTAINING 9,497 SQUARE FEET OR 0.218 ACRES.

TOWER KING ACCESS/UTILITY EASEMENT DESCRIPTION

A THIRTY (30) FOOT WIDE EASEMENT FOR INGRESS/EGRESS AND THE INSTALLATION AND MAINTENANCE OF UTILITIES OVER/UNDER AND ACROSS ALL THAT PART OF THE NORTHWEST 1/4 OF SECTION 12, TOWN 6 NORTH, RANGE 10 EAST, TOWN OF DUNN, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION; THENCE SOUTH 00°02'41" EAST ALONG THE NORTH-SOUTH 1/4 LINE A DISTANCE OF 14.71 FEET; THENCE SOUTH 89°57'19" WEST A DISTANCE OF 10.44 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF ELVENHJEM ROAD (66' WIDE / PUBLIC) AND THE POINT OF BEGINNING; THENCE SOUTH 01°39'48" WEST A DISTANCE OF 188.26 FEET TO THE NORTHEAST CORNER OF A LEASE AREA; THENCE NORTH 88°20'12" WEST ALONG THE NORTH LINE OF SAID LEASE AREA A DISTANCE OF 45.00 FEET; THENCE NORTH 01°39'48" EAST A DISTANCE OF 50.00 FEET; THENCE SOUTH 88°20'12" EAST A DISTANCE OF 15.00 FEET; THENCE NORTH 01°39'48" EAST A DISTANCE OF 124.50 FEET TO SAID RIGHT OF WAY; THENCE NORTHEASTERLY ALONG SAID RIGHT OF WAY A DISTANCE OF 33.19 FEET, ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 92.00 FEET, A CENTRAL ANGLE OF 20°40'05", AND CHORD BEARING NORTH 67°01'00" EAST A DISTANCE OF 33.01 FEET TO THE POINT OF BEGINNING.



- IRON FOUND
- IRON SET
- P.K. NAIL FOUND
- P.K. NAIL SET
- GPS MONUMENT
- MONUMENT BOX FOUND
- MONUMENT FOUND
- MONUMENT SET
- RECORD
- MEASURED
- STS STORM MANHOLE
- CATCH BASIN
- SQUARE CATCH BASIN
- SNS SANITARY MANHOLE
- SANITARY CLEAN-OUT
- MONITOR WELL
- TELCO. MANHOLE
- POWER POLE
- GUY
- GUY
- LIGHT POLE
- ELECTRIC TRANSFORMER
- ELECTRIC METER
- ELECTRIC HANDHOLE
- WATER VALVE
- HYDRANT
- GAS METER
- GAS MARKER
- GAS VALVE
- TELEPHONE PEDESTAL
- SIGN POST
- FENCE LINE
- BENCHMARK
- POST

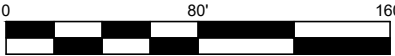
LEGEND

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.



SURVEY PLAN

SCALE: 1"=80'



CERTIFICATION :

I MATTHEW T. MOKANYK CERTIFY THAT I HAVE SURVEYED AND MARKED THE PROPOSED TELECOM INSTALLATION AND EXISTING FEATURES AND THAT THIS MAP IS A TRUE REPRESENTATION THEREOF.

Matthew T. Mokanyk
Matthew T. Mokanyk, P.S., P.E.
Wisconsin P.L.S. No. 3078-8

12/04/23

Date

BEARING BASIS: WISCONSIN STATE PLANE COORDINATES, SOUTH ZONE. NAD 83.



TOWER KING
23434 ELLIOTT ROAD,
DEFIANCE, OH 43512
PH: (419) 782-8591

McFARLAND
TBD ELVEHJEM RD.
MCFARLAND, WI 53558

5	04/09/24	PER COMMENTS	RJH	MM	MM
4	04/02/24	PER COMMENTS	RJH	MM	MM
3	02/14/24	PER COMMENTS	RJH	MM	MM
2	01/17/24	PER COMMENTS	RJH	MM	MM
1	01/16/24	LEASE MOVE	RJH	MM	MM
0	12/04/23	ISSUED FOR REVIEW	RJH	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: RJH		

SHEET S-1

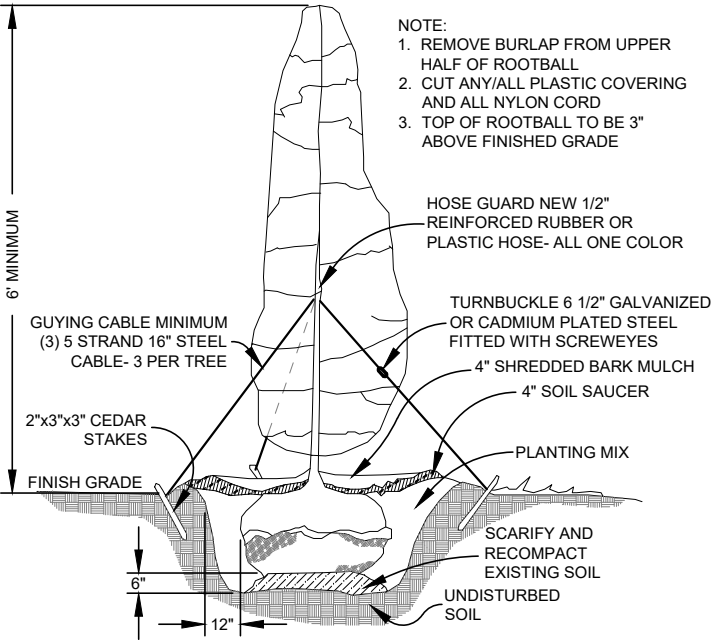
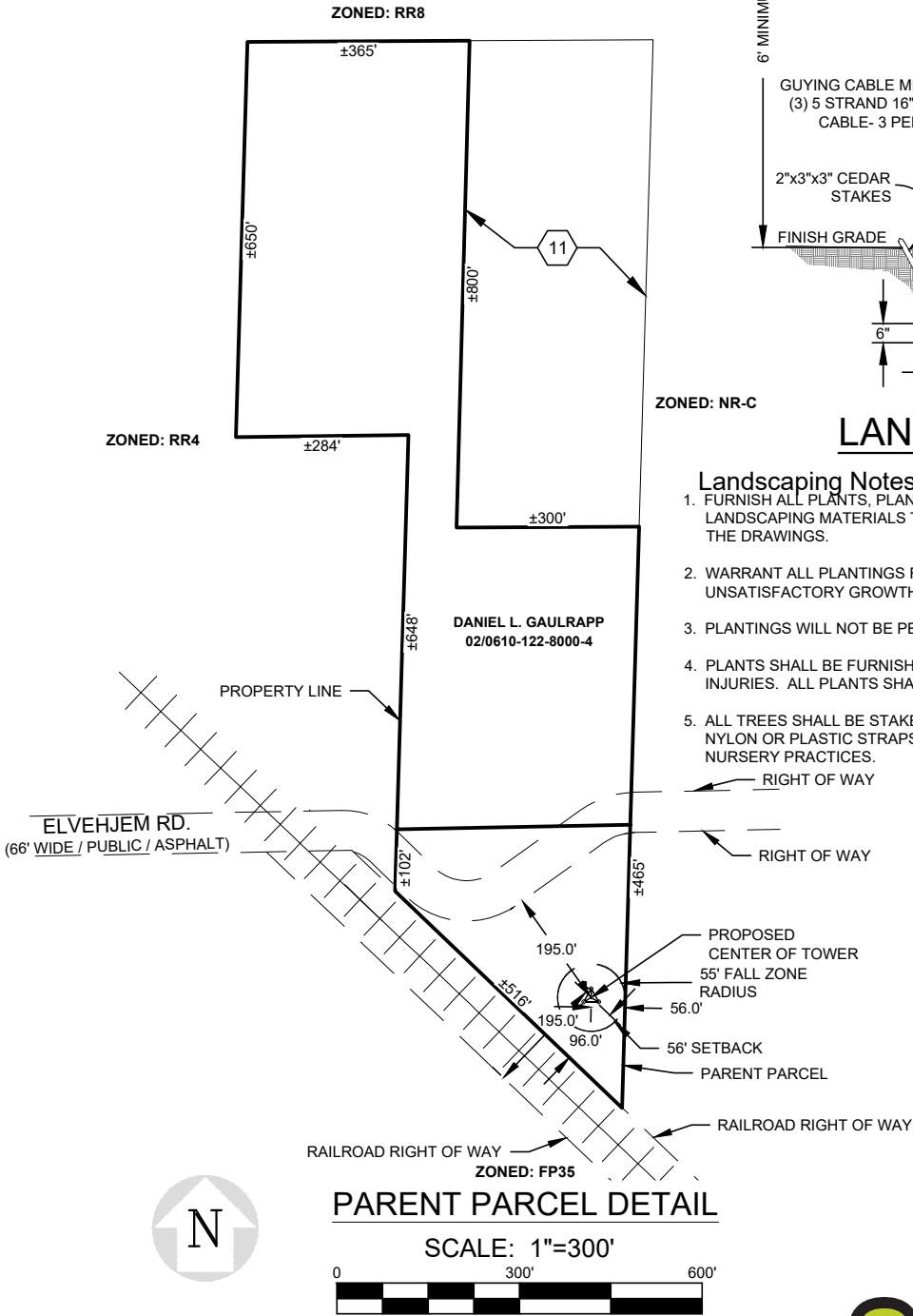
SURVEY PLAN

DRAWING NUMBER

23359006

GENERAL NOTES

- 1. NO PROPOSED MUNICIPAL SEWER OR WATER UTILITIES ARE REQUIRED FOR THIS SITE. FINISH GRADE WILL MATCH EXISTING CONTOURS.
- 2. THERE WILL BE NO CHANGE IN DRAINAGE PATTERN DUE TO THE PROPOSED INSTALLATION. NO SIGNIFICANT RUNOFF IS GENERATED BY THE PROPOSED INSTALLATION.
- 3. NO HAZARDOUS MATERIALS WILL BE USED, PROCESSED OR STORED AT THE SITE.
- 4. ALL WORK SHALL CONFORM TO FAA & FCC REGULATIONS.
- 5. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE DEEMED UNNECESSARY FOR THIS PROJECT DUE TO THE LIMITED SCOPE OF EARTH DISRUPTION IN CONJUNCTION WITH EROSION CONTROL CHARACTERISTICS OF THE EXISTING SURFACE VEGETATION COVERAGE.



LANDSCAPING DETAIL

NOT TO SCALE

Landscaping Notes:

- 1. FURNISH ALL PLANTS, PLANT BACKFILL MATERIAL, LABOR, EQUIPMENT, AND OTHER NECESSARY LANDSCAPING MATERIALS TO COMPLETE INSTALLATION OF LANDSCAPE PLANTINGS AS SHOW ON THE DRAWINGS.
- 2. WARRANT ALL PLANTINGS FOR A PERIOD OF ONE YEAR AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH.
- 3. PLANTINGS WILL NOT BE PERMITTED FROM SEPTEMBER 30 TO APRIL 15.
- 4. PLANTS SHALL BE FURNISHED IN SOUND HEALTH AND FREE FROM INSECT PESTS, DISEASES, AND INJURIES. ALL PLANTS SHALL EQUAL OR EXCEED THE MEASUREMENTS SPECIFIED.
- 5. ALL TREES SHALL BE STAKED & GUYED WITH A MINIMUM OF TWO LINES, USING 14 GAUGE WIRE, NYLON OR PLASTIC STRAPS, AND HARDWOOD STAKES AND IN ACCORDANCE WITH STANDARD NURSERY PRACTICES.

RIGHT OF WAY

RIGHT OF WAY

PROPOSED CENTER OF TOWER

55' FALL ZONE RADIUS

56.0'

56' SETBACK

PARENT PARCEL

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

ZONED: FP35

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

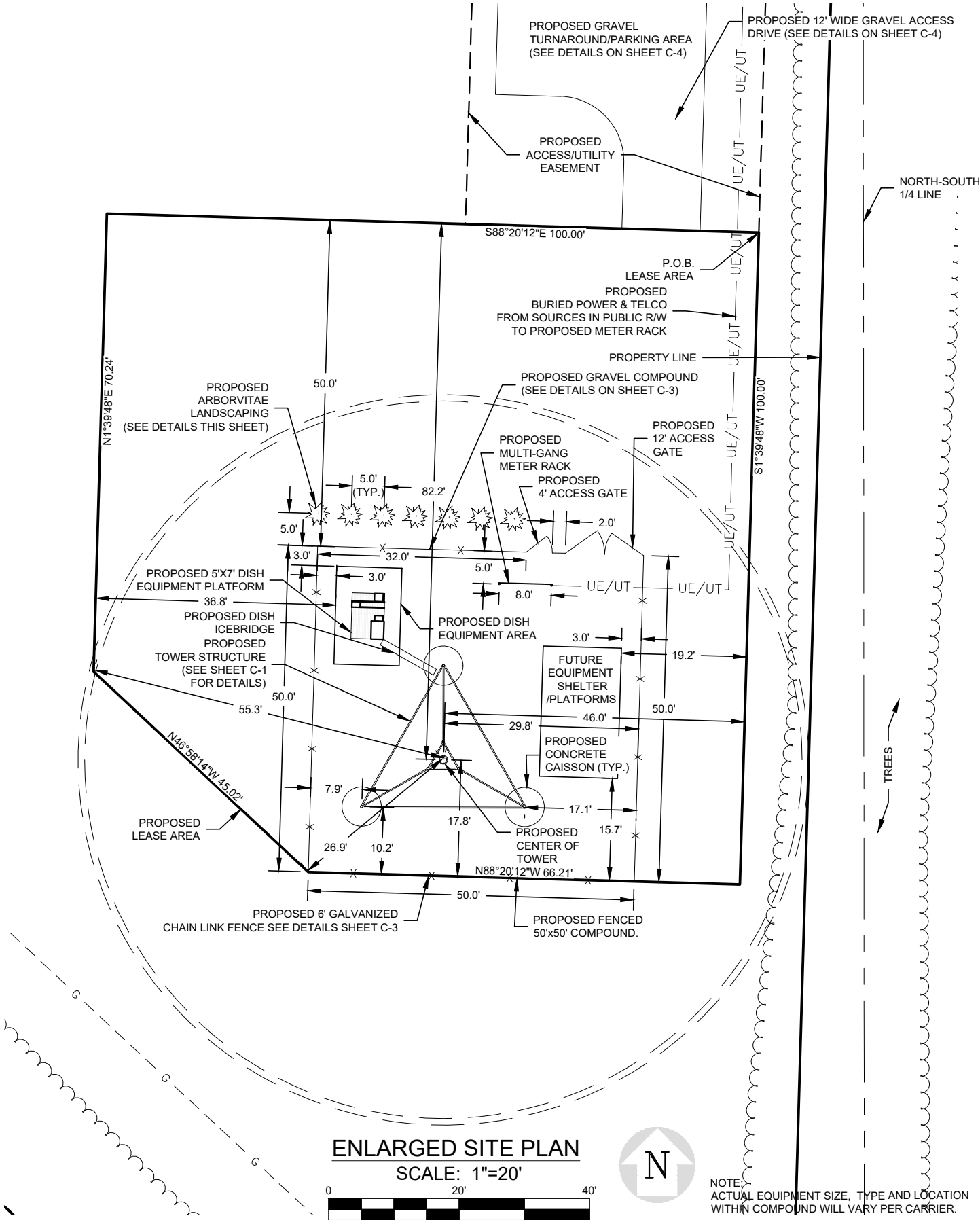
RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY

RAILROAD RIGHT OF WAY



Know what's below.
Call before you dig.



NOTE: ACTUAL EQUIPMENT SIZE, TYPE AND LOCATION WITHIN COMPOUND WILL VARY PER CARRIER.

LANDTECH
PROFESSIONAL SURVEYING & ENGINEERING
AL, AR, AZ, CO, FL, GA, IL, IA, IN, KS, KY, MI, MN, MO, NE, NC, ND, NJ, NM, NY, OH, OK, PA, SC, SD, TN, TX, VA, WV, WI
231-943-0050 ph 231-943-0051 fax 877-520-LAND toll free
www.landtechps.com www.towersurveyors.com

TOWER KING

TOWER KING
23434 ELLIOTT ROAD,
DEFIANCE, OH 43512
PH: (419) 782-8591

McFARLAND
TBD ELVEHJEM RD.
McFARLAND, WI 53558

5	04/09/24	PER COMMENTS	RJH	MM	MM
4	04/02/24	PER COMMENTS	RJH	MM	MM
3	02/14/24	PER COMMENTS	RJH	MM	MM
2	01/17/24	PER COMMENTS	RJH	MM	MM
1	01/16/24	LEASE MOVE	RJH	MM	MM
0	12/04/23	ISSUED FOR REVIEW	RJH	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: RJH		

SHEET S-2

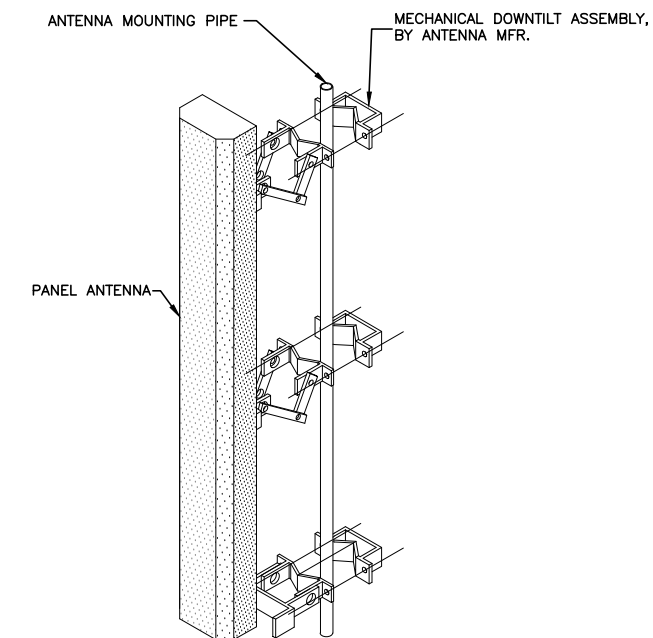
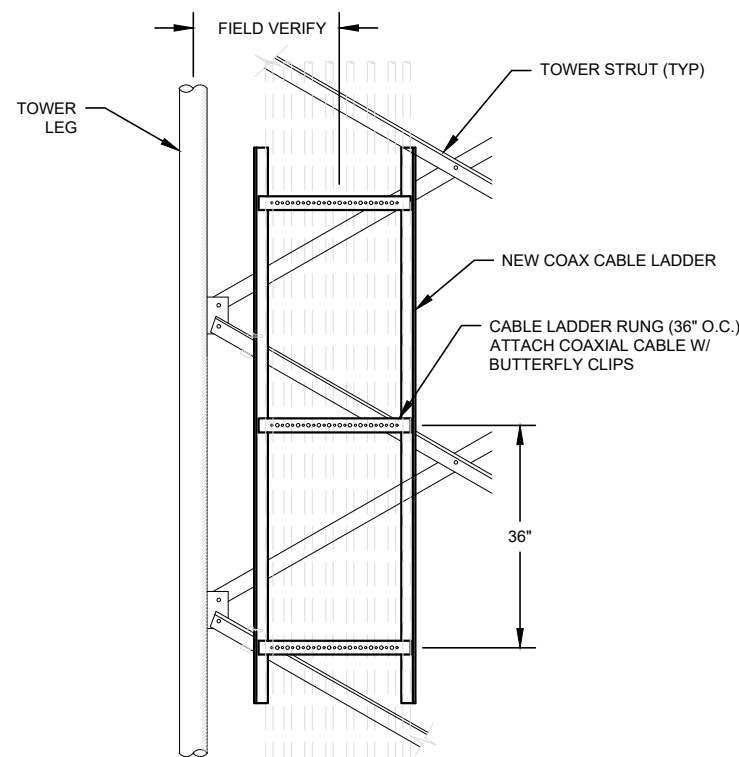
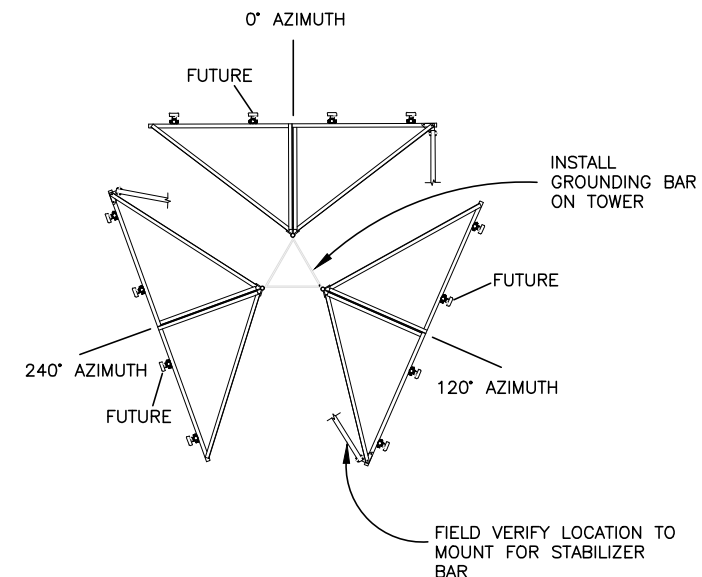
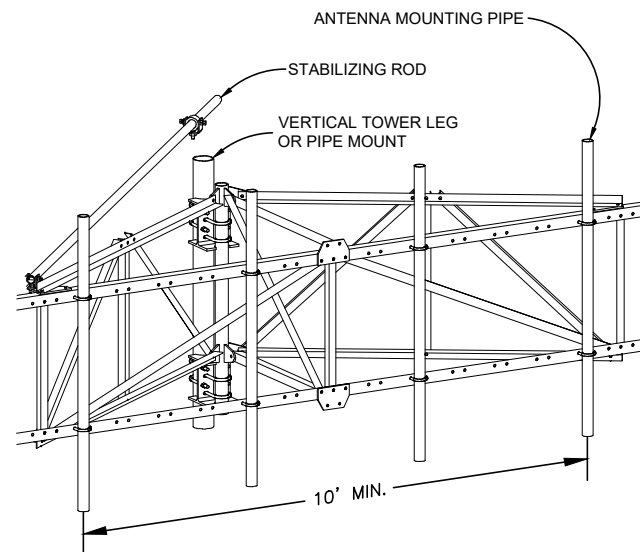
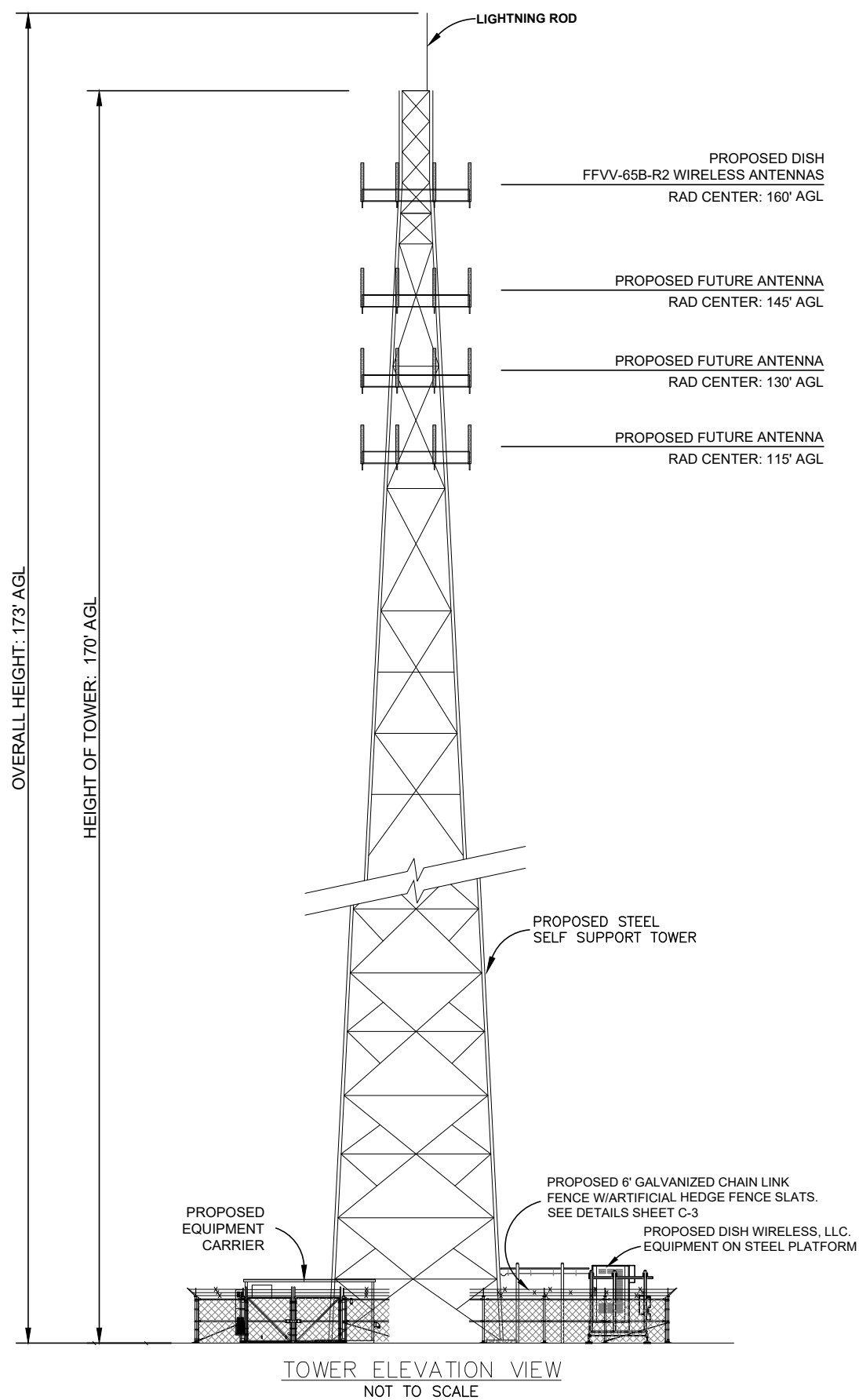
ENLARGED SITE PLAN

DRAWING NUMBER

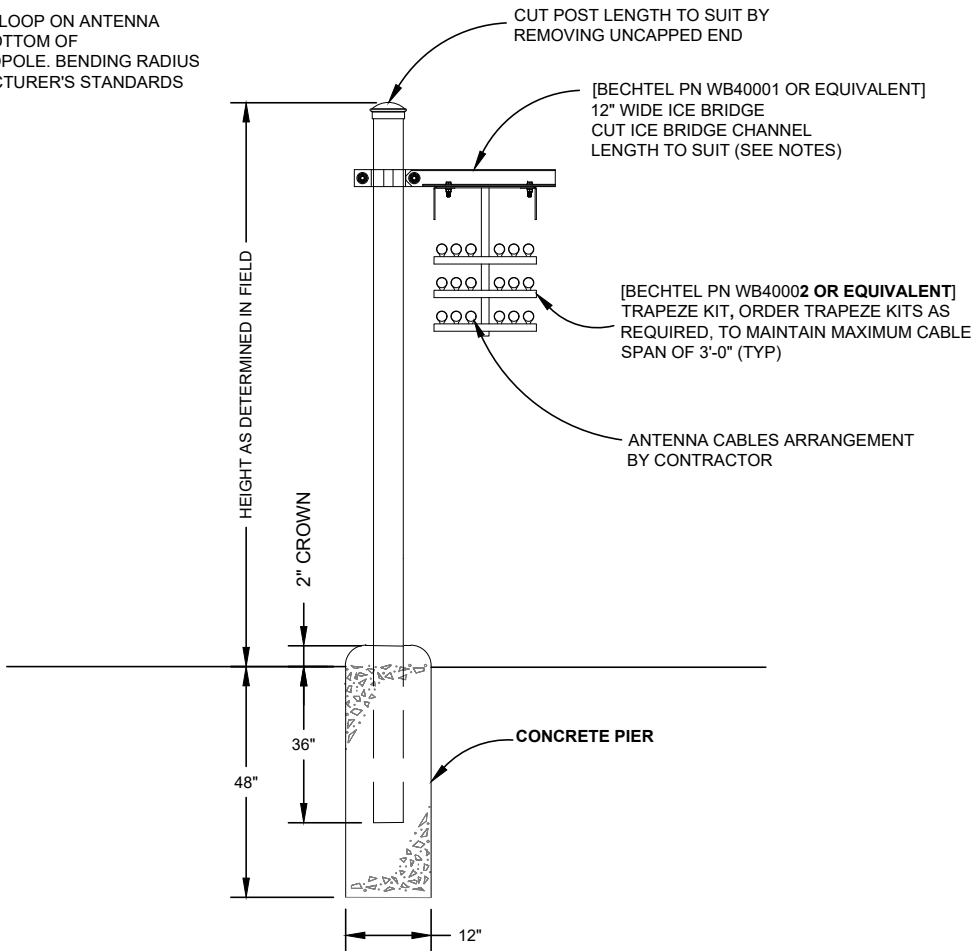
23359006



5	04/09/24	PER COMMENTS	RJH	MM	MM
4	04/02/24	PER COMMENTS	RJH	MM	MM
3	02/14/24	PER COMMENTS	RJH	MM	MM
2	01/17/24	PER COMMENTS	RJH	MM	MM
1	01/16/24	LEASE MOVE	RJH	MM	MM
0	12/04/23	ISSUED FOR REVIEW	RJH	MM	MM
NO.		DATE	REVISIONS		
SCALE:		AS SHOWN	DESIGNED BY:	MM	DRAWN BY: RJH



* INSTALL DRIP LOOP ON ANTENNA CABLES AT BOTTOM OF TOWER/MONOPOLE. BENDING RADIUS PER MANUFACTURER'S STANDARDS

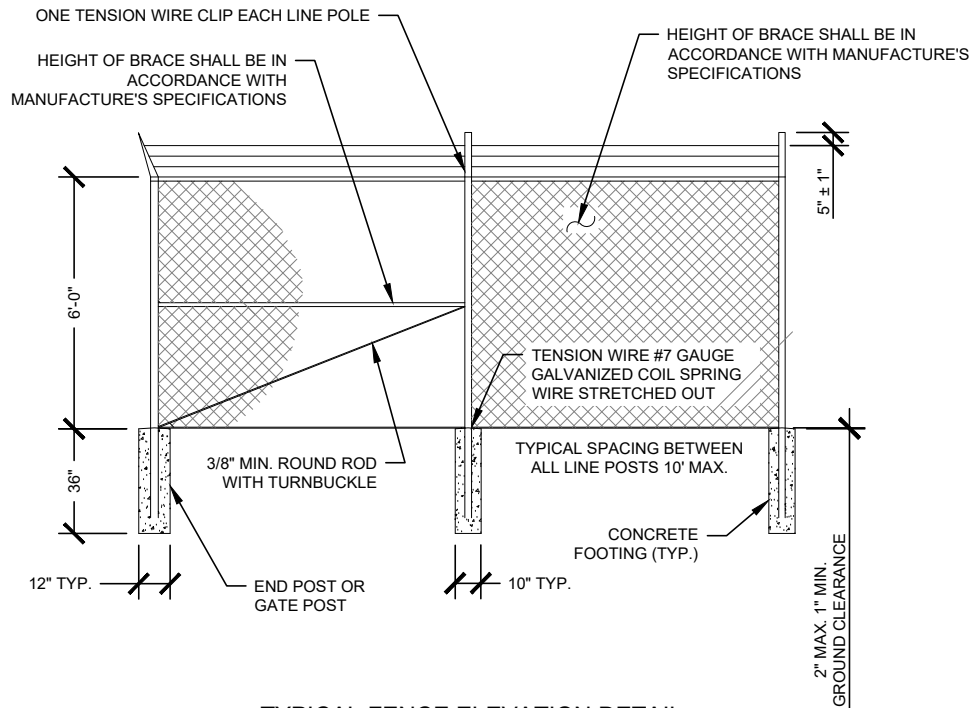


BECHTEL SC:	ROHN PN:	MTS PN:
WB40001		WB-K110-B
WB40002		WB-T12-3

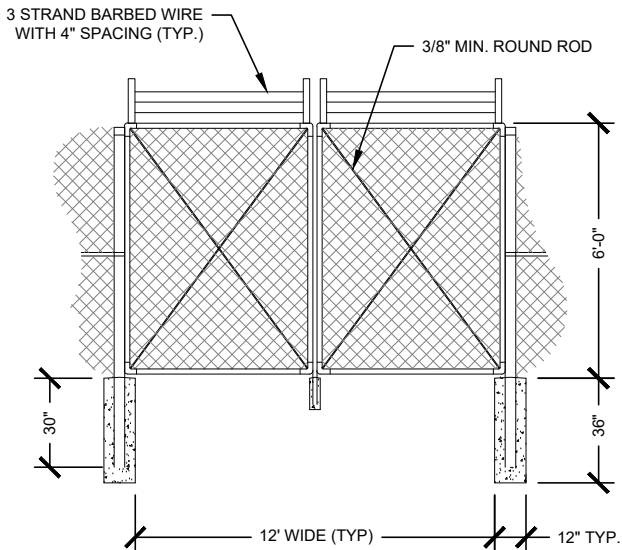
NOTES:

1. WHEN USING COMPONENTS AS SHOWN IN STANDARD DETAILS, MAXIMUM ALLOWABLE SPAN BETWEEN SUPPORTS ON A CONTINUOUS SINGLE SECTION OF BRIDGE CHANNEL SHALL BE 9 FEET FOR 10 FEET BRIDGE CHANNEL.
2. WHEN USING COMPONENTS FOR SPLICING BRIDGE CHANNEL SECTIONS, THE SPLICE SHOULD BE PROVIDED AT THE SUPPORT, IF POSSIBLE, OR AT A MAXIMUM OF 2 FEET FROM THE SUPPORT.
3. WHEN USING COMPONENTS, SUPPORT SHOULD BE PROVIDED AS CLOSE AS POSSIBLE TO THE ENDS OF ICE BRIDGES, WITH A MAXIMUM CANTILIVER DISTANCE OF 2 FEET FROM THE SUPPORT TO THE FREE END OF THE ICE BRIDGE.
4. CUT BRIDGE CHANNEL SECTIONS SHALL HAVE RAW EDGES TREATED WITH A MATERIAL TO RESTORE THESE EDGES TO THE ORIGINAL CHANNEL, OR EQUIVALENT, FINISH.
5. ICE BRIDGES MAY BE CONSTRUCTED WITH COMPONENTS FROM OTHER MANUFACTURERS, PROVIDED THE MANUFACTURER'S INSTALLATION GUIDELINES ARE FOLLOWED.
6. DEVIATIONS FROM STANDARDS FOR COMPONENT INSTALLATIONS ARE PERMITTED WITH THE RESPECTIVE MANUFACTURER'S APPROVAL.
7. DEVIATIONS FROM ICE BRIDGE FOUNDATIONS REQUIRE ENGINEERING APPROVAL.

TYPICAL ICE BRIDGE DETAIL
NOT TO SCALE

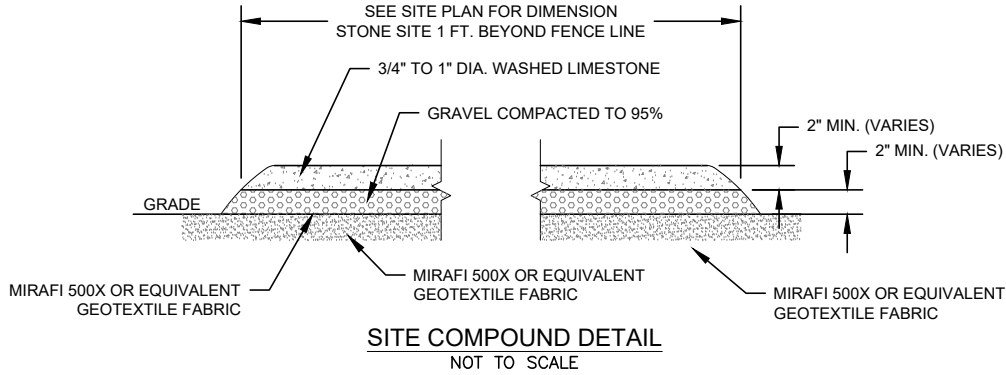


TYPICAL FENCE ELEVATION DETAIL
NOT TO SCALE

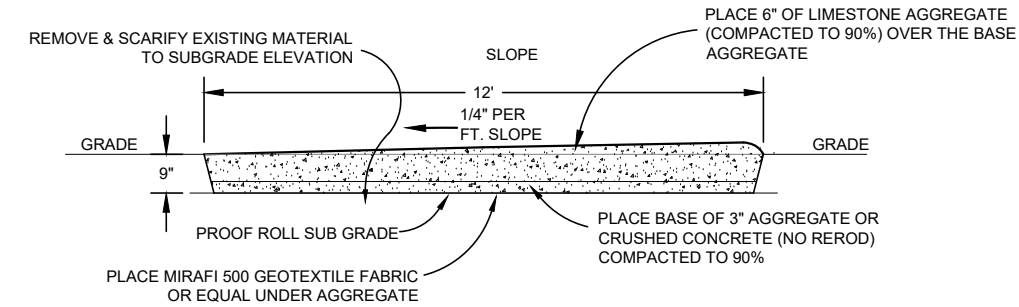


NOTE:
FENCING ELEVATIONS ARE ONLY EXAMPLES.
FOLLOW CONSTRUCTION CONTRACT.

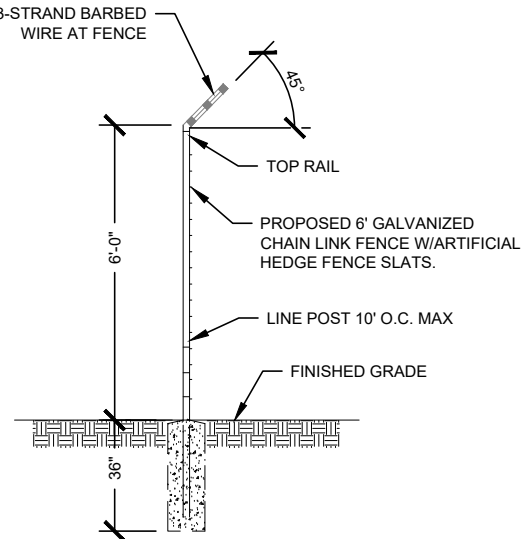
TYPICAL SWING GATE DETAIL
NOT TO SCALE





SITE COMPOUND DETAIL
NOT TO SCALE



TYPICAL GRAVEL DRIVE
NOT TO SCALE

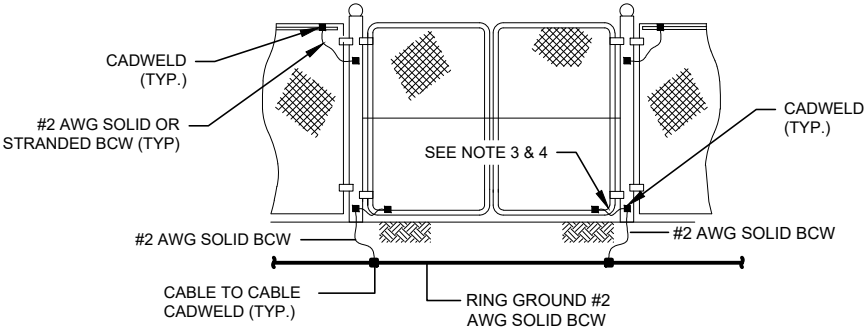


FENCE / BARBED WIRE ARM DETAIL
NOT TO SCALE

<div><div><div><div><div>SITE WORK GENERAL NOTES:</div></div></div><div><div><div>1. THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.</div><div>2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING & EXCAVATION.</div><div>3. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.</div><div>4. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.</div><div>5. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, OWNER AND/OR LOCAL UTILITIES.</div><div>6. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION.</div><div>7. THE SUBCONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE.</div><div>8. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BTS EQUIPMENT AND TOWER AREAS.</div><div>9. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.</div><div>10. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.</div><div>11. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED IN THE PROJECT SPECIFICATIONS.</div><div>12. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.</div></div></div></div><div><div><div>STRUCTURAL STEEL NOTES:</div><div><div>1. ALL STEEL WORK SHALL BE PAINTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH ASTM A36 UNLESS OTHERWISE NOTED.</div><div>2. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION". PAINTED SURFACES SHALL BE TOUCHED UP.</div><div>3. BOLTED CONNECTIONS SHALL BE ASTM A325 BEARING TYPE (3/4"Ø) CONNECTIONS AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.</div><div>4. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.</div><div>5. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS.</div></div></div></div></div>	<div><div><div>CONCRETE AND REINFORCING STEEL NOTES:</div><div><div>1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.</div><div>2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE.</div><div>3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.</div><div>4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:<div><div>CONCRETE CAST AGAINST EARTH.....3 IN.</div><div>CONCRETE EXPOSED TO EARTH OR WEATHER:<div><div>#6 AND LARGER2 IN.</div><div>#5 AND SMALLER & WWF1 1/2 IN.</div></div><div>CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:<div><div>SLAB AND WALL3/4 IN.</div><div>BEAMS AND COLUMNS1 1/2 IN.</div></div></div></div><div>5. A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.</div><div>6. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD OR APPROVED EQUAL.</div></div></div></div><div><div><div>GENERAL NOTES:</div><div><div>1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:<div><div>CONTRACTOR -</div><div>SUBCONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)</div><div>OWNER -</div><div>OEM - ORIGINAL EQUIPMENT MANUFACTURE</div></div></div><div>2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.</div><div>3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.</div><div>4. DRAWINGS PROVIDED HERE ARE NOT TO SCALE AND ARE INTENDED TO SHOW OUTLINE ONLY.</div><div>5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.</div><div>6. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.</div><div>7. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR.</div><div>8. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING.</div><div>9. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.</div><div>10. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.</div><div>11. SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.</div></div></div></div></div></div>	<div><div><div>APPLICABLE BUILDING CODES AND STANDARDS:</div><div><div>SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.</div><div>ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES:<div><div>1. INTERNATIONAL BUILDING CODE</div><div>2. INTERNATIONAL MECHANICAL CODE</div><div>3. INTERNATIONAL RESIDENTIAL CODE</div><div>4.UNIFORM PLUMBING CODE</div><div>5. NATIONAL ELECTRICAL CODE</div><div>6. LOCAL BUILDING CODE</div><div>7. STATE BUILDING CODE</div><div>8. CITY/COUNTY ORDINANCES</div></div><div>UnderWriter Laboratories Approved Electrical Products Life Safety Code NFPA - 101</div><div>SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING;</div><div>AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL.</div><div>AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD,</div><div>TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) EIA-222-F, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES.</div><div>INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM.</div><div>IEEE 1100 (2005) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC.</div><div>IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")</div><div>TIA 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELCORDIA GR-1503 COAXIAL CABLE CONNECTIONS</div><div>FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.</div></div></div></div><div><div><div>ABBREVIATIONS AND SYMBOLS</div><div><div><div>ABBREVIATIONS</div><div>AGL ABOVE GRADE LEVEL</div><div>BTS BASE TRANSCEIVER STATION</div><div>(E) EXISTING</div><div>MIN MINIMUM</div><div>N.T.S. NOT TO SCALE</div><div>REF REFERENCE</div><div>RF RADIO FREQUENCY</div><div>T.B.D. TO BE DETERMINED</div><div>T.B.R. TO BE RESOLVED</div><div>TYP TYPICAL</div><div>REQ REQUIRED</div><div>EGR EQUIPMENT GROUND RING</div><div>AWG AMERICAN WIRE GAUGE</div><div>MGB MASTER GROUND BUS</div><div>EG EQUIPMENT GROUND</div><div>BCW BARE COPPER WIRE</div><div>SIAD SMART INTEGRATED ACCESS DEVICE</div><div>GEN GENERATOR</div><div>IGR INTERIOR GROUND RING (HALO)</div><div>RBS RADIO BASE STATION</div></div><div><div>SYMBOLS</div><div><div><div>S/G</div><div>SOLID GROUND BUS BAR</div></div><div><div>S/N</div><div>SOLID NEUTRAL BUS BAR</div></div><div><div><div>⚬</div><div>⚬</div></div><div>SUPPLEMENTAL GROUND CONDUCTOR</div></div><div><div><div>⚡</div></div><div>2-POLE THERMAL-MAGNETIC CIRCUIT BREAKER</div></div><div><div><div>⚡</div></div><div>SINGLE-POLE THERMAL-MAGNETIC CIRCUIT BREAKER</div></div><div><div><div>⚡</div></div><div>CHEMICAL GROUND ROD</div></div><div><div><div>⊗</div></div><div>GROUND ROD</div></div><div><div><div>⏏</div></div><div>DISCONNECT SWITCH</div></div><div><div><div>Ⓜ</div></div><div>METER</div></div><div><div><div>■</div></div><div>CADWELD TYPE CONNECTION</div></div><div><div><div>●</div></div><div>COMPRESSION TYPE CONNECTION</div></div><div><div><div>---</div></div><div>GROUNDING WIRE</div></div></div></div></div></div></div></div>																																																
<div><div><div><div><div><div></div><div><div>LANDTECH</div><div>PROFESSIONAL SURVEYING & ENGINEERING</div><div>AL, AR, AZ, CO, FL, GA, IL, IA, IN, KS, KY, MI, MN, MO, NE, NC, ND, NJ, NM, NY, OH, OK, PA, SC, SD, TN, TX, VA, WI, WV, WY</div><div><div>231-943-0050 ph 231-943-0051 fax 877-520-LAND toll free</div><div>www.landtechps.com www.towersurveyors.com</div></div></div></div><div><div><div></div></div></div></div></div><div><div><div>TOWER KING</div><div>23434 ELLIOTT ROAD,</div><div>DEFIANCE, OH 43512</div><div>PH: (419) 782-8591</div></div></div><div><div><div>McFARLAND</div><div>TBD ELVEHJEM RD.</div><div>McFARLAND, WI 53558</div></div></div></div></div>	<table><tr><td>5</td><td>04/09/24</td><td>PER COMMENTS</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>4</td><td>04/02/24</td><td>PER COMMENTS</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>3</td><td>02/14/24</td><td>PER COMMENTS</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>2</td><td>01/17/24</td><td>PER COMMENTS</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>1</td><td>01/16/24</td><td>LEASE MOVE</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>0</td><td>12/04/23</td><td>ISSUED FOR REVIEW</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>NO.</td><td>DATE</td><td>REVISIONS</td><td>BY</td><td>CHK</td><td>APP'D</td></tr><tr><td colspan="2">SCALE: AS SHOWN</td><td>DESIGNED BY: MM</td><td colspan="3">DRAWN BY: RJH</td></tr></table>	5	04/09/24	PER COMMENTS	RJH	MM	MM	4	04/02/24	PER COMMENTS	RJH	MM	MM	3	02/14/24	PER COMMENTS	RJH	MM	MM	2	01/17/24	PER COMMENTS	RJH	MM	MM	1	01/16/24	LEASE MOVE	RJH	MM	MM	0	12/04/23	ISSUED FOR REVIEW	RJH	MM	MM	NO.	DATE	REVISIONS	BY	CHK	APP'D	SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: RJH			<div><div><div>SHEET C-4</div><div>GENERAL NOTES</div><div>DRAWING NUMBER</div><div>23359006</div></div></div>
5	04/09/24	PER COMMENTS	RJH	MM	MM																																													
4	04/02/24	PER COMMENTS	RJH	MM	MM																																													
3	02/14/24	PER COMMENTS	RJH	MM	MM																																													
2	01/17/24	PER COMMENTS	RJH	MM	MM																																													
1	01/16/24	LEASE MOVE	RJH	MM	MM																																													
0	12/04/23	ISSUED FOR REVIEW	RJH	MM	MM																																													
NO.	DATE	REVISIONS	BY	CHK	APP'D																																													
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: RJH																																															

ELECTRICAL INSTALLATION NOTES

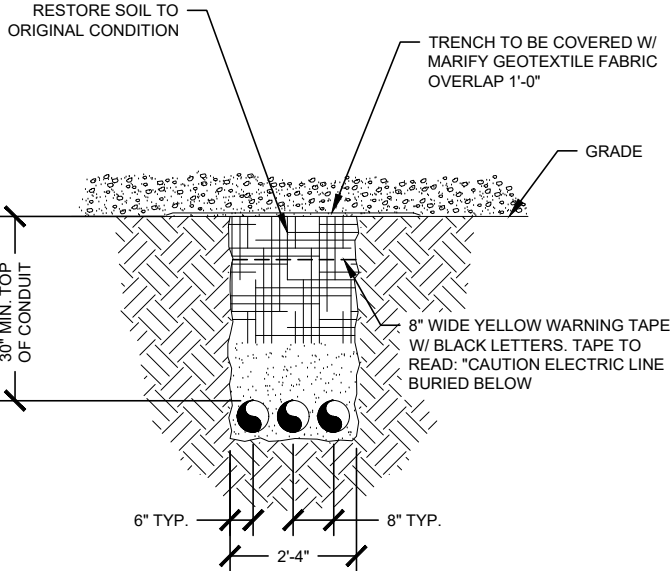
1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
2. CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
5. CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
6. EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.
7. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
8. PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
9. ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
10. POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
11. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; WITH OUTER JACKET; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
16. ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.
18. RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
19. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
20. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.
21. CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
22. WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
23. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS
24. METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
25. NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
26. THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
27. THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.



NOTES:

1. THE #2 AWG, BCW, FROM THE RING GROUND SHALL BE CADWELDED TO THE POST ABOVE GRADE.
2. BOND EACH HORIZONTAL POLE/BRACE TO EACH OTHER AND TO EACH VERTICAL POLE BONDED TO THE EXTERIOR GROUND RING.
3. GATE JUMPER SHALL BE #4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAID BURNDY TYPE B WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
4. GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULLY OPEN IN EITHER DIRECTION.

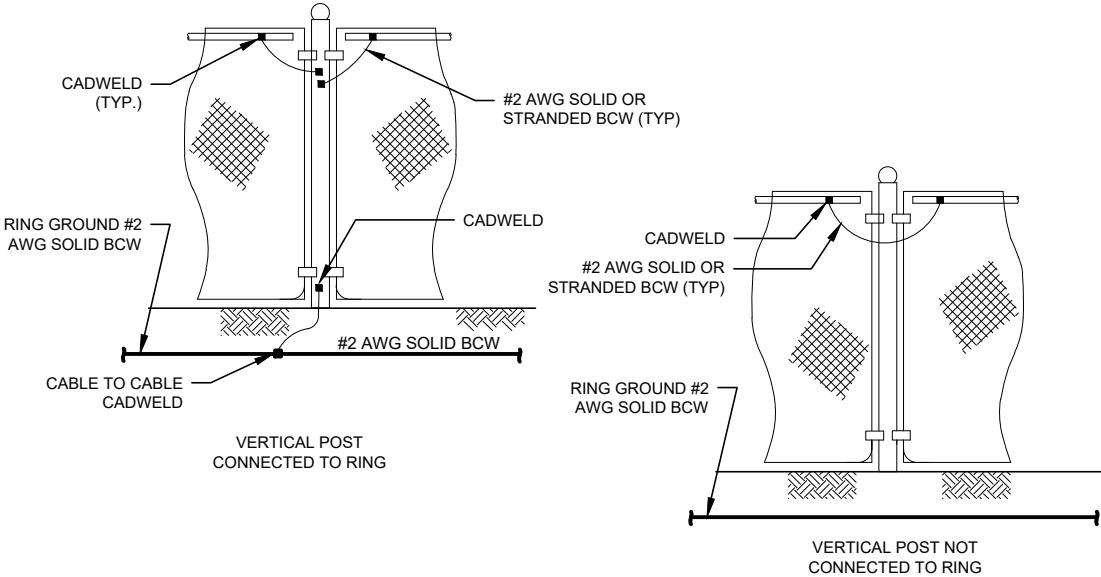
FENCE GATE GROUNDING DETAIL
NOT TO SCALE



TYPICAL TRENCH DETAIL
NOT TO SCALE

NOTES:

1. VERTICAL POSTS SHALL BE BONDED TO THE RING AT EACH CORNER AND AT EACH GATE POST. AS A MINIMUM ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100 FOOT STRAIGHT RUN OF FENCE.
2. HORIZONTAL POLES SHALL BE BONDED TO EACH OTHER.
3. BOND EACH HORIZONTAL POLE / BRACE TO EACH OTHER AND TO EACH VERTICAL POST THAT IS BONDED TO THE EXTERIOR GROUND RING

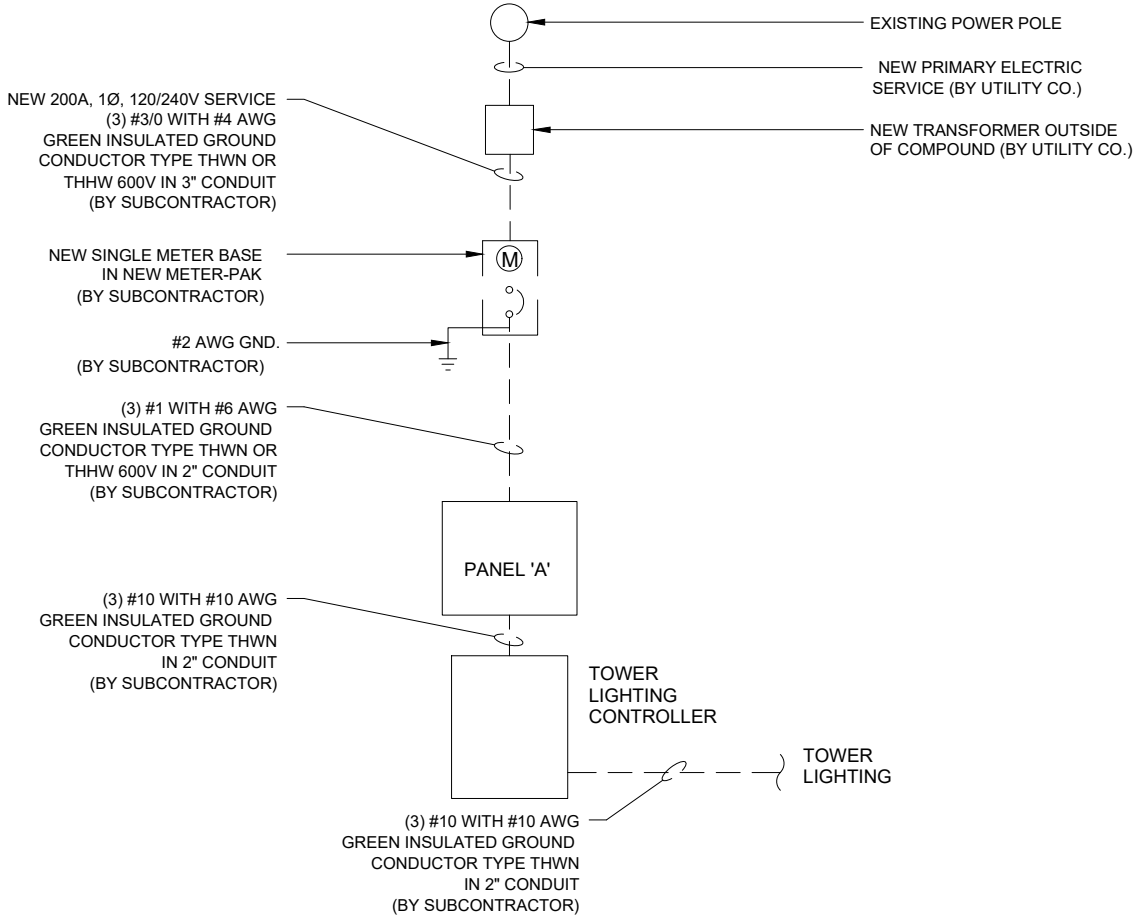


FENCE GROUNDING DETAIL
NOT TO SCALE

5	04/09/24	PER COMMENTS	RJH	MM	MM
4	04/02/24	PER COMMENTS	RJH	MM	MM
3	02/14/24	PER COMMENTS	RJH	MM	MM
2	01/17/24	PER COMMENTS	RJH	MM	MM
1	01/16/24	LEASE MOVE	RJH	MM	MM
0	12/04/23	ISSUED FOR REVIEW	RJH	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: RJH		

ELECTRICAL NOTES:

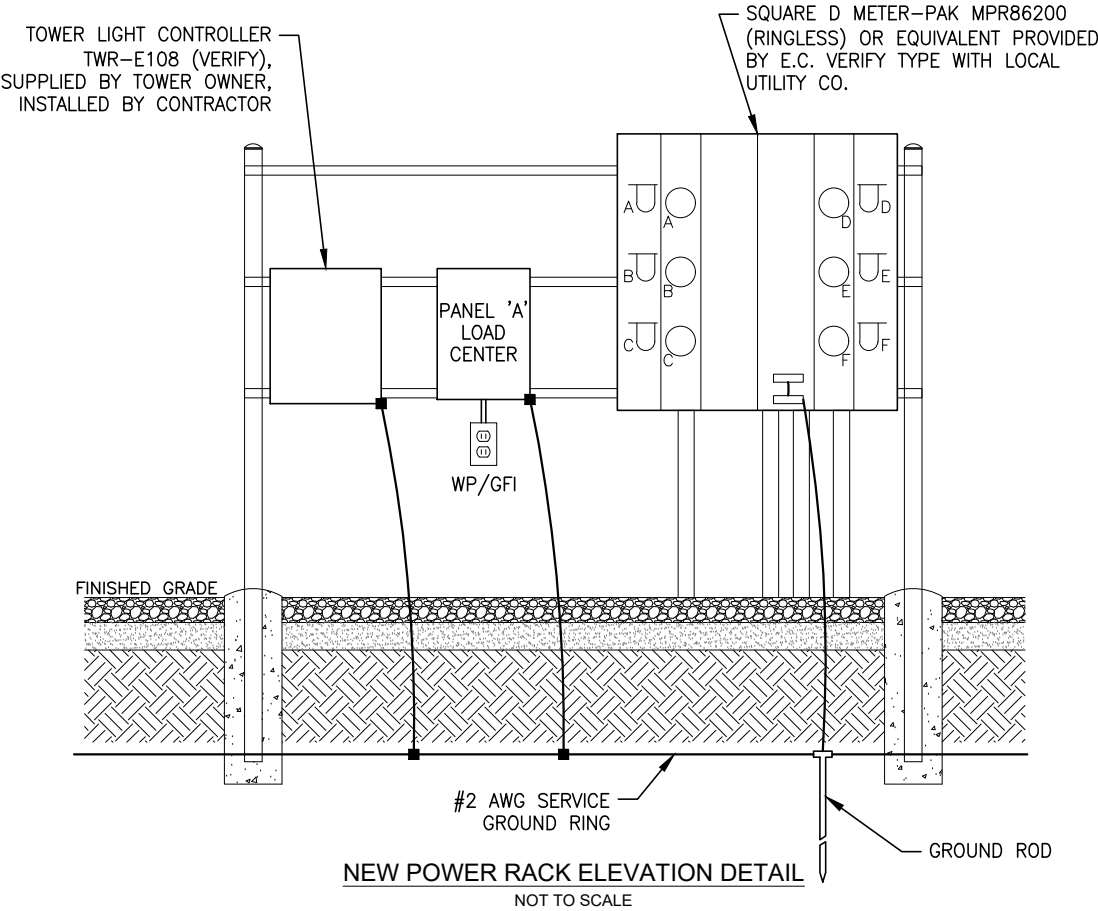
1. SUBCONTRACTOR SHALL PROVIDE 200AMP, SINGLE PHASE, 120/240 VAC, 60HZ SERVICE FOR SITE.
2. SUBCONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY BEFORE THE START OF CONSTRUCTION. POWER AND TELEPHONE CONDUIT SHALL BE PROVIDED AND INSTALLED PER UTILITY REQUIREMENTS.
3. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO DRAWINGS PROVIDED BY PANEL MANUFACTURER.
4. SUBCONTRACTOR SHALL INSTALL SUFFICIENT LENGTHS OF LFMC INCLUDING ALL CONDUIT FITTINGS (NUTS, REDUCING BUSHINGS, ELBOWS, COUPLINGS, ETC) NECESSARY FOR CONNECTION FROM IMC CONDUIT TO THE INTERIOR OF THE BTS CABINET.
5. SUBCONTRACTOR SHALL PROVIDE ELECTRICAL SERVICE EQUIPMENT WITH FAULT CURRENT RATINGS GREATER THAN THE AVAILABLE FAULT CURRENT FROM THE POWER UTILITY.
6. CUT, COIL AND TAPE A 3 FOOT PIGTAIL FROM END OF LFMC FOR TERMINATING BY BTS EQUIPMENT MANUFACTURER.
7. SUBCONTRACTOR SHALL VERIFY THAT THE MAIN BONDING JUMPER AND GROUNDING ELECTRODE CONDUCTOR IS INSTALLED PROPERLY WHEN PANEL IS SERVICE ENTRANCE EQUIPMENT.



100 AMP SINGLE LINE DIAGRAM
NOT TO SCALE

PANEL 'A' SCHEDULE											
POS.	SERVING	BREAKER	WIRE SIZE AND TYPE	LOAD		POS.	SERVING	BREAKER	WIRE SIZE AND TYPE	LOAD	
				A	B					A	B
1	TOWER LIGHTING CONTROLLER	30A/2P	2-#10 / #10 GND, 2" C.		2400	2	EQUIP. RACK RECEPT.	15A/1P	2-#10 / #10 GND, 3/4" C.	180	
3						4					
5	TELCO BOX RECEPT.	15A/1P	2-#10 / #10 GND, 3/4" C.	180		6					
7						8					
9						10					
11	BLANK					12					
TOTAL				360	2400						
TOTAL AMPS				11.5							

1. FROM TAP BOX: THE TWO (2) FOUR-INCH (4") CONDUIT WILL RETURN TO THE LOCATION DETERMINED BY "DETROIT EDISON" AND EXTEND OUT OF THE FINISHED GRADE 12" AND 36" RESPECTIVELY (SEE DETAIL). BOTH CONDUITS SHALL BE INSTALLED WITH PULL-STRINGS AND WATERPROOF CAPS.
2. CABINET AND CONDUCTORS FURNISHED & INSTALLED BY CUSTOMER. 350 KCMIL SERVICE CONDUCTORS FURNISHED & INSTALLED BY UTILITY.
3. EQUIPMENT ASSEMBLY DRAWINGS AND RISER DIAGRAMS MUST BE SUBMITTED TO A UTILITY PLANNER FOR ACCEPTANCE PRIOR TO INSTALLATION.
4. CABINETS AND CONDUITS SHOWN SHALL CONTAIN ONLY UNMETERED LINE CONDUCTORS. CABINET SHALL BE SEALABLE WITH ACCEPTABLE SEALING HASP.
5. TRANSMISSION TOWER SERVICES WILL UTILIZE A STANDARD 200 AMP SERVICE W/ CONTINUOUS CONDUIT TO THE SOURCE.
6. SUBSTATION CELLULAR SERVICES WILL BE A SINGLE 200-AMP SERVICE OR BUILT TO THIS SPECIFICATION. NO SERVICE SHALL BE TAKEN OUT OF THE SUBSTATION HOUSE SERVICE.
7. ALL CONDUIT AND NIPPLE ENTRIES TO CABINET AND METER BOXES WILL BE MADE WITH WEATHERPROOF HUBS, CONNECTORS OR LOCKNUTS LISTED FOR THE APPLICATIONS. NON-METALLIC BUSHINGS.
8. FOR INACCESSIBLE LOCATIONS CONSULT WITH METER ENGINEERING FOR POSSIBLE ERT METER INSTALLATION.
9. ONLY ONE SERVICE ALLOWED PER LUG. ALL GROUNDING AND BONDING MUST COMPLY WITH NEC 250 REQUIRED.

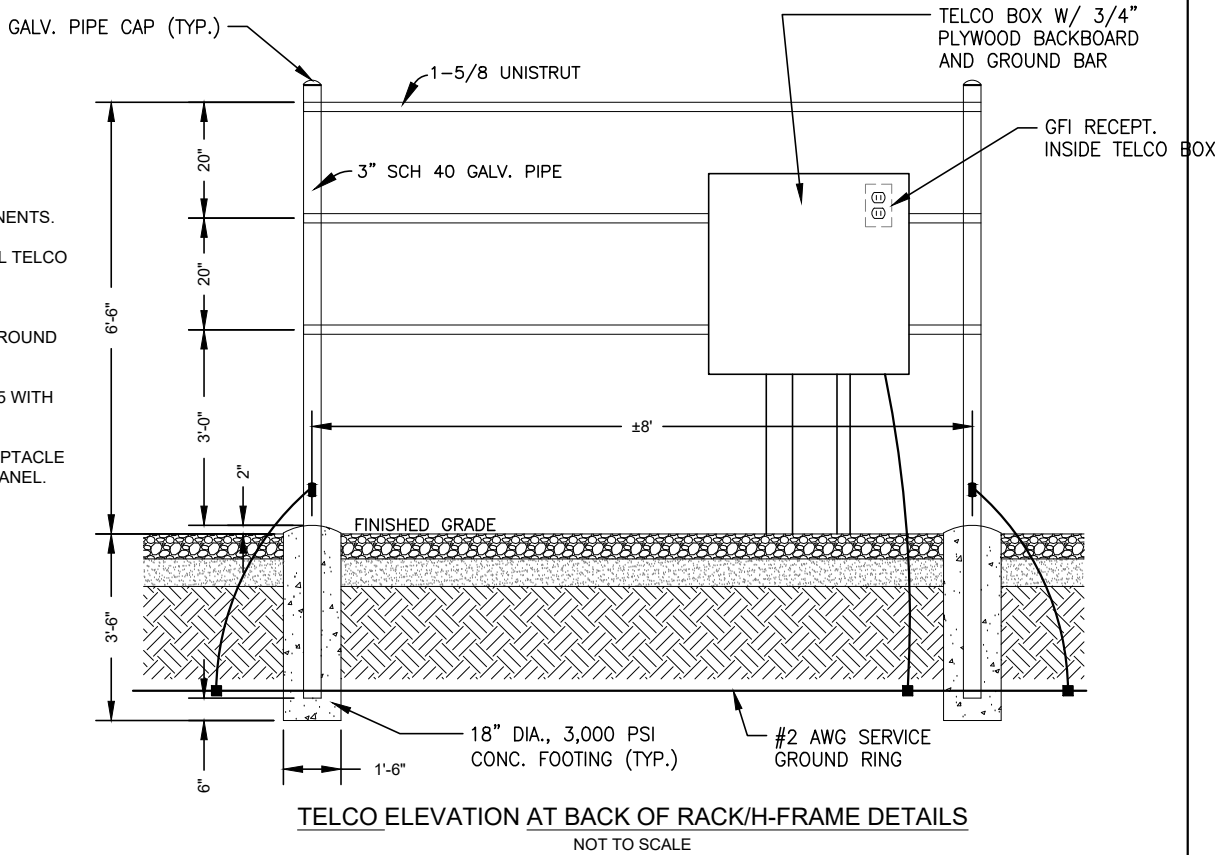


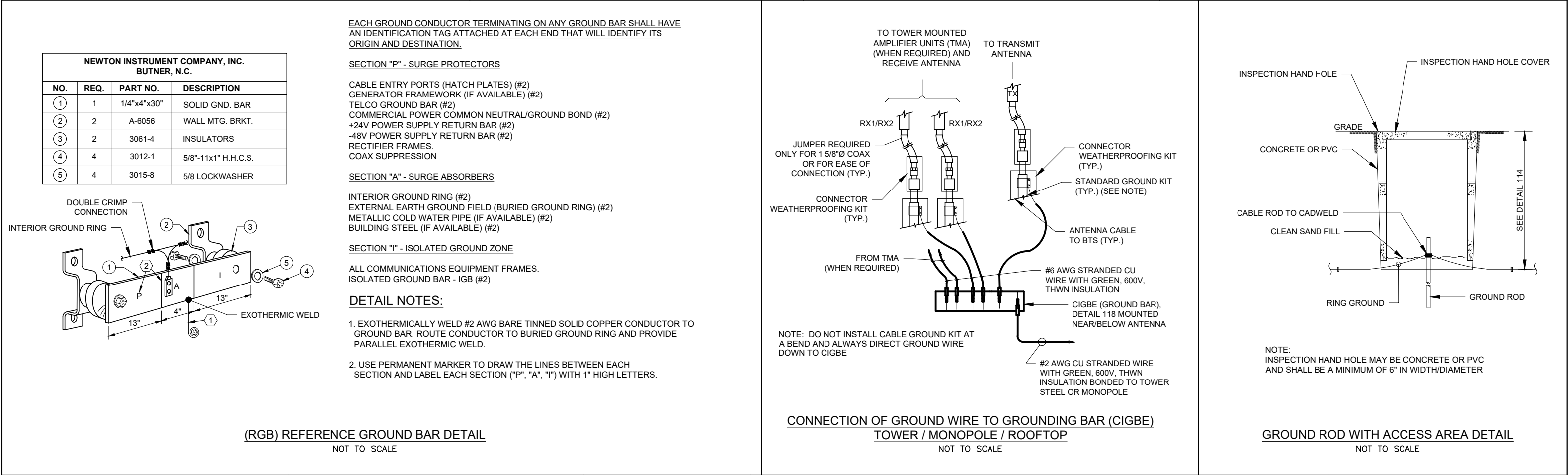
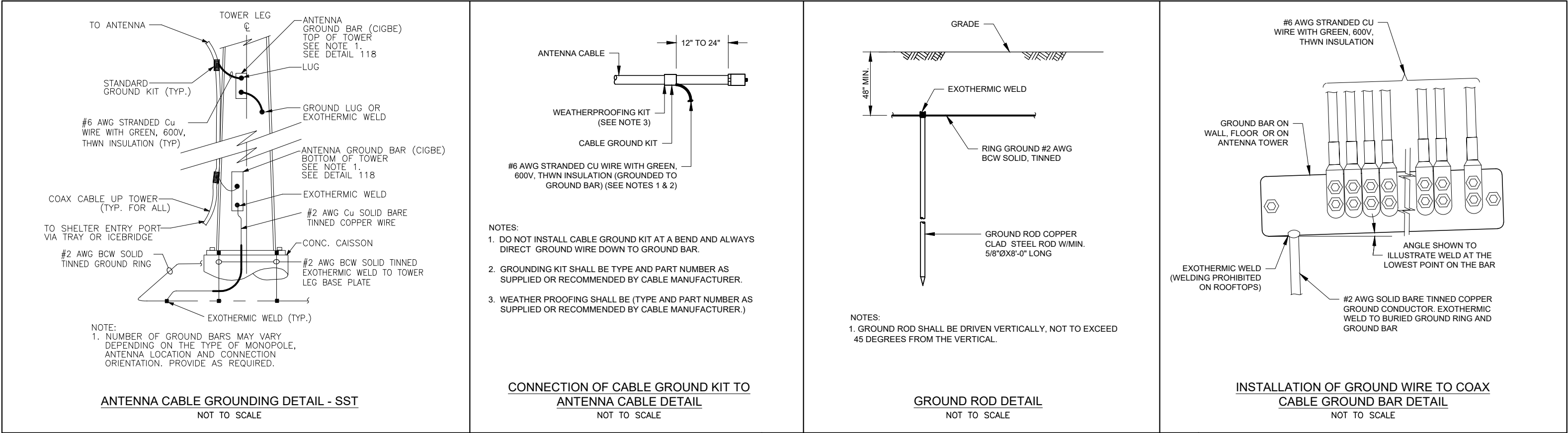
NOTES:

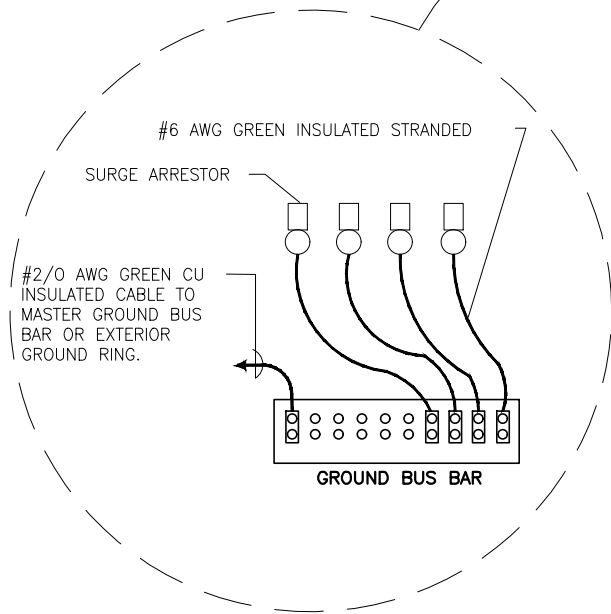
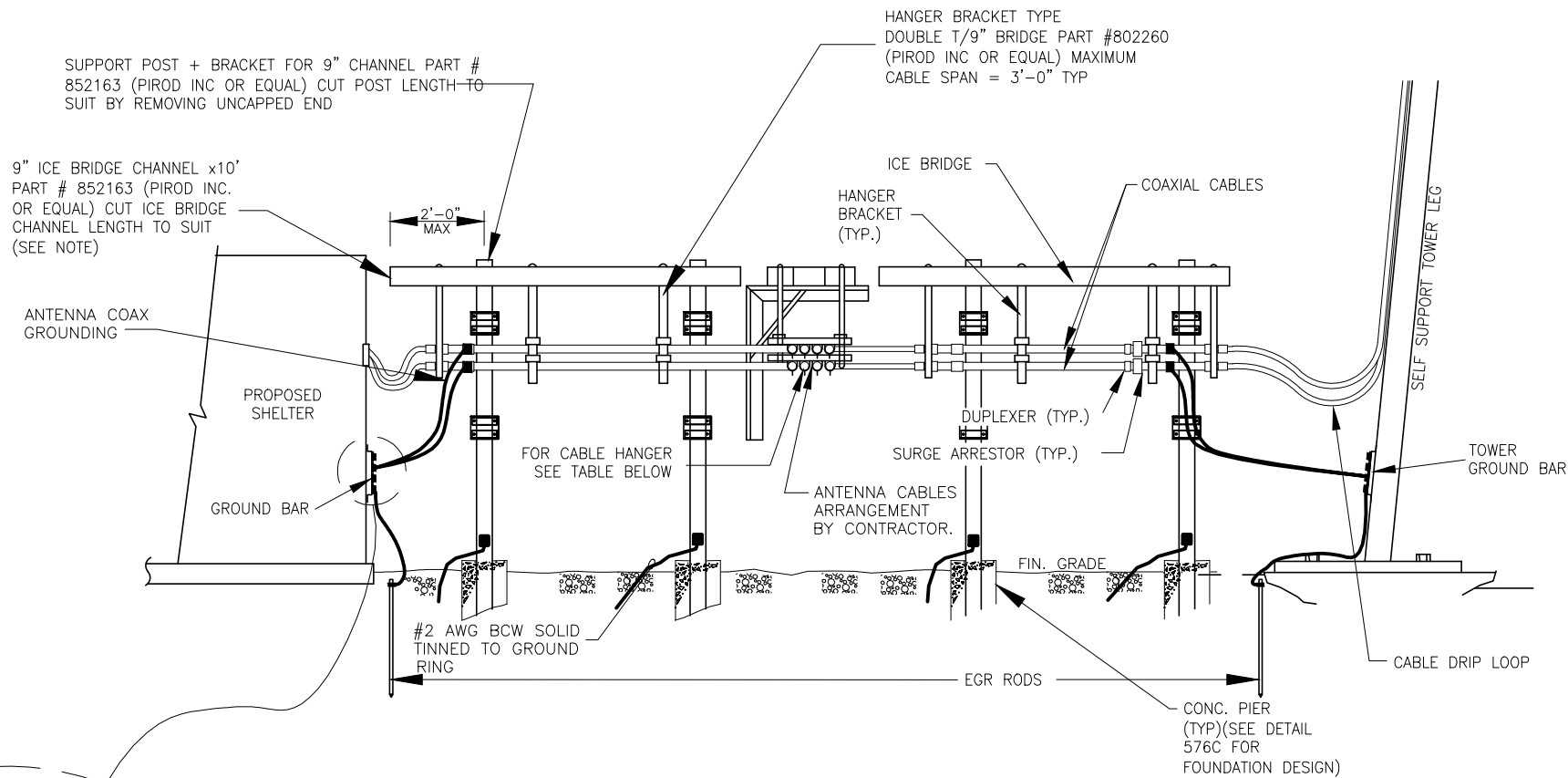
1. COORDINATE WITH LOCAL TELCO UTILITY PRIOR TO PROCURING AND INSTALLATION OF BOX AND COMPONENTS.
2. ALL MATERIAL SHALL MEET REQUIREMENTS OF LOCAL TELCO UTILITY.
3. ITEM #4 SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR. BOND SURGE PROTECTION UNIT TO GROUND BAR WITH #6 AWG INSULATED WIRE.
4. COORDINATE SIZE, TYPE AND QUANTITY OF ITEM(S) #5 WITH LOCAL UTILITY.
- INSTALL ITEM #6 ONLY IF REQUIRED BY UTILITY. RECEPTACLE POWERED FROM SPARE BREAKER IN DISTRIBUTION PANEL.

MATERIAL LIST:

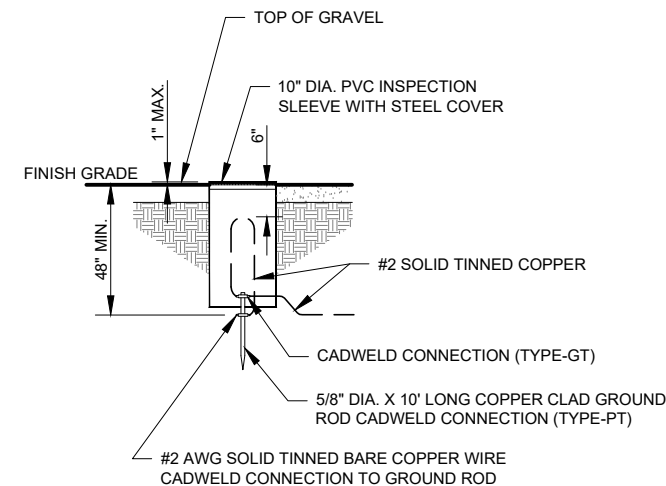
- ① 36" X 36" X 10" NEMA 3R ENCLOSURE (HOFFMAN A36R3610HCR OR SIMILAR)



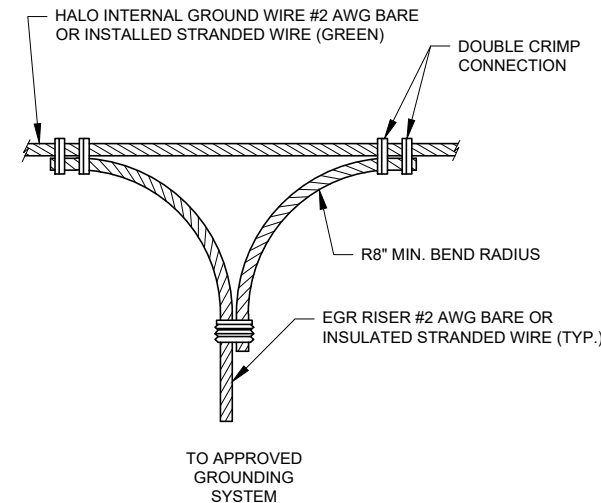




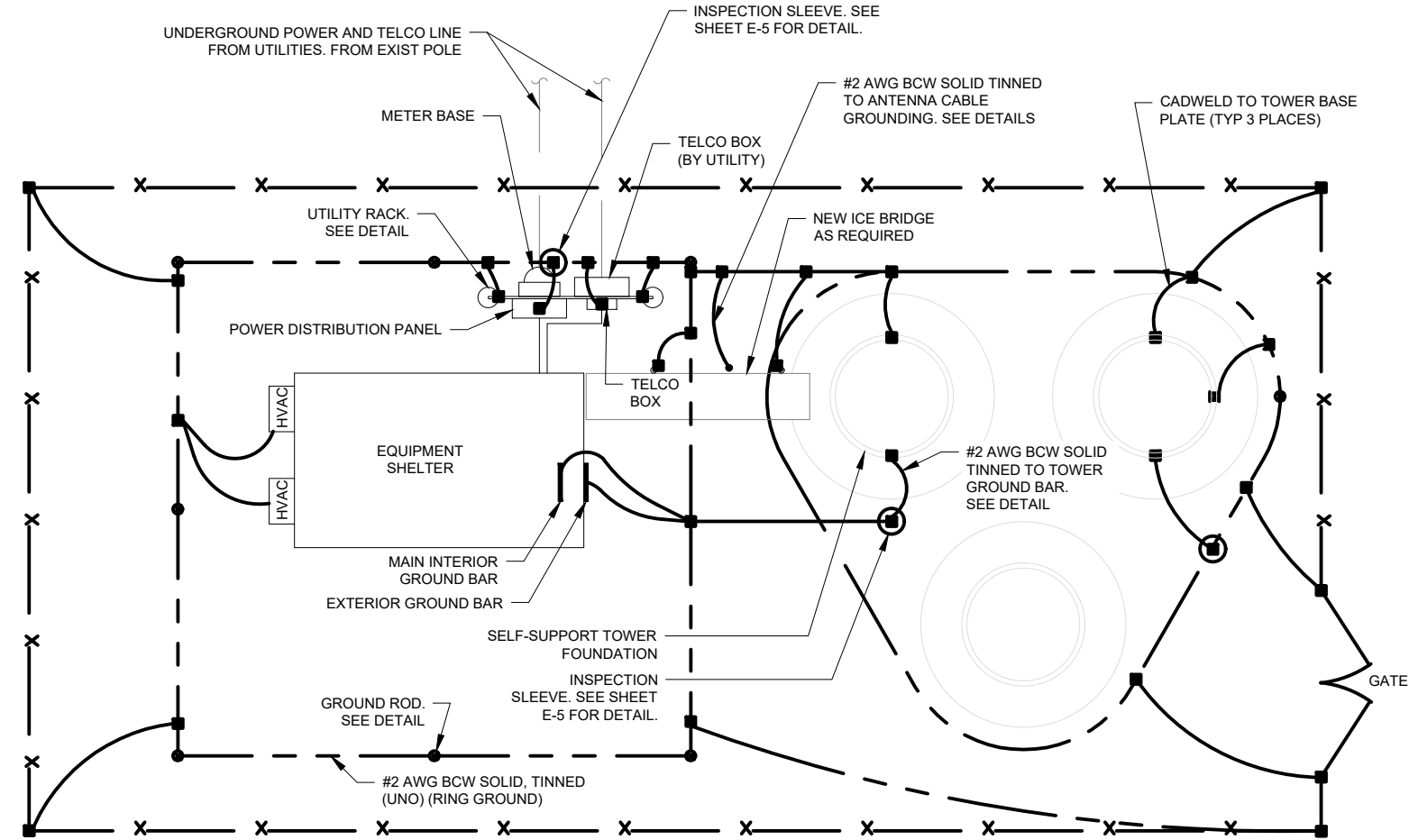
NOMINAL CABLE SIZE	CABLE TYPE NUMBER	CABLE HANGER TYPE NUMBER	MANUF. MIN. BEND RADIUS	MAX NO. OF CABLES/CND
1/2"	LDF4-50A	206706-1	5"	9
1/2"	FSJ4-50B	206706-1	1.25"	9
7/8"	LDF5-50A	206706-2	10"	3
1 1/4"	LDF6-50	206706-3	15"	1
1 5/8"	LDF7-50A	206706-4	20"	1



INSPECTION SLEEVE DETAIL
NOT TO SCALE



HALO NON-DIRECTIONAL GROUND
RING SPLICE DETAIL
NOT TO SCALE



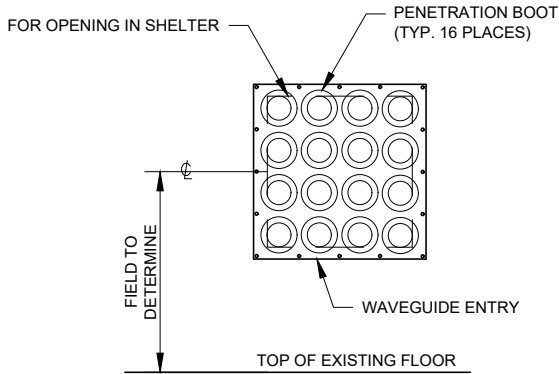
NOTE:
THIS GROUNDING PLAN IS TYPICAL. SEE SHEET
S-2 FOR ACTUAL EQUIPMENT LAYOUT.

TYPICAL SELF-SUPPORT SITE GROUNDING PLAN

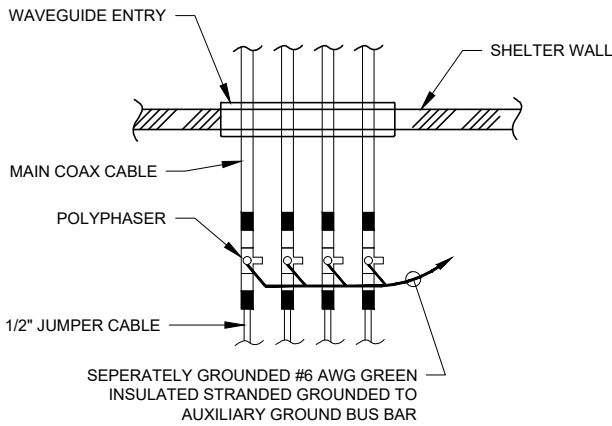
NOT TO SCALE

GROUNDING NOTES

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2. THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 10 OHMS OR LESS.
3. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
4. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 AWG COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
6. EACH BTS CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, 6 AWG STRANDED COPPER OR LARGER FOR INDOOR BTS; 2 AWG STRANDED COPPER FOR OUTDOOR BTS.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED.
8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING, SHALL BE #2 AWG SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR & EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
18. BOND ALL METALLIC OBJECTS WITHIN 6 FT OF MAIN GROUND WIRES WITH 1-#2 AWG TIN-PLATED COPPER GROUND CONDUCTOR.
19. GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G., NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
20. INSTALL GROUND RODS FOR THE NEW GROUND RING. SEPARATION BETWEEN GROUND RODS SHOULD NOT BE LESS THAN THE LENGTH OF THE RODS NOR BE MORE THAN ONE AND ONE-HALF TIMES THE LENGTH OF THE RODS. CONNECT THE NEW RING TO EXISTING GROUND RING IN AT LEAST TWO SEPARATE PLACES.



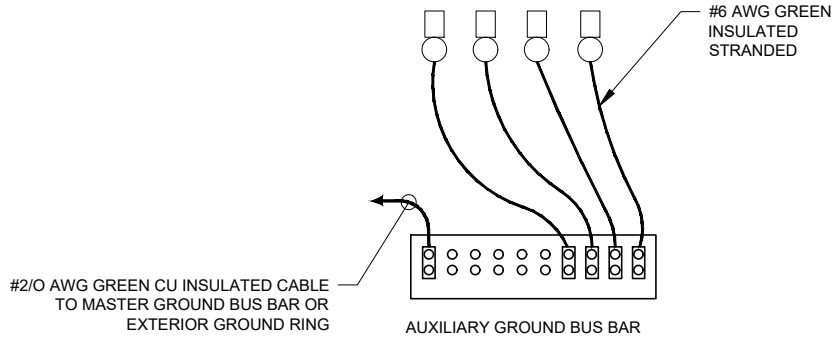
ELEVATION



PLAN

POLYPHASER GROUNDING INSIDE SHELTER

NOT TO SCALE



5	04/09/24	PER COMMENTS	RJH	MM	MM
4	04/02/24	PER COMMENTS	RJH	MM	MM
3	02/14/24	PER COMMENTS	RJH	MM	MM
2	01/17/24	PER COMMENTS	RJH	MM	MM
1	01/16/24	LEASE MOVE	RJH	MM	MM
0	12/04/23	ISSUED FOR REVIEW	RJH	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: RJH		

SHEET E-5

GROUNDING NOTES & DETAILS

DRAWING NUMBER

23359006

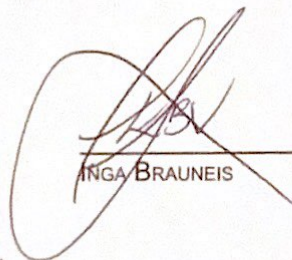
Exhibit B

6. Because no structures exist to support collocation within the Search Ring, we are requesting permission to construct the Proposed Communications Facility.

7. The minimum height needed for this site is One Hundred Ninety Feet (160') antenna centerline.

8. DISH evaluated two existing tall structures within 1.5 miles from the Proposed Communications Facility and the findings are as follows:

- a. The US Cellular Tower located at coordinates 43.02054, -89.24793 is not viable because using that tower would also create a gap in coverage in McFarland which would require an additional tower to provide adequate service. This tower is also too short, 140' with only 110' available on the tower.
- b. The water tower located at coordinates 43.02542, -89.27587 is not viable because it is too short. The top of the water tower is already encumbered with many antennas which would require the antennas to be installed on the neck of the water tower, resulting in an installation at approximately 60', propagating very little coverage at all.



INGA BRAUNEIS

State of Wisconsin

)

) ss.

County of Dane

)

This instrument was acknowledged, subscribed and sworn to before me on

02/05/2024, by INGA BRAUNEIS

Notary Public
State of Wisconsin
Kyle R. Monson

NOTARY PUBLIC FOR
My Commission Expires: 5/14/27

Exhibit C



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2023-AGL-23187-OE

Issued Date: 12/18/2023

Dale Smith
ASAC
450 Notson Ter
Port Charlotte, FL 33954

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Antenna Tower McFarland
Location:	McFarland, WI
Latitude:	43-00-17.09N NAD 83
Longitude:	89-15-28.38W
Heights:	854 feet site elevation (SE) 199 feet above ground level (AGL) 1053 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

See attachment for additional condition(s) or information.

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 06/18/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO

SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination of No Hazard is granted provided the following conditional statement is included in the proponent's construction permit or license to radiate:

Upon receipt of notification from the Federal Communications Commission that harmful interference is being caused by the licensee's (permittee's) transmitter, the licensee (permittee) shall either immediately reduce the power to the point of no interference, cease operation, or take such immediate corrective action as is necessary to eliminate the harmful interference. This condition expires after 1 year of interference-free operation.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (816) 329-2525, or natalie.schmalbeck@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-AGL-23187-OE.

Signature Control No: 606789936-607513197

(DNE)

Natalie Schmalbeck
Technician

Attachment(s)
Additional Information
Frequency Data
Map(s)

cc: FCC

Additional information for ASN 2023-AGL-23187-OE

For 2496-2690 MHz: No Objection with provision that upon receipt of notification from the Federal Aviation Administration (FAA) or Federal Communications Commission (FCC) that harmful interference is being caused by the licensee's (permittee's) transmitter, the licensee (permittee) shall either immediately reduce the power to the point of no interference, cease operation, or take immediate corrective action as is necessary to eliminate the harmful interference.

Frequency Data for ASN 2023-AGL-23187-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W

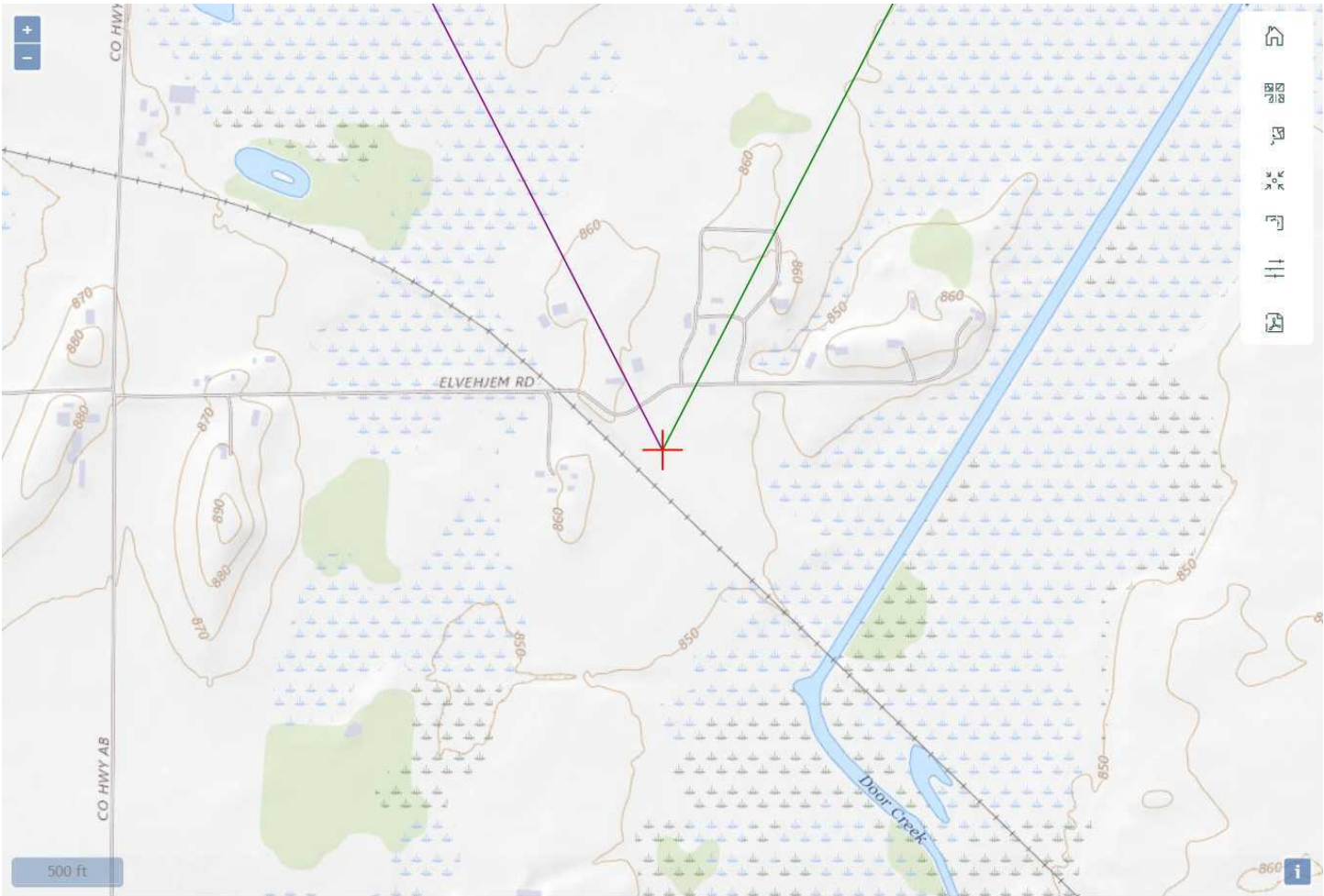


Exhibit D

McFarland WI Photo-simulations

Photosim Photo Locations



McFarland WI Photo-simulations

Location #1



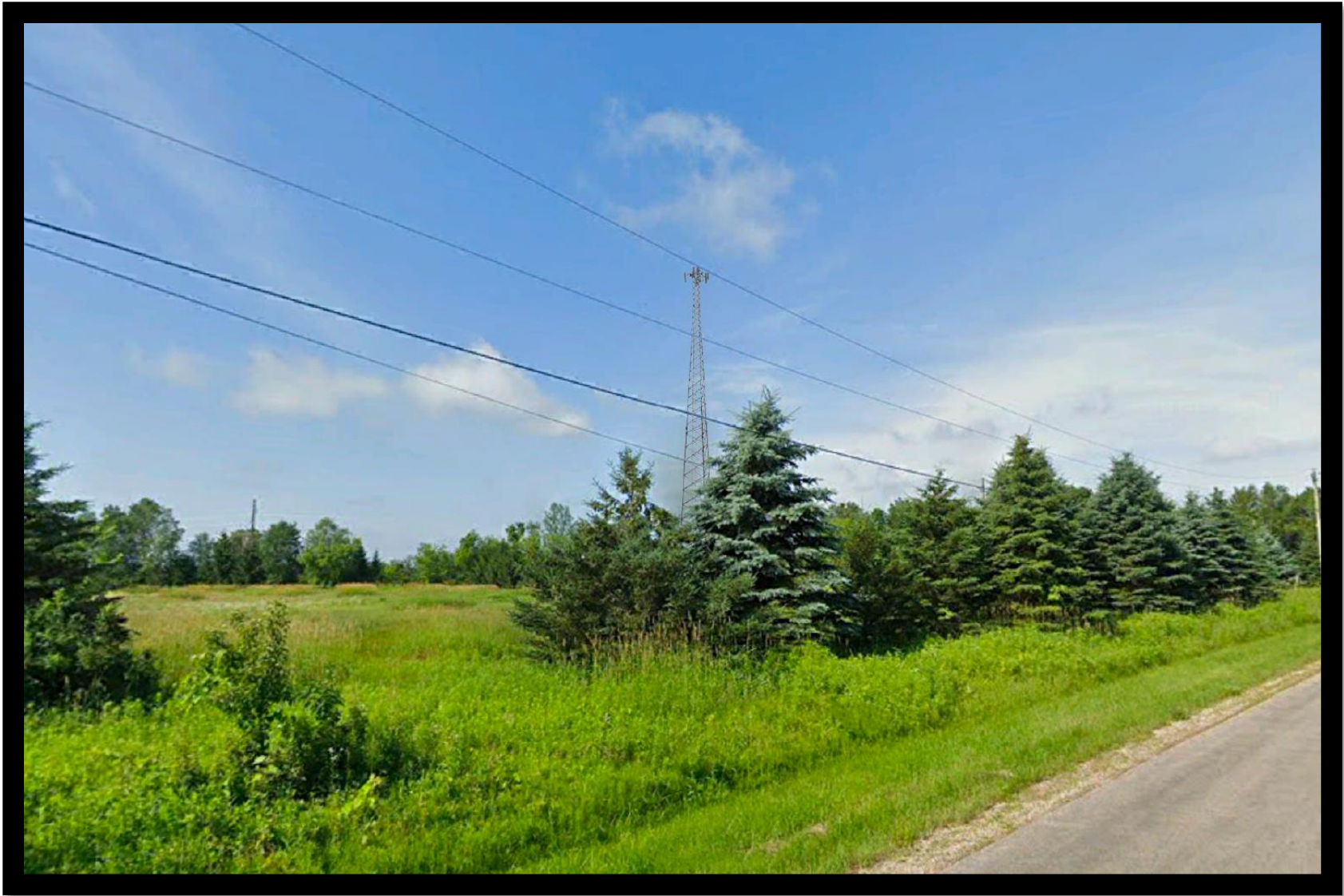
McFarland WI Photo-simulations

Location #2



McFarland WI Photo-simulations

Location #3



McFarland WI Photo-simulations

Exhibit E

EXHIBIT E

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



Federal Communications Commission Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: GAMMA ACQUISITION L.L.C.

ATTN: ALISON MINEA
GAMMA ACQUISITION L.L.C.
1110 VERMONT AVENUE NW SUITE 750
WASHINGTON, DC 20005

Call Sign	File Number
T060430104	
Radio Service	
AD - AWS-4 (2000-2020 MHz and 2180-2200 MHz)	

FCC Registration Number (FRN): 0021004817

Grant Date 03-07-2013	Effective Date 09-11-2020	Expiration Date 06-14-2023	Print Date
Market Number BEA104	Channel Block A	Sub-Market Designator 0	
Market Name Madison, WI-IA-IL			
1st Build-out Date 03-07-2017	2nd Build-out Date 06-14-2023	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: GAMMA ACQUISITION L.L.C.

Call Sign: T060430104

File Number:

Print Date:

Special Condition 1: This license document as first issued on March 7, 2013, reflects the Order of Modification and Authorization (DA 13-231) to existing Mobile Satellite Service ("MSS") call sign E060430 to add Part 27 rights and obligations for Advanced Wireless Service-4 ("AWS-4") terrestrial operating authority with all of the attendant rights, limitations, and obligations associated with the AWS-4 service rules adopted in WT Docket No. 12-70 (FCC 12-151), and any subsequent orders. The license document issued on March 7, 2013, is not a separate authorization in and of itself. The parameters reflected in the International Bureau Filing System for the MSS authorization of the license (call sign E060430) together with the parameters reflected in the Universal Licensing System for the standalone terrestrial authorization of the license (call sign T060430001 - T060430176 derivatives) as of March 7, 2013 constitute the whole of the modified license. Except as otherwise ordered, a licensee of AWS-4 operating authority is permitted to partition, disaggregate, and lease AWS-4 spectrum as provided under the FCC's rules. See, e.g., FCC 19-103; 47 CFR Parts 1, 27. The partition, disaggregation, or lease of AWS-4 spectrum does not encompass the MSS authorization.

Special Condition 2: A licensee of AWS-4 operating authority shall comply with the specific Global Positioning System ("GPS") protection limits set forth in the September 27, 2012 letter agreement between DISH Network Corporation (parent corp. of the AWS-4 licensee under this license as issued on March 7, 2013) and the U.S. GPS Industry Council, as detailed in FCC Order 12-151. See Service Rules for Advanced Wireless Services in the 2000-2020 MHz and 2180-2200 MHz Bands, WT Docket Nos. 12-70, 04-356, ET Docket No. 10-142, Report and Order and Order of Proposed Modification, 27 FCC Rcd 16102, 16151-53, at Paras. 118-122 (2012) (AWS-4 Report and Order), citing Letter from Jeffrey H. Blum, Deputy General Counsel, DISH Network Corporation, and F. Michael Swiek, Executive Director, The U.S. GPS Industry Council, to Marlene H. Dortch, Sec'y, Federal Communications Commission, WT Docket Nos. 12-70, 04-356, ET Docket No. 10-142 (filed Sept. 27, 2012) (a copy of this letter is attached). Further, as detailed in the AWS-4 Report and Order, an AWS-4 license shall remain subject to this Special Condition 2 in the event that the licensee assigns or otherwise transfers the license to a successor-in-interest or assignee. Id. at 16152-53, Para. 121.

Special Condition 3A: A licensee of AWS-4 operating authority shall protect Federal operations in the 2200-2290 MHz band as specified in Section 27.1134(e) of the Commission's rules and in FCC Order 12-151. 47 C.F.R. § 27.1134(e); Service Rules for Advanced Wireless Services in the 2000-2020 MHz and 2180-2200 MHz Bands, WT Docket Nos. 12-70, 04-356, ET Docket No. 10-142, Report and Order and Order of Proposed Modification, 27 FCC Rcd 16102, 16148-51, at Paras. 107-117 (2012) (AWS-4 Report and Order).

Licensee Name: GAMMA ACQUISITION L.L.C.

Call Sign: T060430104

File Number:

Print Date:

Special Condition 3B: In December 2012, DISH Network Corporation (parent corp. of the AWS-4 licensee under this license as issued on March 7, 2013) and federal users of the 2200-2290 MHz band entered into an operator-to-operator agreement. Letter from Karl B. Nebbia, Associate Administrator, Office of Spectrum Management, National Telecommunications and Information Administration, to Julius Knapp, Chief, Office of Engineering and Technology, Federal Communications Commission, WT Docket Nos. 12-70, 04-356, ET Docket No. 10-142, at Attachment ("Operator-to-Operator Agreement between New DBSD Satellite Services G.P. and Gamma Acquisition L.L.C. and United States Federal Government Agencies Operating Earth Stations and/or Aeronautical Mobile Telemetry (AMT) Stations in the 2200-2290 MHz Band") (Dec. 11, 2012) (a copy of this letter is attached). As detailed in FCC Order 12-151, a licensee of AWS-4 operating authority shall comply with this agreement with regard to the permissible AWS-4 emissions into the 2200-2290 MHz band and/or the maximum actual AWS-4 emissions to be received at the specified sites of Federal operations in the 2200-2290 MHz band. AWS-4 Report and Order, 27 FCC Rcd at 16148-51, Paras. 107-117.

Special Condition 3C: As detailed in Section 27.1134(e)(2) of the Commission's rules and in FCC Order 12-151, a licensee of AWS-4 operating authority who is a party to a private contractual agreement between it and a Federal government entity(ies) operating in the 2200-2290 MHz band must maintain a copy of the agreement in its station files and disclose it, upon request, to prospective AWS-4 assignees, transferees, or spectrum lessees, to Federal operators, and to the Commission. 47 C.F.R. § 27.1134(e)(2); AWS-4 Report and Order, 27 FCC Rcd at 16149-50, at Para. 112.

Special Condition 4A: This license is subject to the terms of the Memorandum Opinion and Order, DA 13-2409, in WT Docket No. 13-225.

Special Condition for AU/name change (6/4/2016): Grant of the request to update licensee name is conditioned on it not reflecting an assignment or transfer of control (see Rule 1.948); if an assignment or transfer occurred without proper notification or FCC approval, the grant is void and the station is licensed under the prior name.

Special Condition 4B: On June 1, 2016, DISH Network Corporation, parent corp. of the AWS-4 licensee under this license (as issued on March 7, 2013, and to date), stated unequivocally its election applicable to all AWS-4 licenses of terrestrial downlink-not terrestrial uplink-operations at 2000-2020 MHz. See WT Docket No. 13-225, Letter from Jeffrey H. Blum, Senior Vice President & Deputy General Counsel, DISH Network Corporation, to Marlene H. Dortch, Secretary, FCC (filed Jun. 1, 2016). See also modification applications granted 6/7/2016 (Lead Call Sign T060430001/File No# 0007289841). This one-time election is binding on all AWS-4 licensees and licenses including any AWS-4 licenses issued subsequently. Use of the Lower AWS-4 Band for terrestrial downlink operations is subject to any rules that are generally applicable to AWS downlink operations except to the extent expressly waived by Memorandum Opinion and Order, DA 13-2409, in WT Docket No. 13-225. By way of reference and not limitation, see Memorandum Opinion and Order, DA 13-2409, at para. 25 for list of rules waived for downlink operations, and id. at para. 47 for list of requirements for downlink operations.

Licensee Name: GAMMA ACQUISITION L.L.C.

Call Sign: T060430104

File Number:

Print Date:

Special Condition 5 (9/11/2020): Licensee is an indirect, wholly owned subsidiary of DISH Network Corporation (DISH). This license is subject to licensee's compliance with the conditions and restrictions imposed by the Commission in MO&O, Declaratory Ruling and Order of Proposed Modification, FCC 19-103 and the commitments made by DISH in its July 26, 2019 Commitments Letter including Attachment A thereto (see, e.g., FCC 19-103 at App. H), as modified by the Commission, both of which are incorporated by reference into and made operative by Order of Modification and Extension of Time to Construct, DA 20-1072 (WTB Sept. 11, 2020). These conditions, restrictions and commitments include, but are not limited to, the following (see FCC 19-103 and DA 20-1072 for further information):

Special Condition 5a (9/11/2020): DISH is obligated to provide 5G Broadband Service over this license. DISH has waived its rights to use this license under the Commission's flexible-use policies and this license is expressly conditioned on DISH building, deploying, and offering 5G Broadband Service, which means at least 3GPP Release 15 capable of providing Enhanced Mobile Broadband (eMBB) functionality. 5G is defined as the 5G New Radio interface standard as described in 3GPP Release 15, available at <https://www.3gpp.org/release-15>, or 3GPP Release 16 within 3 years of 3GPP final approval. This condition does not preclude DISH from providing IoT as a service in addition to the 5G Broadband Service, but DISH is precluded from relying on IoT (or any other non-5G Broadband Service) operations to satisfy its buildout requirements and commitments.

Special Condition 5b (9/11/2020): Final Buildout Requirement. Licensee shall provide terrestrial 5G Broadband Service coverage and offer terrestrial 5G Broadband Service by 6/14/2023 to at least seventy (70) percent of the population in the license area in the 2000-2020 MHz and 2180-2200 MHz bands. If licensee fails to establish that it meets this Final Buildout Requirement in the license area in the 2000-2020 MHz and 2180-2200 MHz bands, its authorization for this license area shall terminate automatically without Commission action. Failure to meet this Final Buildout Requirement in an EA shall also result in the MSS protection rule in 47 CFR § 27.1136 no longer applying in this license area. See generally 47 CFR § 27.14(q)(2),(4)-(6).

Special Condition 5c (9/11/2020): Contingent extension: The Final Buildout Requirement in special condition 5b shall be extended to 6/14/2025 if licensee establishes that it is offering 5G Broadband Service with respect to its AWS-4 licenses in the 2000-2020 MHz and 2180-2200 MHz bands to 50% or more of the U.S. population by 6/14/2023.

Special condition 5d (9/11/2020): DISH has committed to make significant payments to the U.S. Treasury if it does not meet its deployment commitments and that commitment is a condition of the waiver/extension grant and modification of this license in DA 20-1072. These commitments include, but are not limited to, mandatory monetary payments for failure to meet deployment commitments (that are separate from the final buildout requirements), status reports, and verification metrics. If DISH fails to meet the conditions of these grants, it must make the payments required. In addition to mandatory monetary payments (and license cancellations), DISH continues to be subject to all of the Commission's other enforcement and regulatory powers for failing to meet any condition of the grants and modifications made on 9/11/2020.

Licensee Name: GAMMA ACQUISITION L.L.C.

Call Sign: T060430104

File Number:

Print Date:

Special Condition 5e (9/11/2020): Until September 11, 2026, licensee shall not (1) sell this license without the advance approval of both the FCC and the U.S. Department of Justice or (2) in any 12-month period provide in the Economic Area of this license more than 35% of the capacity of its 5G network to any of the three largest wireless facilities-based providers (alone or in combination) without prior FCC approval. Sell means (i) to transfer, assign, or dispose of this license in any manner either directly or indirectly; or (ii) to transfer control of an entity holding this license; or (iii) to enter into a lease arrangement or any other arrangement that results in the transfer of de jure or de facto control of this license.

Licensee Name: GAMMA ACQUISITION L.L.C.

Call Sign: T060430104

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
---------------	--------------------	--------------------------	------------------------------	---------------

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: MANIFEST WIRELESS L.L.C.

ATTN: ALISON MINEA
 MANIFEST WIRELESS L.L.C.
 1110 VERMONT AVENUE, NW, SUITE 750
 WASHINGTON, DC 20005

Call Sign WQJZ246	File Number
Radio Service WY - 700 MHz Lower Band (Blocks A, B & E)	

FCC Registration Number (FRN): 0017173121

Grant Date 02-20-2009	Effective Date 09-11-2020	Expiration Date 06-14-2023	Print Date
Market Number BEA104	Channel Block E	Sub-Market Designator 0	
Market Name Madison, WI-IA-IL			
1st Build-out Date 03-07-2017	2nd Build-out Date 06-14-2023	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

Special Condition for AU/name change (6/4/2016): Grant of the request to update licensee name is conditioned on it not reflecting an assignment or transfer of control (see Rule 1.948); if an assignment or transfer occurred without proper notification or FCC approval, the grant is void and the station is licensed under the prior name.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: MANIFEST WIRELESS L.L.C.

Call Sign: WQJZ246

File Number:

Print Date:

Special Condition 1 (9/11/2020): Licensee is an indirect, wholly owned subsidiary of DISH Network Corporation (DISH). This license is subject to licensee's compliance with the conditions and restrictions imposed by the Commission in MO&O, Declaratory Ruling and Order of Proposed Modification, FCC 19-103 and the commitments made by DISH in its July 26, 2019 Commitments Letter including Attachment A thereto (see, e.g., FCC 19-103 at App. H), as modified by the Commission, both of which are incorporated by reference into and made operative by Order of Modification and Extension of Time to Construct, DA 20-1072 (WTB Sept. 11, 2020). These conditions, restrictions and commitments include, but are not limited to, the following (see FCC 19-103 and DA 20-1072 for further information):

Special Condition 1a (9/11/2020): DISH is obligated to provide 5G Broadband Service over this license. DISH has waived its rights to use this license under the Commission's flexible-use policies and this license is expressly conditioned on DISH building, deploying, and offering 5G Broadband Service, which means at least 3GPP Release 15 capable of providing Enhanced Mobile Broadband (eMBB) functionality. 5G is defined as the 5G New Radio interface standard as described in 3GPP Release 15, available at <https://www.3gpp.org/release-15>, or 3GPP Release 16 within 3 years of 3GPP final approval. This condition does not preclude DISH from providing IoT as a service in addition to the 5G Broadband Service, but DISH is precluded from relying on IoT (or any other non-5G Broadband Service) operations to satisfy its buildout requirements and commitments.

Special Condition 1b (9/11/2020): Final Buildout Requirement. Licensee shall provide 5G Broadband Service coverage and offer 5G Broadband Service by 6/14/2023 to at least seventy (70) percent of the population in the license area of this license. If licensee fails to establish that it meets this Final Buildout Requirement in the license area of this license, its authorization for unserved areas shall terminate automatically without Commission action. See Public Notice, DA 19-77 (licensee keeps the areas of the license that it serves and the remaining unserved areas are returned to FCC's inventory for relicensing).

Special Condition 1c (9/11/2020): Contingent extension: The Final Buildout Requirement in Special Condition 1b shall be extended to 6/14/2025 if licensee establishes that it is offering 5G Broadband Service with respect to its Lower 700 MHz E Block licenses to 50% or more of the U.S. population covered by DISH's Lower 700 MHz E Block licenses by 6/14/2023.

Special Condition 1d (9/11/2020): DISH has committed to make significant payments to the U.S. Treasury if it does not meet its deployment commitments and that commitment is a condition of the waiver/extension grant and modification of this license in DA 20-1072. These commitments include, but are not limited to, mandatory monetary payments for failure to meet deployment commitments (that are separate from the final buildout requirements), status reports, and verification metrics. If DISH fails to meet the conditions of these grants, it must make the payments required. In addition to mandatory monetary payments (and automatic license terminations), DISH continues to be subject to all of the Commission's other enforcement and regulatory powers for failing to meet any condition of the grants and modifications made on 9/11/2020.

Licensee Name: MANIFEST WIRELESS L.L.C.

Call Sign: WQJZ246

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
---------------	--------------------	--------------------------	------------------------------	---------------

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: AMERICAN H BLOCK WIRELESS L.L.C.

ATTN: OFFICE GEN. COUNSEL, LEGAL DEPT.
 AMERICAN H BLOCK WIRELESS L.L.C.
 PO BOX 6663
 ENGLEWOOD, CO 80155-6663

Call Sign WQTX303	File Number
Radio Service AH - AWS-H Block (at 1915-1920 MHz and 1995-2000 MHz)	

FCC Registration Number (FRN): 0023125057

Grant Date 04-29-2014	Effective Date 09-11-2020	Expiration Date 06-14-2023	Print Date
Market Number BEA104	Channel Block H	Sub-Market Designator 0	
Market Name Madison, WI-IA-IL			
1st Build-out Date 04-29-2018	2nd Build-out Date 06-14-2023	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

Special Condition 1 (9/11/2020): Licensee is an indirect, wholly owned subsidiary of DISH Network Corporation (DISH). This license is subject to licensee's compliance with the conditions and restrictions imposed by the Commission in MO&O, Declaratory Ruling and Order of Proposed Modification, FCC 19-103 and the commitments made by DISH in its July 26, 2019 Commitments Letter including Attachment A thereto (see, e.g., FCC 19-103 at App. H), as modified by the Commission, both of which are incorporated by reference into and made operative by Order of Modification and Extension of Time to Construct, DA 20-1072 (WTB Sept. 11, 2020). These conditions, restrictions and commitments include, but are not limited to, the following (see FCC 19-103 and DA 20-1072 for further information):

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: AMERICAN H BLOCK WIRELESS L.L.C.

Call Sign: WQTX303

File Number:

Print Date:

Special Condition 1a (9/11/2020): DISH is obligated to provide 5G Broadband Service over this license. DISH has waived its rights to use this license under the Commission's flexible-use policies and this license is expressly conditioned on DISH building, deploying, and offering 5G Broadband Service, which means at least 3GPP Release 15 capable of providing Enhanced Mobile Broadband (eMBB) functionality. 5G is defined as the 5G New Radio interface standard as described in 3GPP Release 15, available at <https://www.3gpp.org/release-15>, or 3GPP Release 16 within 3 years of 3GPP final approval. This condition does not preclude DISH from providing IoT as a service in addition to the 5G Broadband Service, but DISH is precluded from relying on IoT (or any other non-5G Broadband Service) operations to satisfy its buildout requirements and commitments.

Special Condition 1b (9/11/2020): Final Buildout Requirement. With respect to this H Block license, licensee shall provide 5G Broadband Service coverage and offer 5G Broadband Service by 6/14/2023 to at least seventy (75) percent of the population in the license area. If licensee fails to establish that it meets this Final Buildout Requirement with respect to this H Block license, this authorization shall terminate automatically without Commission action. See § 27.14(r)(3).

Special Condition 1c (9/11/2020): Contingent extension: The Final Buildout Requirement in special condition 1b shall be extended to 6/14/2025 if licensee establishes that it is offering 5G Broadband Service with respect to its AWS H Block licenses to 50% or more of the U.S. population by 6/14/2023.

Special Condition 1d (9/11/2020): DISH has committed to make significant payments to the U.S. Treasury if it does not meet its deployment commitments and that commitment is a condition of the waiver/extension grant and modification of this license in DA 20-1072. These commitments include, but are not limited to, mandatory monetary payments for failure to meet deployment commitments (that are separate from the final buildout requirements), status reports, and verification metrics. If DISH fails to meet the conditions of these grants, it must make the payments required. In addition to mandatory monetary payments (and license cancellations), DISH continues to be subject to all of the Commission's other enforcement and regulatory powers for failing to meet any condition of the grants and modifications made on 9/11/2020.

Licensee Name: AMERICAN H BLOCK WIRELESS L.L.C.

Call Sign: WQTX303

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
---------------	--------------------	--------------------------	------------------------------	---------------

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: PARKERB.COM WIRELESS L.L.C.

ATTN: JEFFREY BLUM
 PARKERB.COM WIRELESS L.L.C.
 PO BOX 6663
 ENGELWOOD, CO 80155

Call Sign WQZM344	File Number
Radio Service WT - 600 MHz Band	

FCC Registration Number (FRN): 0025268459

Grant Date 06-14-2017	Effective Date 09-11-2020	Expiration Date 06-14-2029	Print Date
Market Number PEA122	Channel Block A	Sub-Market Designator 0	
Market Name Madison, WI			
1st Build-out Date	2nd Build-out Date 06-14-2025	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

Special Condition 1 (9/11/2020): Licensee is an indirect, wholly owned subsidiary of DISH Network Corporation (DISH). This license is subject to licensee's compliance with the conditions and restrictions imposed by the Commission in MO&O, Declaratory Ruling and Order of Proposed Modification, FCC 19-103 and the commitments made by DISH in its July 26, 2019 Commitments Letter including Attachment A thereto (see, e.g., FCC 19-103 at App. H), as modified by the Commission, both of which are incorporated by reference into and made operative by Order of Modification and Extension of Time to Construct, DA 20-1072 (WTB Sept. 11, 2020). These conditions, restrictions and commitments include, but are not limited to, the following (see FCC 19-103 and DA 20-1072 for further information):

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: PARKERB.COM WIRELESS L.L.C.

Call Sign: WQZM344

File Number:

Print Date:

Special Condition 1a (9/11/2020): DISH is obligated to provide 5G Broadband Service over this license. DISH has waived its rights to use this license under the Commission's flexible-use policies and this license is expressly conditioned on DISH building, deploying, and offering 5G Broadband Service, which means at least 3GPP Release 15 capable of providing Enhanced Mobile Broadband (eMBB) functionality. 5G is defined as the 5G New Radio interface standard as described in 3GPP Release 15, available at <https://www.3gpp.org/release-15>, or 3GPP Release 16 within 3 years of 3GPP final approval. This condition does not preclude DISH from providing IoT as a service in addition to the 5G Broadband Service, but DISH is precluded from relying on IoT (or any other non-5G Broadband Service) operations to satisfy its buildout requirements and commitments.

Special Condition 1b (9/11/2020): Final Buildout Requirement. With respect to this 600 MHz Band license, licensee shall provide 5G Broadband Service coverage and offer 5G Broadband Service by 6/14/2025 to at least seventy (75) percent of the population in the license area. If licensee fails to establish that it meets this Final Buildout Requirement with respect to this 600 MHz Band license, this authorization shall terminate automatically without Commission action. See § 27.14(t)(4).

Special Condition 1c (9/11/2020): DISH has committed to make significant payments to the U.S. Treasury if it does not meet its deployment commitments and that commitment is a condition of the waiver/extension grant and modification of this license in DA 20-1072. These commitments include, but are not limited to, mandatory monetary payments for failure to meet deployment commitments (that are separate from the final buildout requirements), status reports, and verification metrics. If DISH fails to meet the conditions of these grants, it must make the payments required. In addition to mandatory monetary payments (and license cancellations), DISH continues to be subject to all of the Commission's other enforcement and regulatory powers for failing to meet any condition of the grants and modifications made on 9/11/2020.

Special Condition 1d (9/11/2020): Until September 11, 2026, licensee shall not (1) sell this license without the advance approval of both the FCC and the U.S. Department of Justice or (2) in any 12-month period provide in the Partial Economic Area of this license more than 35% of the capacity of its 5G network to any of the three largest wireless facilities-based providers (alone or in combination) without prior FCC approval. Sell means (i) to transfer, assign, or dispose of this license in any manner either directly or indirectly; or (ii) to transfer control of an entity holding this license; or (iii) to enter into a lease arrangement or any other arrangement that results in the transfer of de jure or de facto control of this license.

Licensee Name: PARKERB.COM WIRELESS L.L.C.

Call Sign: WQZM344

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
---------------	--------------------	--------------------------	------------------------------	---------------



01/25/2024

To whom it may concern:

The proposed DISH Wireless LLC wireless equipment (see attached specification sheets) with a centerline radiation point of 160' to be located at on the parcel 028/0610-122-8000-4 in the town of Dunn (more specifically at latitude: 43 00 17.09N and longitude: 89 15 28.38W) will operate below the maximum permissible exposures for both Occupational/Controlled and General Population/Uncontrolled thresholds mandated by the FCC. For the avoidance of all doubt, the new facility will be in compliance with the RF energy human exposure guidelines and that they will comply with the FCC rules regarding interference to other communications services.

If any additional information is required, please contact myself or our primary site acquisition vendor, Derek McGrew of CelluSite, LLC (derek@cellusite.net).

Sincerely,

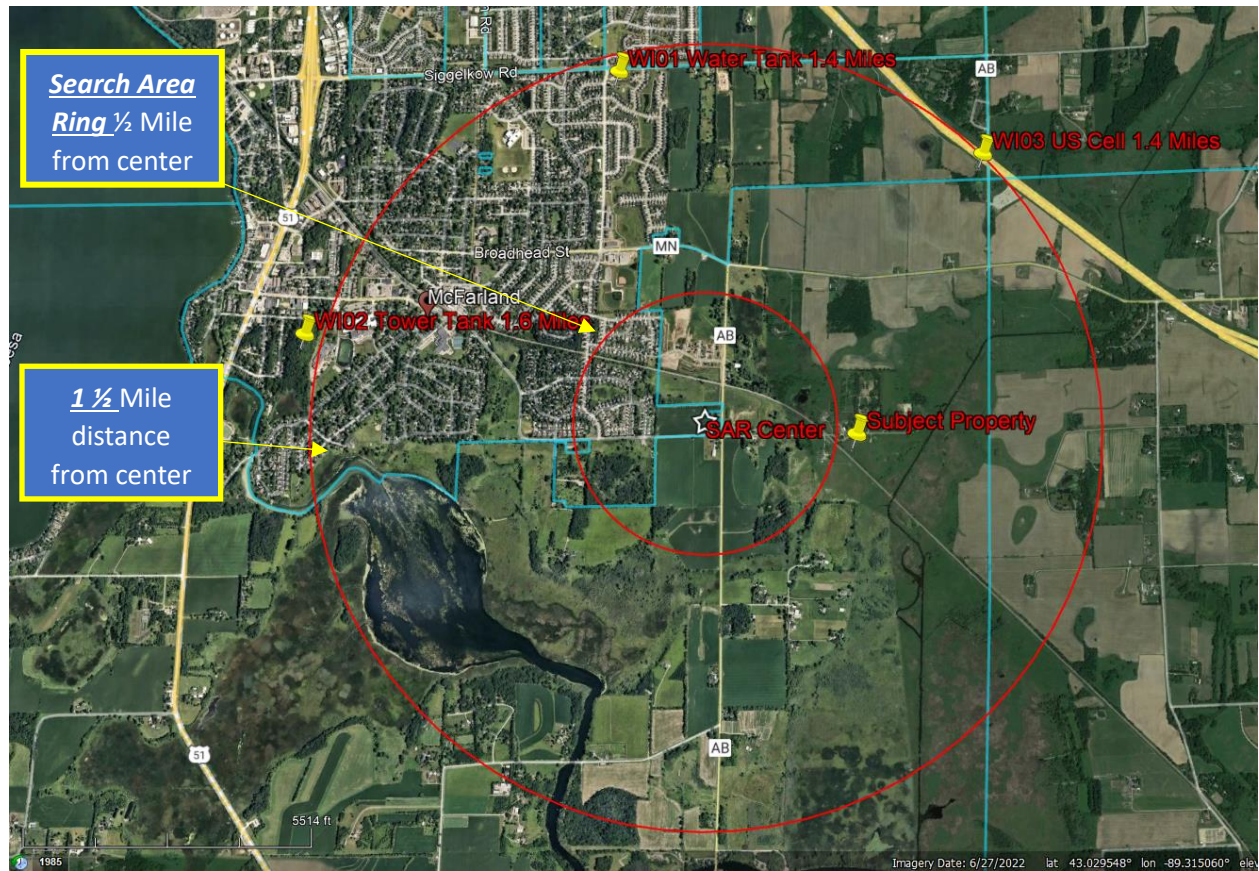
DISH Wireless LLC

By: *Meghan Lanigan*
Name: Meghan Lanigan
Title: Site Development Manager

Exhibit F



Dish Wireless, LLC
5701 South Santa Fe Drive
Littleton, CO 80120



1/2 Mile Residence Map



Existing Residence Map – Zoom in

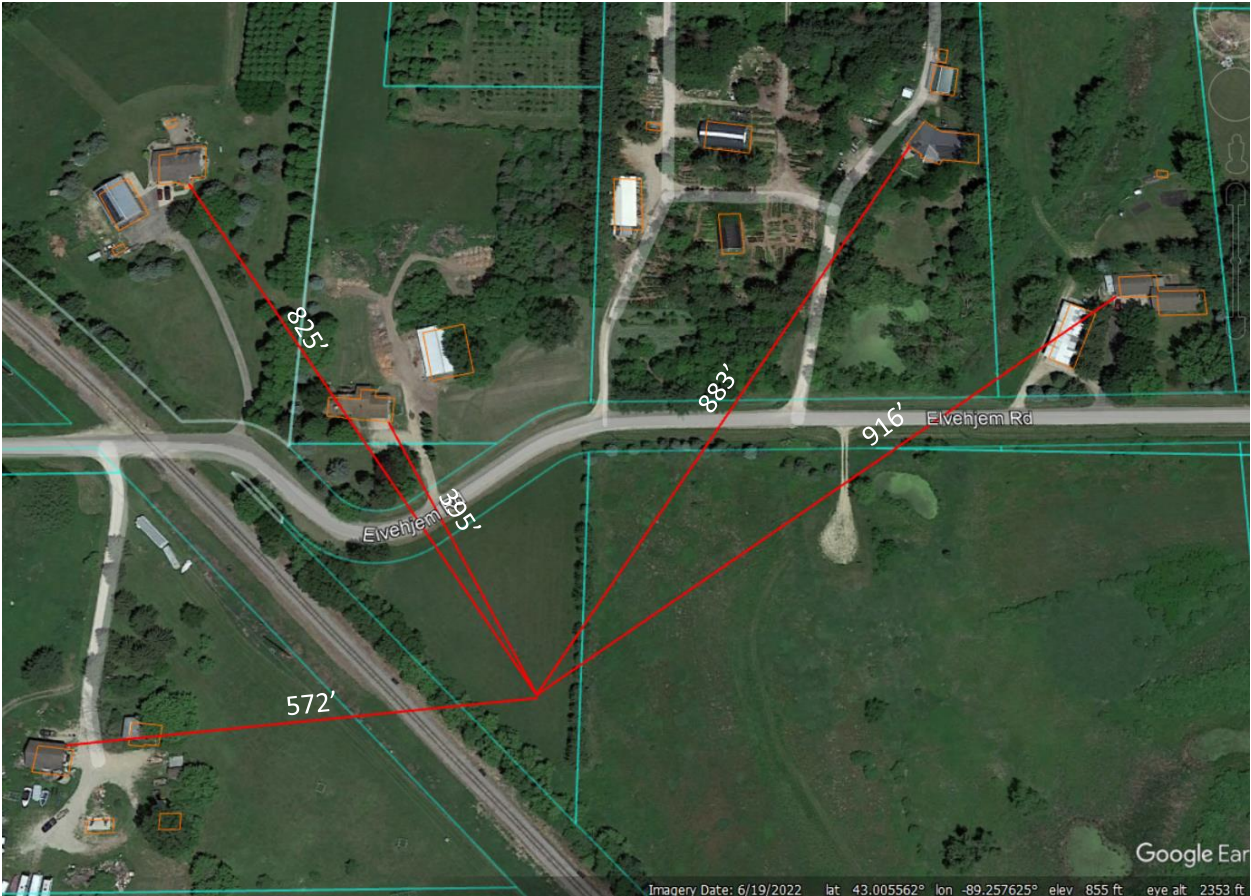


Exhibit G

derek@cellusite.net

Subject: RE: Dane County Wisconsin Notice of Zoning Filing

From: derek@cellusite.net <derek@cellusite.net>

Sent: Monday, November 27, 2023 2:39 PM

To: @uscellular.com'

Subject: Dane County Wisconsin Notice of Zoning Filing

Hello Brandi,

Per requirement of the Dane County Wisconsin zoning ordinance, I'm notifying you of a site that I am filing on behalf of tower owner, Towerking. The co-applicant is DISH, and we would love to have a second carrier supporting the application. Can you please forward to RF for consideration? There's a lot of housing development in this area and hundreds more that haven't been platted quite yet. Details below:

180' tower

165' and below is currently available

Approximate coordinates (pending 1A): 43.004647, -89.257873

Thank you!

Derek McGrew

VP / CelluSite, LLC

103 Wilshire Court

Noblesville, IN 46062

317-507-4541

www.cellusite.net

derek@cellusite.net

Subject: RE: Notice - Dane County New Tower Towerking / T-Mobile

From: derek@cellusite.net <derek@cellusite.net>

Sent: Monday, November 27, 2023 2:33 PM

To: T-Mobile.com>

Subject: RE: Notice - Dane County New Tower Towerking / T-Mobile

Hello Mike,

Per requirement of the Dane County Wisconsin zoning ordinance, I'm notifying you of a site that I am filing on behalf of Towerking. The co-applicant is DISH, and we would love to have a second carrier supporting the application. Details below:

180' tower

165' and below is currently available

Approximate coordinates (pending 1A): 43.004647, -89.257873

Thank you!

Derek McGrew

VP / CelluSite, LLC

103 Wilshire Court

Noblesville, IN 46062

317-507-4541

www.cellusite.net

derek@cellusite.net

Subject: RE: McFarland WI Zoning Notice

From: derek@cellusite.net <derek@cellusite.net>

Sent: Monday, November 27, 2023 2:36 PM

To: ANDREW T' <@att.com>

Subject: RE: McFarland WI Zoning Notice

Hello Andrew,

Per requirement of the Dane County Wisconsin zoning ordinance, I'm notifying you of a site that I am filing on behalf of AT&T MLA Partner, Towerking. The co-applicant is DISH, and we would love to have a second carrier supporting the application. Can you please forward to RF for consideration? There's a lot of housing development in this area and hundreds more that haven't been platted quite yet. Details below:

180' tower

165' and below is currently available

Approximate coordinates (pending 1A): 43.004647, -89.257873

Thank you!

Derek McGrew

VP / CelluSite, LLC

103 Wilshire Court

Noblesville, IN 46062

317-507-4541

www.cellusite.net

derek@cellusite.net

Subject: RE: Dane County Wisconsin Notice of Zoning Filing

From: derek@cellusite.net <derek@cellusite.net>

Sent: Monday, November 27, 2023 2:40 PM

To: @verizonwireless.com>

Subject: Dane County Wisconsin Notice of Zoning Filing

Hello Octavio,

Hope you're doing well!

Per requirement of the Dane County Wisconsin zoning ordinance, I'm notifying you of a site that I am filing on behalf of tower owner, Towerking. The co-applicant is DISH, and we would love to have a second carrier supporting the application. Can you please forward to RF for consideration? There's a lot of housing development in this area and hundreds more that haven't been platted quite yet. Details below:

180' tower

165' and below is currently available

Approximate coordinates (pending 1A): 43.004647, -89.257873

Thank you!

Derek McGrew

VP / CelluSite, LLC

103 Wilshire Court

Noblesville, IN 46062

317-507-4541

www.cellusite.net

Exhibit H

Airport Search Results

16 airports found

ID	CITY	AIRPORT NAME	WHERE
 87WI	COTTAGE GROVE, WI	QUALE AIRPORT	3.3 nm E
 59WI	COTTAGE GROVE, WI	LITTLE WHEEL FIELD AIRPORT	3.4 nm NE
 2WI1	STOUGHTON, WI	UFF-DA AIRPORT	3.9 nm S
 0WI9	OREGON, WI	MC MANUS HOONCH-NA-SHEE-KAW AIRPORT	5.7 nm SW
 2WI6	STOUGHTON, WI	MATSON AIRPORT	6.3 nm SSE
 87Y	MADISON, WI	BLACKHAWK AIRFIELD AIRPORT	6.8 nm NNE
 WI40	OREGON, WI	SPIEGEL FIELD AIRPORT	6.9 nm SW
 95WI	STOUGHTON, WI	WISERSKY AIRPORT	7.0 nm SE
 WS52	MADISON, WI	SSM HEALTH, ST. MARYS HOSPITAL - MADISON HELIPORT	7.1 nm WNW
 WI93	MADISON, WI	MERITER/PARK HELIPORT	7.3 nm WNW
 WI94	MADISON, WI	ARMY GUARD HELIPORT	7.9 nm NNW
 15WI	OREGON, WI	PETERSON FIELD AIRPORT	8.4 nm WSW
 WS27	MADISON, WI	UW HOSPITAL & CLINICS HELIPORT	8.7 nm WNW
 MSN	MADISON, WI	DANE COUNTY REGIONAL/TRUAX FIELD AIRPORT	8.8 nm NNW
 WI99	EDGERTON, WI	TRU FIELD AIRPORT	9.3 nm SE
 7WI5	BROOKLYN, WI	SYVRUD AIRPORT	9.7 nm SW

CelluSite, LLC

103 Wilshire Court
Noblesville, IN 46062

derek@cellusite.net

www.cellusite.net

01/23/2024

RE: Notice of Intent to Construct a Wireless Communications Facility
Subject Parcel Address: Elvehjem Road, McFarland, WI

Parcel Index Number (PIN): 028/061012280004

Dear Airport Representative

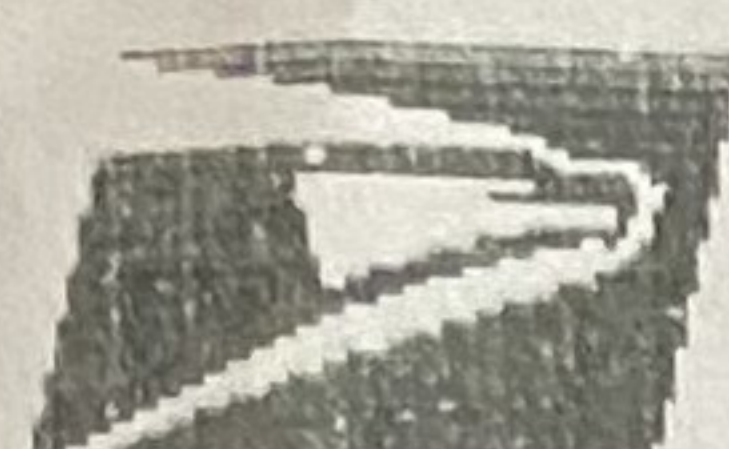
This letter is being sent on behalf of Iron Mountain Towers, to provide notice of its plans to construct a new wireless communications facility ("Facility") on a portion of the above-referenced property ("Subject Parcel"). This notice is required by Dane County Ordinance to notify any airport within five miles of a proposed communications facility.

The project information is as follows:

Tower Location: 43 00 17.09N, 89 15 28.38W
Tower Height: 175' including lightning rod

Please let me know if you have any questions or concerns.

Derek McGrew
Agent for Iron Mountain Towers
derek@cellusite.net
317-507-4541



UNITED STATES POSTAL SERVICE.

CICERO
69 WASHINGTON AVE
CICERO, IN 46034-9998
(800)275-8777

01/23/2024

03:28 PM

Product	Qty	Unit Price	Price
\$10 Floral Geo	3	\$10.00	\$30.00
Priority Mail® Flat Rate Env	1		\$9.85
Cottage Grove, WI 53527			
Flat Rate			
Expected Delivery Date			
Thu 01/25/2024			
Tracking #:			
9505 5127 8551 4023 4557 54			
Insurance			\$0.00
Up to \$100.00 included			\$9.85
Total			

Priority Mail® Flat Rate Env	1		\$9.85
Stoughton, WI 53589			
Flat Rate			
Expected Delivery Date			
Thu 01/25/2024			
Tracking #:			
9505 5127 8551 4023 4557 78			
Insurance			\$0.00
Up to \$100.00 included			\$9.85
Total			

Prepaid Mail	1		\$0.00
Cottage Grove, WI 53527			
Weight: 0 lb 1.60 oz			
Acceptance Date:			
Tue 01/23/2024			
Tracking #:			
9114902307224266535768			

Prepaid Mail	1		\$0.00
Elizabethville, PA 17023			
Weight: 0 lb 5.90 oz			
Acceptance Date:			
Tue 01/23/2024			
Tracking #:			
9114902307224251539368			

Grand Total: \$49.70

Credit Card Remit \$49.70

Card Name: VISA

Account #: XXXXXXXXXXXXX0358

Approval #: 04626G

Transaction #: 149

Exhibit I

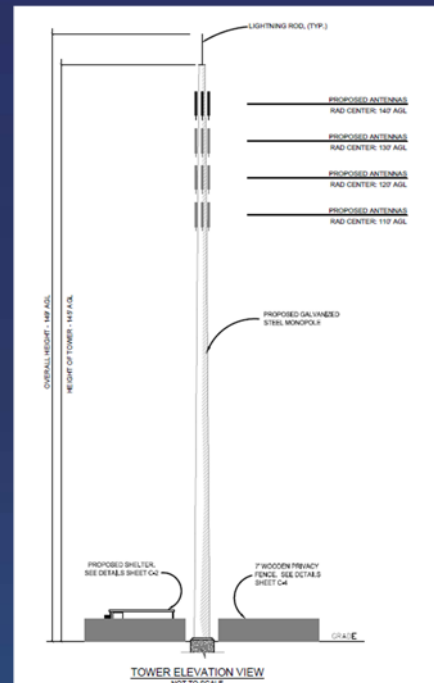


Valbridge
PROPERTY ADVISORS

Appraisal Report – Impact Study

Cell Tower Impact Study
3486 CTH MN, McFarland WI

Report Date: May 31, 2023



FOR:
Husch Blackwell LLP
Rodney Carter
511 North Broadway, Suite 1100
Milwaukee, Wisconsin 53202

Valbridge Property Advisors | Kansas City

10990 Quivira Road, Suite 100
Overland Park, Kansas 66210
(913) 451-1451 phone
(913) 529-4121 fax

valbridge.com

Valbridge Job No:
KS01-23-0309-000



10990 Quivira Road, Suite 100
Overland Park, Kansas 66210
(913) 451-1451 phone
(913) 529-4121 fax
valbridge.com

May 31, 2023

Rodney Carter
Husch Blackwell LLP
511 North Broadway, Suite 1100
Milwaukee, Wisconsin 53202

RE: Appraisal Report
Cell Tower Impact Study
McFarland, Dane County, Wisconsin 54731

Dear Rodney Carter:

In accordance with your request, we have prepared a Value Impact Study of the proposed cell tower located at 3486 CTH MN, McFarland Wisconsin. This report sets forth the pertinent data gathered, the techniques employed, and the reasoning leading to our opinions. The purpose of this report is to examine the potential impact the proposed project could potentially have on property values of adjacent single-family residences.

We developed the analyses, opinions, and conclusions and prepared this report in conformity with the Uniform Standards of Professional Appraisal Practice (USPAP) of the Appraisal Foundation. The client in this assignment is Husch Blackwell LLP. The intended user is Husch Blackwell LLP and Tower King.

The intended use is for zoning approval. The value opinions reported herein are subject to the definitions, assumptions and limiting conditions, and certification contained in this report. Based upon the analysis, the report demonstrates the following:

The proposed cell tower development will not measurably impact the value of surrounding homes.

This letter of transmittal is not considered valid if separated from this report, and must be accompanied by all sections of this report as outlined in the Table of Contents, in order for the value opinions set forth above to be valid.

Respectfully submitted,
Valbridge Property Advisors | Kansas City

A handwritten signature in blue ink, appearing to read 'Andrew Baker'.

Andrew Baker, MAI
Director

A handwritten signature in blue ink, appearing to read 'Josh Folland'.

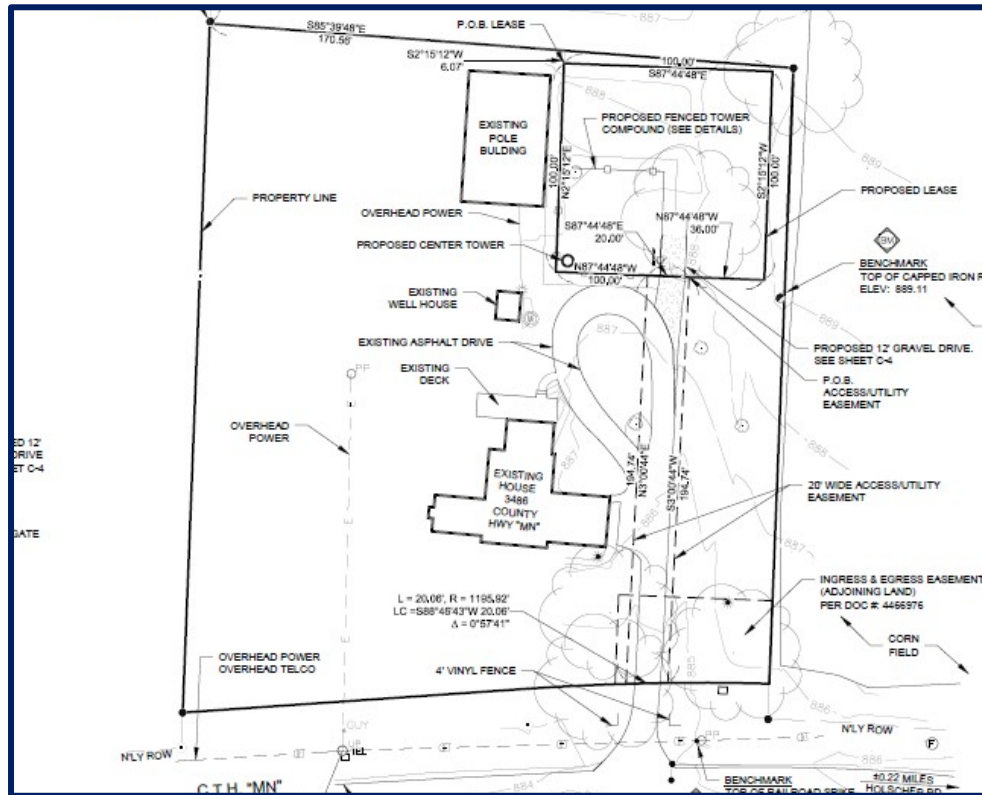
Josh Folland, MAI, CCIM
Senior Managing Director
WI Certified General 2199-10

Table of Contents

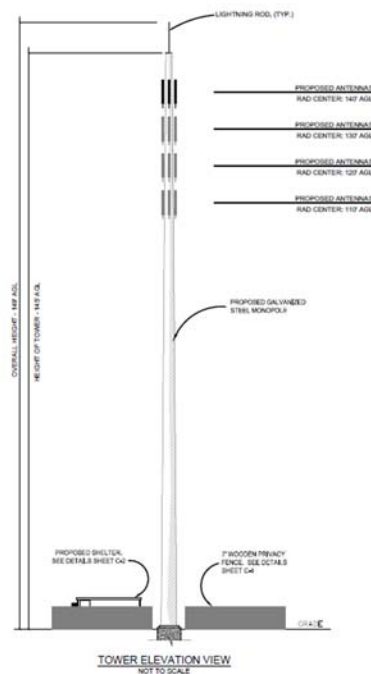
Cover Page	
Letter of Transmittal	
Table of Contents	ii
Aerial and Front Views.....	iii
Location Map	iv
Introduction.....	1
Scope of Work.....	3
City & Neighborhood Analysis	4
Description of the Project	8
Market Conditions	15
Paired Sales Analysis	17
Conclusions.....	35
General Assumptions & Limiting Conditions.....	36
Certification – Andrew Baker, MAI.....	41
Certification – Josh Folland, MAI, CCIM	42
Addenda.....	43

Aerial and Front Views

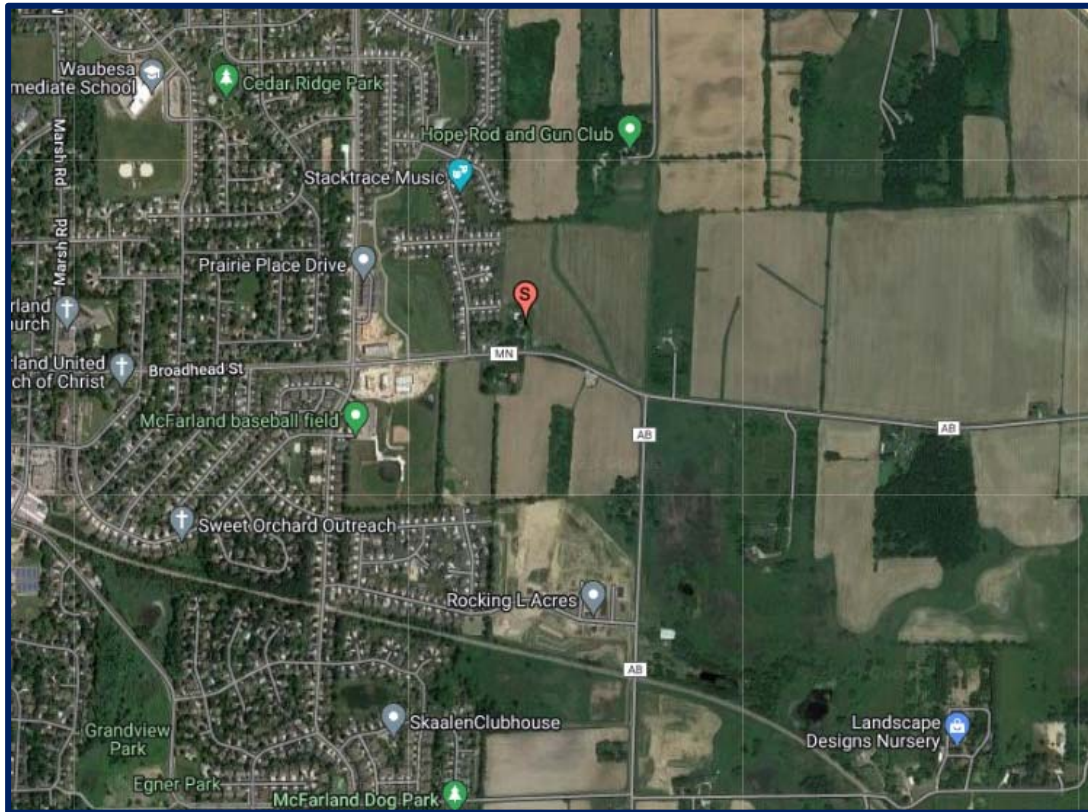
SITE VIEW



FRONT VIEW (PROPOSED)



Location Map



Introduction

Client and Other Intended Users of the Appraisal

The client in this assignment is Husch Blackwell LLP. The intended user is Husch Blackwell LLP and Tower King. mWe understand the client may choose to share this report with public officials as part of the zoning approval process.

Intended Use of the Appraisal

The intended use of this report is for zoning approval use.

Location of the Subject






Location: 3486 CTH MN
McFarland, Dunn County, Wisconsin 54731
Latitude/Longitude: 43.016766, -89.271075

Identification of the Project

Our identification of the project is based on our on-site inspection, public records, as well as information provided to us by the client. The purpose of this report is to analyze the potential impact the project could potentially have on the value of adjacent single-family homes.

Type and Definition of Value

The purpose of this appraisal is to develop an opinion as to the potential impact the proposed project could potentially have on surrounding property values. According to the Dictionary of Real Estate Appraisal, Sixth Edition, "Market Value," as used in this appraisal, is defined as "the most probable price that a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus." Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

-  *Buyer and seller are typically motivated.*
-  *Both parties are well informed or well advised, each acting in what they consider their own best interests;*
-  *A reasonable time is allowed for exposure in the open market;*
-  *Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and*
-  *The price represents the normal consideration for the property sold unaffected by special or creative financing or sale concessions granted by anyone associated with the sale."*

The *as is* value is the value of the property in its present condition under market conditions prevalent on the effective date of value. Please refer to the Glossary in the Addenda section for further definitions of value type(s) employed in this report.

Valuation Scenarios and Effective Dates of Value

Per the scope of the assignment we developed opinions of value for the subject property under the following scenarios for the identified property right interests as of the corresponding effective dates of value:

Value Perspective	Value Premise	Effective Date of Value
Current	As Is	May 5, 2023

Date of Report

The date of this report is May 31, 2023, which is the same as the date of the letter of transmittal.

Competency

No steps were necessary to meet the competency provisions established by USPAP. We have familiarity and adequate experience with communication towers and impact studies. In addition, we are familiar with the market, geographic area, and applicable laws, regulations, and guidelines.

Assumptions and Conditions of the Appraisal

If there are extraordinary assumptions and/or hypothetical conditions used in this report, the use of these extraordinary assumptions and hypothetical conditions might have affected the assignment results.

Extraordinary Assumptions

An extraordinary assumption is defined as "An assumption, directly related to a specific assignment, as of the effective date of the assignment results, which, if found to be false, could alter the appraiser's opinions or conclusions."

- ✚ There are no extraordinary assumptions assumed in this appraisal.

Hypothetical Conditions

A hypothetical condition is defined as "A condition, directly related to a specific assignment, which is contrary to what is known by the appraisers to exist on the effective date of the assignment results, but is used for the purposes of analysis."

- ✚ The report is based on the hypothetical condition the planned communication tower has been approved by the city and completed to determine any potential diminution in value to the surrounding properties.

Scope of Work

The scope of work includes all steps taken in the development of the appraisal. These include 1) the extent to which the subject property is identified, 2) the extent to which the subject property is inspected, 3) the type and extent of data researched, 4) the type and extent of analysis applied, and the type of appraisal report prepared. These items are discussed as follows:

Extent to Which the Impacted Properties Was Identified

The components of property identification are summarized as follows:



Economic Characteristics

Economic characteristics of the project were identified via a review of market surveys, interviews with market participants, as well as a comparison to properties with similar locational and physical characteristics.



Physical Characteristics

The subject area was physically identified via our on-site inspection. We have also analyzed information sent to us by the client, including maps and pictures of the proposed project.

Extent to Which the Property Was Inspected

It is acknowledged that Jason Roos, MAI made a significant contribution to the report and inspected the subject location and surrounding neighborhood on May 5, 2023.

Type and Extent of Data Researched

We researched the project based upon information provided to us by the client. Based upon these factors, we analyzed the externalities of the project and its potential impact on the surrounding single-family homes.

As part of the process, we conducted the following analysis:

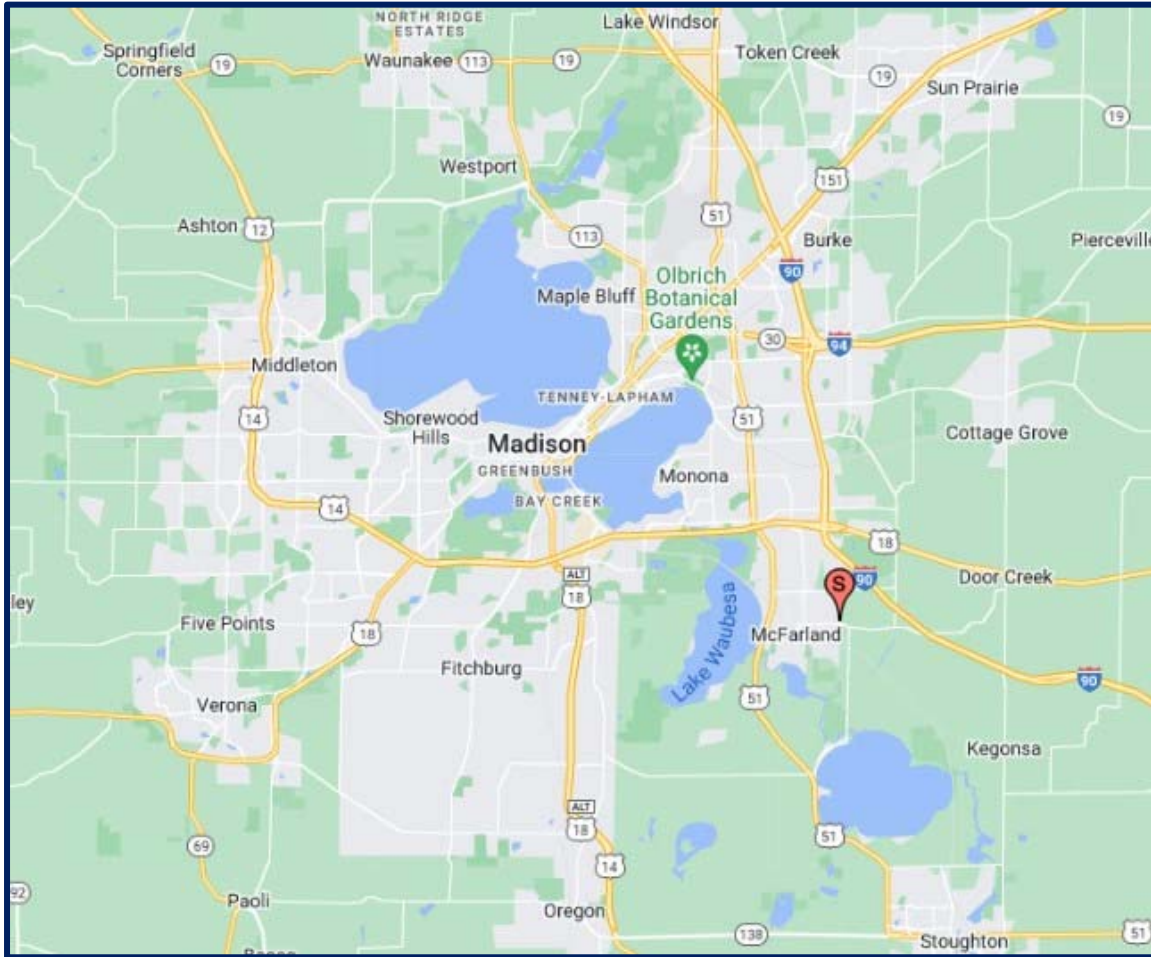
- 1) A paired sales analysis of single-family homes located adjacent to a communication tower in similar markets in the local area.
- 2) Analysis of the listing history, including the sales price to list price ratio and the number of days on the market.
- 3) Interviews with brokers that have experience selling single-family homes that are located adjacent to similar properties.

Appraisal Conformity

We developed the analyses, opinions, and conclusions and prepared this report in conformity with the Uniform Standards of Professional Appraisal Practice (USPAP) of the Appraisal Foundation; the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute; and the requirements of the client as we understand them.

City & Neighborhood Analysis

REGIONAL MAP



Overview

The subject is located near the small town of Dunn, in Dane County, Wisconsin. The subject is located to the west of McFarland, Wisconsin.

Neighborhood Location and Boundaries

The area is suburban in nature. For purposes of this report, the neighborhood boundaries are best described as a three-mile radius around the subject., which includes much of the City of McFarland and undeveloped areas to the east and south.

NEIGHBORHOOD MAP



Transportation Routes

Major travel and commuter routes within the area of the subject include Interstate 90 and Highway 51. Within the immediate area of the subject transportation access helps define the character of its development. Overall, access to the local area is considered to be average, considering the subject's proximity to major highways.

Demographic Analysis

The following demographic information was obtained from the 2000 U.S. Census, 2010 U.S. Census, and Site to do Business (STDB) forecasts for 2022 and 2027. We have included the City of McFarland, Dane County, and the State of Wisconsin as a point of comparison.

Population

Population characteristics relative to the subject property are presented in the following table. At present, the population within a three-mile radius is 14,986. The population in the local area is growing at a faster rate than the surrounding Madison MSA.

Population

Area	2010	Estimated 2022	Annual Δ 2010 - 22	Projected 2027	Annual Δ 2022 - 27
Wisconsin	5,686,986	5,931,373	0.4%	5,961,799	0.1%
Madison, WI (MSA)	605,432	697,771	1.2%	717,307	0.6%
Dane County	488,073	578,227	1.4%	597,756	0.7%
Dunn town	4,884	5,004	0.2%	5,227	0.9%
Three-Mile Radius	12,211	14,986	1.7%	15,585	0.8%

Source: ESRI (ArcGIS)

Household Income

Total median household income for the region is presented in the following table. Overall, the local area has median income levels that are higher than the State of Wisconsin and the Madison MSA, which is favorable for housing demand.

Median Household Income

Area	Estimated 2022	Projected 2027	Annual Δ 2022 - 27
Wisconsin	\$70,389	\$82,521	3.2%
Madison, WI (MSA)	\$82,499	\$97,745	3.4%
Dane County	\$84,579	\$100,679	3.5%
Dunn town	\$103,057	\$125,054	3.9%
Three-Mile Radius	\$102,495	\$113,366	2.0%

Source: ESRI (ArcGIS)

Housing Information

The following table shows housing information in the local area. Overall, STDB estimated that 76.9% of households are owner-occupied within a three-mile radius of the subject.

Housing Information

Radius (Miles)	1 Mile	3 Mile	5 Mile
Population Summary			
2010 Population	4,181	12,211	41,404
2022 Population Estimate	5,626	14,986	46,706
2027 Population Projection	5,942	15,585	48,173
Annual % Change (2022 - 2027)	1.1%	0.8%	0.6%
Housing Unit Summary			
2010 Housing Units	1,547	4,939	18,534
% Owner Occupied	87.9%	73.1%	68.5%
% Renter Occupied	10.7%	21.6%	25.1%
2022 Housing Units	2,052	6,084	20,802
% Owner Occupied	90.0%	76.9%	71.0%
% Renter Occupied	8.2%	18.8%	24.2%
2027 Housing Units	2,197	6,432	21,796
% Owner Occupied	89.7%	77.1%	70.9%
% Renter Occupied	7.4%	17.4%	23.1%
Annual % Change (2022 - 2027)	1.4%	1.1%	0.9%
Income Summary			
2022 Median Household Income Estimate	\$108,662	\$102,495	\$91,479
2027 Median Household Income Projection	\$120,091	\$113,366	\$104,964
Annual % Change	2.0%	2.0%	2.8%
Source: ESRI (ArcGIS) (Lat: 43.016766, Lon: -89.271075)			

Unemployment - Bureau of Labor Statistics (Year-To-Date)

Dane County has an unemployment rate that has historically been lower than the State of Wisconsin, which is favorable for demand.

Unemployment Rates

Area	YE 2018	YE 2019	YE 2020	YE 2021	YE 2022	2023 ¹
United States	3.9%	3.7%	8.1%	5.3%	3.6%	3.1%
Wisconsin	3.0%	3.2%	6.4%	3.8%	2.9%	2.3%
Madison, WI (MSA)	2.3%	2.4%	5.0%	2.9%	2.2%	1.7%
Dane County, WI	2.2%	2.3%	4.9%	2.9%	2.2%	1.6%

Source: www.bls.gov

data not seasonally adjusted; ¹April - most recent for US, others lag by 1-2 mos.)

Conclusions

The local area is predominantly suburban in nature. The local area is growing at a steady rate and we anticipate continued growth for the foreseeable future.

Description of the Project

The following description is based on our property inspection, assessor records, and information provided by the client and owner.

General Data

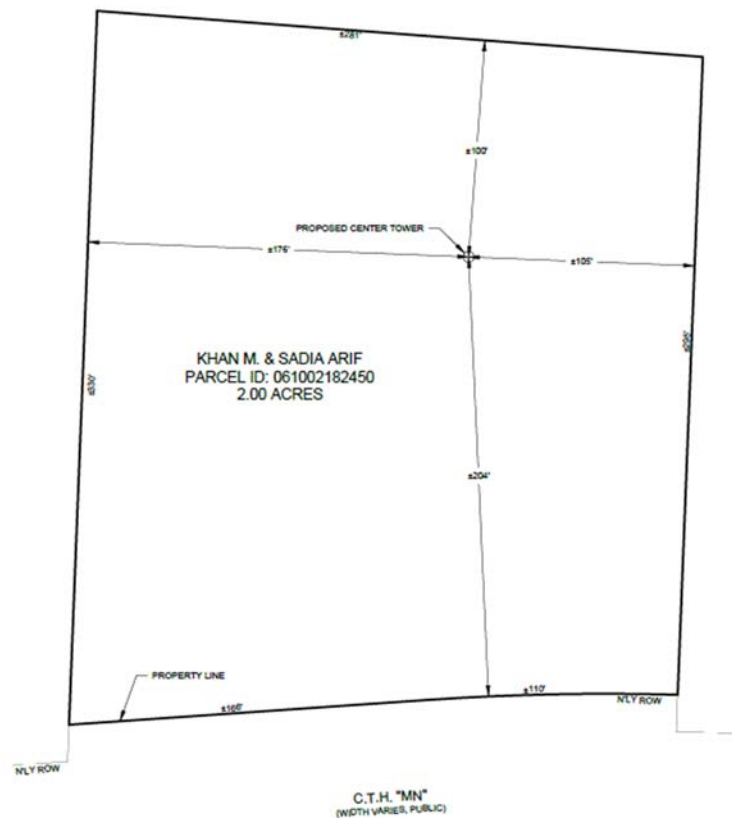
Location:	3486 CTH MN McFarland, Dane County, Wisconsin 54731
Latitude/Longitude:	43.016766, -89.271075
Tower Height:	145 Feet
Style:	Monopole design. The subject will have a narrow array of antennas which will reduce the visual impact of the tower when compared to the traditional antenna array.

Street Frontage / Access

Access to the site will be provided by a gravel access road from County Road MN.

Surrounding Uses

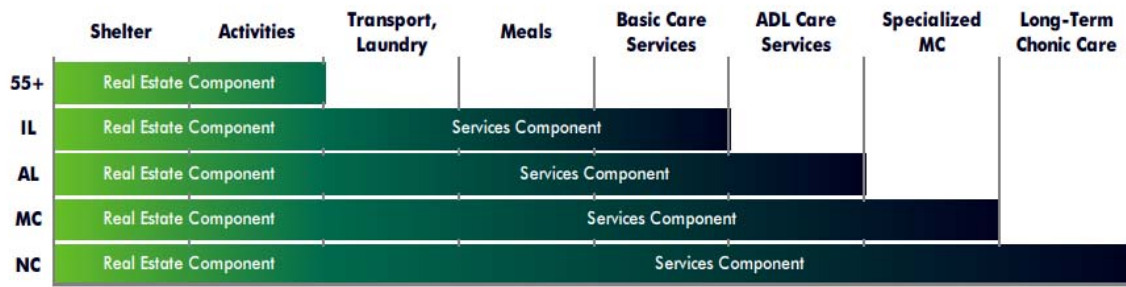
The uses surrounding the site are residential in nature, with existing single-family homes located to west. The proposed cell tower is approximately 176 feet away from existing single family homes to the west. At present, there is agricultural land located to the north and west. This area could allow for single-family residential uses based on the proposed future street layout of the site. The cell tower will be located 100 feet away from the property line of homes located to the north and east.



C

The area to the north and east is currently zoned A1, Agricultural Transition, by the Village of McFarland. This area has been planned for single-family residential use. We received a voice message from Andrew Bremer, the Community and Economic Development Director for the Village of McFarland. He informed us that the current owner of this site has a desire to develop the site with a variety of senior housing uses. At present, no plans have been submitted to the Village 2150 Montego Drive, Springfield, OH of McFarland.

Senior housing is a broad term that includes a variety of housing types based on the care needs and income of the target market. Senior housing includes everything from age-restricted maintenance-provided homes that provide no services, to independent living apartments which provide daily meals and housekeeping, to assisted living, memory care, and skilled nursing developments for seniors who require help with the activities of daily living. The following table shows the typical elements of value in senior housing properties.



Source: NIC Investment Guide



In general, any potential negative impact to operations would be less for senior housing properties when compared to single family homes studied in this report. This is due to the following factors:

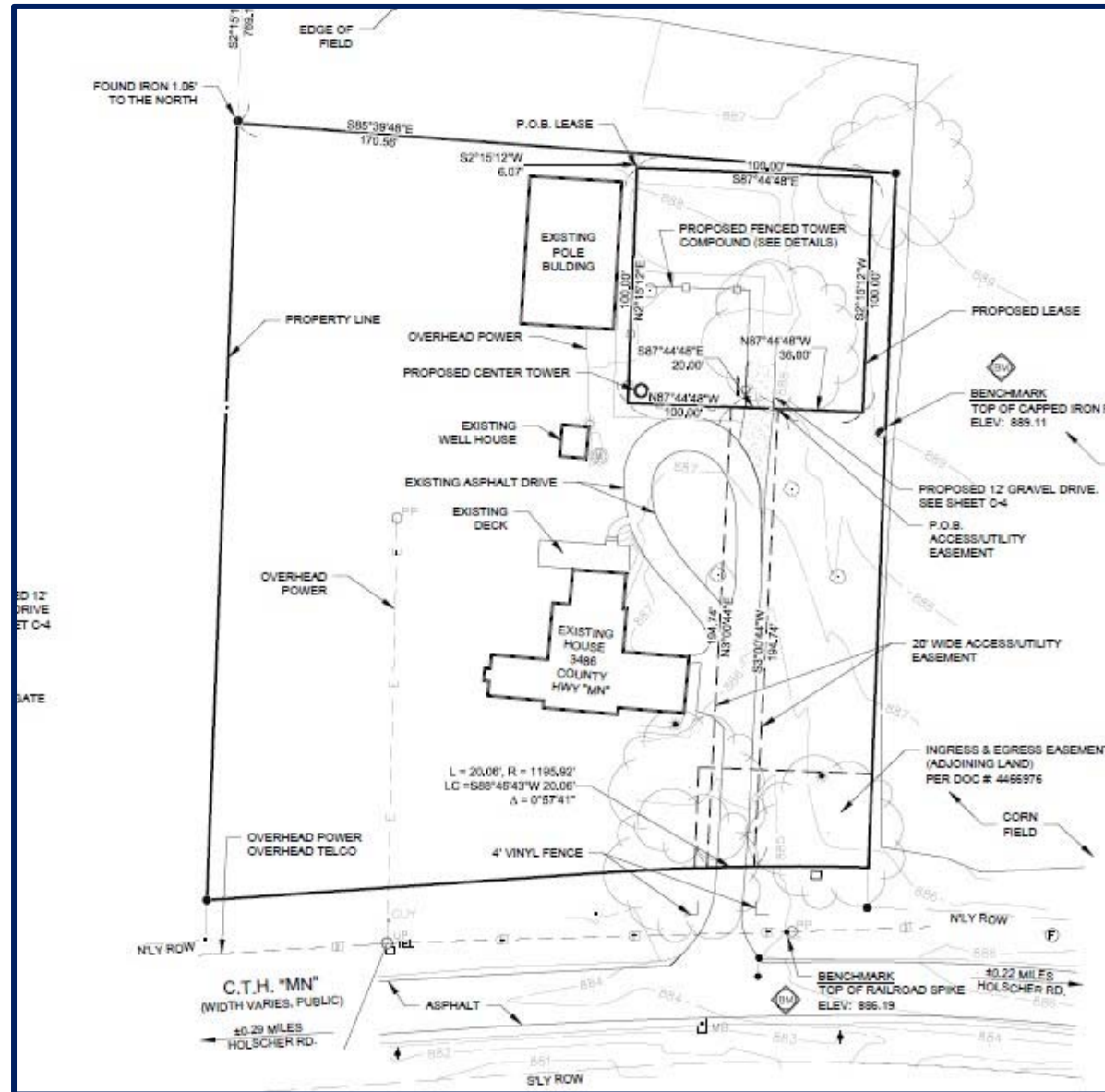
1. As seniors require more care, a primary focus is on the residents proximity to existing support network of family, friends, religious facility, and medical services. The primary decision maker changes from the resident then to relatives such as a spouse or adult children and then finally to doctors for end-of-life care. These third parties are more concerned about these support networks are unlikely to locate a resident to a less practical location further away due to the proximity of a cell tower.
2. Assisted living, memory care, and skilled nursing development are licensed by the State of Wisconsin and often derive a significant portion of their income from third-parties such as Medicaid, Medicare and insurance. These third parties do not consider the proximity of a cell tower in their reimbursement rate.
3. Uses such as apartments, assisted living, memory care and skilled nursing require greater setbacks from lot lines that single-family homes based upon our review of the City of McFarland zoning code. These greater setbacks should reduce the visual impacts of the cell tower.

Based on the foregoing and lack of data from senior housing properties, the report focuses on the impacts, if any, of cell tower locations on single-family residential properties.

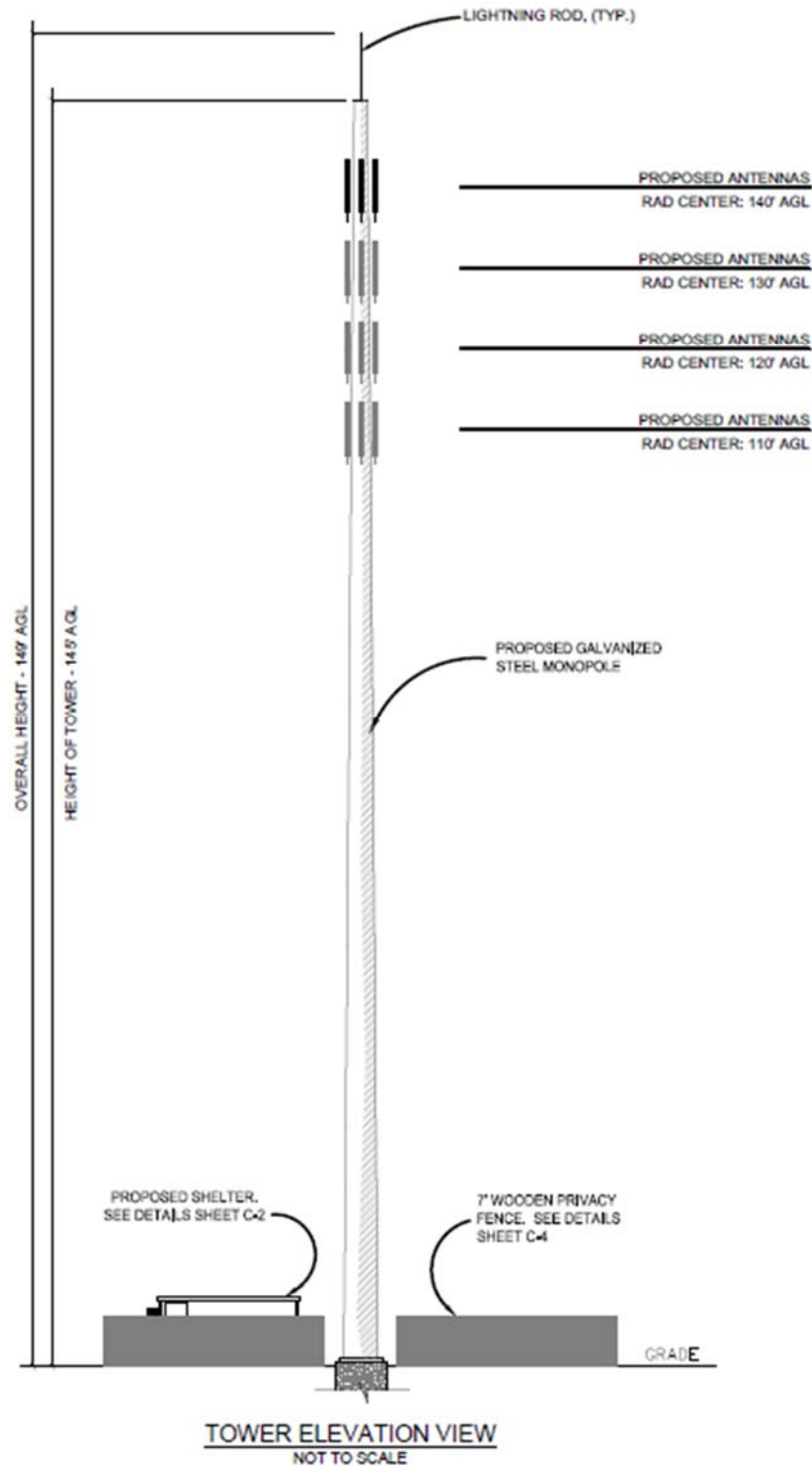
Zoning Designation

Zoning Jurisdiction:	Dane County
Zoning Classification:	RR-2, Rural Residential Zoning
Permitted Uses:	Agricultural use and low-density residential use (Two-acre minimum)
Zoning Comments:	Purpose. The Rural Residential 2 district is designed to: (a) Provide for single-family residential principal uses and a variety of accessory or ancillary uses, including small-scale farming, appropriate to a rural setting, on compact parcels. The RR-2 district accommodates uses that are compatible with both residential and farming practices, are typically found in a rural location and do not require urban services. (b) Such uses typically generate traffic, noise or other impacts similar to those produced by a single-family residence

SITE PLAN



ELEVATION PLAN





Site area



Vacant land to north



Single-family home to south



Single-family home to west



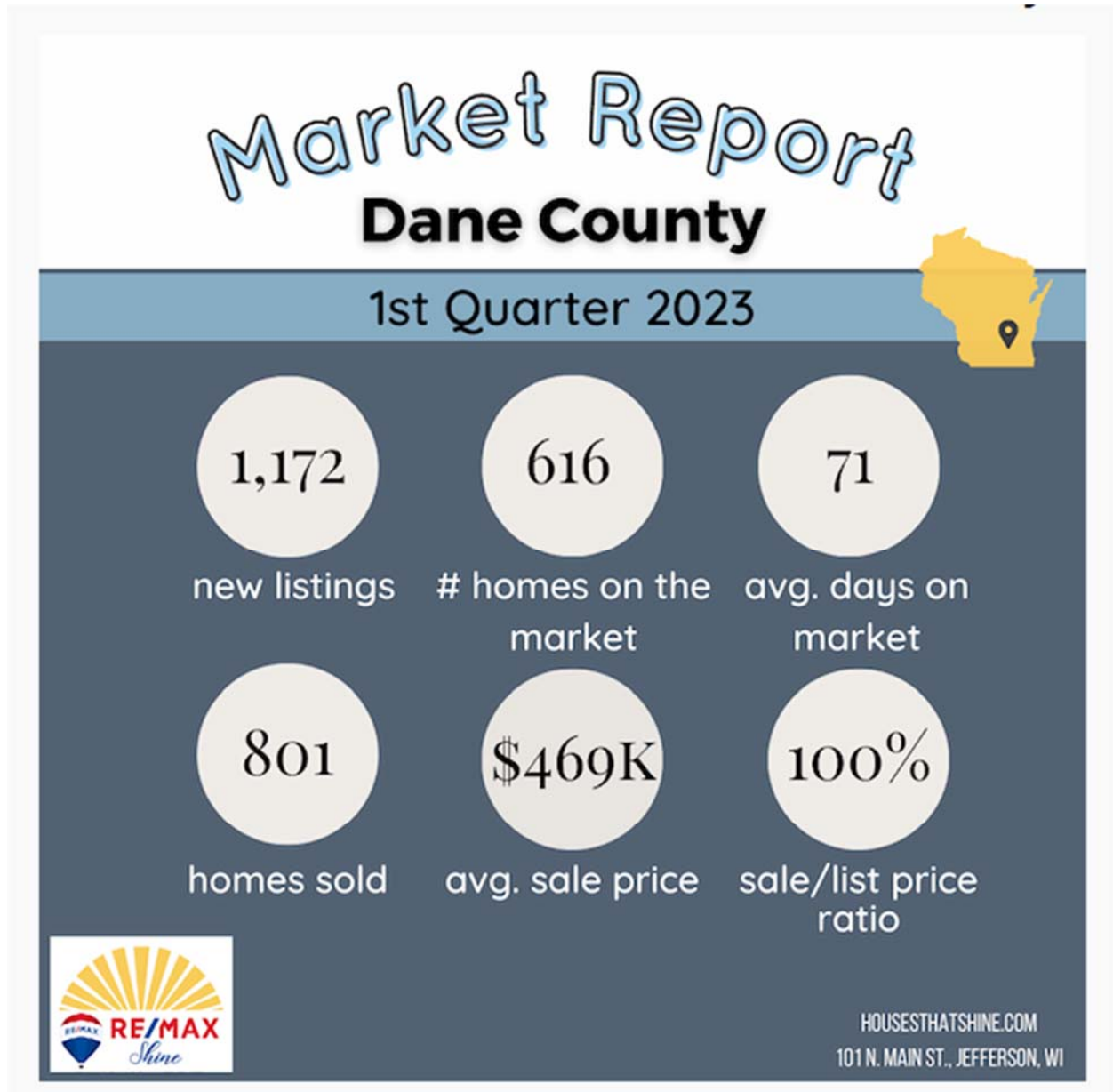
Single-family home to west



Single-family homes to west

Market Conditions

The following is an analysis of the current residential market trends in Dane County, Wisconsin. This information is provided by the South-Central Wisconsin MLS.



Single Family Homes in Dane County, WI

# New Homes Listed	1,172
Total # Homes on the Market	616
Average Days on Market for Active Homes	71
Average List Price of Houses For Sale	\$628,422
# Single-Family Houses Sold	801
Average Sold Price	\$469,482
Sale Price / List Price Ratio	100%
Average Days on Market for Sold Homes	31

In Dane County, the current single-family home average sales price is \$469,000. The monthly supply is the ratio of houses for sale to houses sold. It indicates how long the current supply of sale inventory would last given the current sales rate if no new houses were added to the market. Calculation is determined by taking the number of homes listed for sale and dividing it by the "12 month average of the number of sales". Historically, a five to six-month supply of homes on the market equates to a balanced market. When the supply exceeds six months, the market begins to favor buyers, and when the supply is less than five months the market tends to favor sellers. The months of supply for homes is currently 2.4 months, which shows a market that favors sellers.

Paired Sales Analysis

Real estate markets are influenced by attitudes, interactions and the motivations of buyers and sellers in a particular market. Real estate values are affected by risk and future expectations. The proposed project will represent an externality to the surrounding residential properties, which is defined as:

- ✚ The principle that economies outside a property have a positive effect on value while diseconomies outside a property have a negative effect on value.
- ✚ In appraisal, off-site conditions that affect a property's value. Exposure to street noise or proximity to blighted property may exemplify negative externality, whereas proximity to attractive or well-maintained properties or easy access to mass transit may exemplify positive externalities.

In order to determine the impact of the externality, we have conducted paired sales analysis. According to *The Appraisal of Real Estate, 14th Edition*, published by the Appraisal Institute, paired data analysis is defined as follows:

- ✚ A quantitative technique used to identify and measure adjustments to the sale prices or rents of comparable properties; to apply this technique, sales or rental data on nearly identical properties except for one characteristic is analyzed to isolate the single characteristic's effect on value or rent.¹

The text also cautions that paired data analysis should be made with extreme care to ensure that the properties are truly comparable and that other differences do not exist.²

In order to determine the impact that the proposed project could potentially have on the value of surrounding residential properties, we have conducted an analysis of sales of homes that are located adjacent to communication towers with similar single family homes that are not located adjacent to a communication tower. We have also interviewed the listing broker of each sale to determine if the tower impacted the sale price or was a concern of market participants.

Paired Sales Methodology

The sales comparison approach is based on the premise that a buyer would pay no more for a specific property than the cost of obtaining a property with the same quality, utility, and perceived benefits of ownership. It is based on the principles of supply and demand, balance, substitution and externalities. In the sales comparison approach, an indication of market value is developed by analyzing closed sales of similar properties, using the most relevant units of comparison. The comparative analysis focuses on the difference between the comparable sales and the subject property using all appropriate elements of comparison.

Transactional Adjustments

These items are applied prior to the application of property adjustments. Transaction adjustments include:

1. Real Property Rights Conveyed

¹ The Appraisal of Real Estate, 14th Edition, Appraisal Institute, page 399

² Ibid, page 398

2. Financing Terms
3. Conditions of Sale
4. Expenditures Made Immediately After Purchase
5. Market Conditions

Real Property Rights Conveyed

Before a comparable sale property can be used in the sales comparison approach, we must first ensure that the sale price of the comparable property applies to property rights that are similar to those being appraised. All of the sales should reflect a similar interest and no adjustment is required for this element of comparison.

Financing Terms

The transaction price of one property may differ from that of an identical property due to different financial arrangements. Sales involving financing terms that are not at or near market terms require adjustments for cash equivalency to reflect typical market terms. A cash equivalency procedure discounts the atypical mortgage terms to provide an indication of value at cash equivalent terms. The sales sold as cash or cash equivalent and no adjustment for financing was required.

Conditions of Sale

When the conditions of sale are atypical, the result may be a price that is higher or lower than that of a normal transaction. Adjustments for conditions of sale usually reflect the motivations of either a buyer or a seller who is under duress to complete the transaction. The sales sold at market terms and no adjustment for conditions of sale was required.

Expenditures Made Immediately After Purchase

A knowledgeable buyer considers expenditures that will have to be made upon purchase of a property because these costs affect the price the buyer agrees to pay. Such expenditures may include: (1) costs to cure deferred maintenance, (2) costs to demolish and remove any portion of the improvements, (3) costs to petition for a zoning change, (4) costs to remediate environmental contamination and/or (5) costs to occupy or lease-up the property to a stabilized occupancy

The relevant figure is not the actual cost incurred but the cost that was anticipated by both the buyer and seller. Unless the sales involved expenditures anticipated upon the purchase date, no adjustments to the comparable sales are required for this element of comparison.

Market Conditions Adjustment

Market conditions may change between the time of sale of a comparable property and the date of the appraisal of the subject property. Changes in market conditions may be caused by inflation, deflation, fluctuations in supply and demand, or other factors. Market conditions that change over time create the need for an adjustment. If market conditions have changed, an adjustment would be required for this element of comparison.

Physical Adjustments

Physical adjustments are usually expressed quantitatively as percentages that reflect the increase or decrease in value attributable to the various characteristics of the property. In some instances, however, qualitative adjustments are used. These adjustments are based on locational and physical characteristics and are applied after the application of transaction adjustments. The adjustments include:

1. Location
2. Physical Characteristics

Location

Location adjustments may be required when the locational characteristics of a comparable are different from those of the subject. These characteristics can include general neighborhood characteristics, freeway accessibility, street exposure, corner versus interior lot location, neighboring properties, view amenities, and other factors.

Physical Characteristics

Physical characteristics adjustment identifies variances in the physical features of the comparables and the subject improvements. These characteristics can include the size of the single-family homes, number of bedrooms, number of bathrooms, year built, condition of the interior, and other factors.

Paired Sale 1 – The Juniper Ridge Subdivision

We have considered the sales of single-family homes located within the Juniper Ridge Subdivision, which is located to the east of Holscher Road approximately one half mile to the north of the subject. This was a new subdivision that was platted in 2016. This subdivision has a large water tower with cell equipment to the north. We conducted a study of homes within this neighborhood that occurred over an 18 month period between May 2018 and November 2019. At the time of the study, homes in the subdivision were generally priced between \$350,000 and \$400,000 and generally contain 1,500-2,200 square feet three to four bedrooms, two to three bathrooms, and a two-car garage. During this period, a majority of the homes in the neighborhood that were located adjacent to the tower sold.



Water Tower as seen from Holscher Road (Source: Google Maps)

The neighborhood was developed by Veridian Homes, a community home builder in the Madison and Milwaukee markets. The homes were completed on either a speculative basis (without a buyer in place) or

as a build contract in which a buyer would pick their lot and design of the house. Many of the homes in this neighborhood had similar or identical floorplans.

The following shows the location and front view of a typical home within the Juniper Ridge subdivision.



Single-Family Home-Ranch



Single-Family Home-Two Story

In this section, we compare the design of homes and home prices that are located on the north portion of the subdivision which are located adjacent to the subject along Red Oak Trail, Lodgecliffe Lane, and Meadow Grass Court with homes that are located further away from the water tower with cell equipment. The following shows an aerial map of the subdivision, with the homes with a cell tower view outlined in red, and the homes without a cell tower view outlined in green. This aerial was taken in October 2018, which was in the middle portion of the study period.



Overall, we have analyzed the sales of all of the homes that are within the subdivision that are on South Central Wisconsin MLS from March 2018 to November 2019. The following table shows the differences in size of homes, median year built, and median sales price for homes within the subdivision.

Sales Conclusion-Homes Near Water Tower (39 Sales)						
<i>Ref.</i>		<i>Size (SF)</i>	<i>Year Built</i>	<i>Sale Date</i>	<i>Sale Price</i>	<i>Price/Sf</i>
	Average:	2,079	2019	Mar-19	\$399,758	\$195
	Median	1,974	2019	Apr-19	\$394,781	\$189
	Minimum:	1,482	2017	Oct-18	\$313,996	\$162
	Maximum:	3,626	2019	Oct-19	\$599,249	\$237

Sales Conclusion-Homes Away from Water Tower (25 Sales)						
<i>Ref.</i>	<i>Address</i>	<i>Size (SF)</i>	<i>Year Built</i>	<i>Sale Date</i>	<i>Sale Price</i>	<i>Price/Sf</i>
	Average:	2,153	2018	Apr-19	\$405,824	\$191
	Median	2,052	2018	Jul-19	\$395,500	\$186
	Minimum:	1,572	2016	May-18	\$339,900	\$160
	Maximum:	2,791	2019	Nov-19	\$545,245	\$224

For homes located adjacent to the tower along Red Oak Trail, Lodgecliffe Lane, and Meadow Grass Court tower, there have been 39 home sales over the 18-month period. The sales prices have ranged from \$313,996 to \$599,249, with a median of \$394,781 and an average price of \$399,758. Overall, these homes have a median year built of 2019 and a median finished space of 1,974 square feet. The median price on a square foot basis is \$189 per square foot.

For the data set located further to the south, which are considered to be further away from the water tower, there have been 25 homes over the 18-month period. The sales prices have ranged from \$339,900 to \$545,245, with an average of \$405,824 and a median of \$395,500. Overall, these homes have a median year built of 2018 and a median finished space of 2,052 square feet, which is 78 square feet higher than homes located near the water tower.

We further note that the homes in the subdivision that sold for the most during this time period were in the Frost Aster Court cul-de-sac. The four homes in this area ranged from \$430,780 to \$599,249, with a median price of \$505,223, which is 25% higher than the median price in the neighborhood. These homes were located in the northeast portion of the subdivision and each had a direct view of the water tower.

Broker Survey

I e-mailed one of the listing brokers, Todd Pierce with Veridian Homes, in order to survey his opinion on how the water tower impacted the sale price and marketing for the home at 5170 Lodgecliffe Lane, McFarland WI. Here is his response:

"This was a build contract so there was no discount/impact to the final sale price. Customer chose the lot and home plan (no comment/concern about water tower), and while there may have been an incentive on the table at that time, the company did not discount pricing here in McFarland due to proximity to water

tower or other potential issues. We've had neighborhoods near power lines and quarries in the recent past and that did not affect the pricing either. Hope this helps. "

Conclusion

Based upon our analysis of the sales data over the 18 month period, the median price on a per square foot basis for home with a closer to the water tower is \$188 per square foot. The median price of the homes further away from the water tower is \$186 per square foot. Overall, the price difference on a per square foot basis is considered to be insignificant. In addition, the listing broker that we contacted informed us that there was no discount given for homes located adjacent to the water tower.

Paired Sale 2 – 6012 E. Red Oak Trail

The following table summarizes the sales that will be analyzed in Paired Sale 2. The subject is the December 2018 sale of a single-family home located at 6012 E. Red Oak Trail in McFarland, Wisconsin for a price of \$398,725. This home is located approximately 250 feet from a large water tower and cell tower. The following shows an aerial map and a front view of the sale.



Aerial View – 6012 E. Red Oak Trail



Front View – 6012 E. Red Oak

We have compared this sale to six sales in the Juniper Ridge subdivision that occurred near the same time. The six homes were identical to the subject in terms of number of bedrooms, bathrooms, and garage spaces. In addition, each of the sales was a one-story design and did not have any below-grade finished space. The size of the comparable homes was each within 100 square feet of the size of the subject.

The following table summarizes the salient data of the comparable sales.

Paired Sale 2-6012 E. Red Oak Trl.										
Improved Sales Summary										
Ref.	Address	Size (SF)	Year Built	No. of Bedrooms	No. of Bathrooms	No. of Garage Spaces	No. of Story	Sale Date	Sale Price	Price/Sf
1	5437 N. Peninsula Way	1,841	2018	3	2	2	1	Jul-18	\$368,874	\$200
2	5041 Lodgecliffe Ln.	1,841	2019	3	2	2	1	Jun-19	\$379,900	\$206
3	5199 Lodgecliffe Ln.	1,765	2019	3	2	2	1	Jun-19	\$402,782	\$228
4	6122 Pine ridge Way	1,764	2018	3	2	2	1	Aug-18	\$369,900	\$210
5	6038 E. Linden Pky.	1,764	2017	3	2	2	1	Jun-19	\$395,500	\$224
6	5139 Lodgecliffe Ln.	1,760	2019	3	2	2	1	Jul-19	\$404,918	\$230
	Average:	1,789	2,018	3	2	2	1	Mar-19	\$386,979	\$216
	Median:	1,765	2,019	3	2	2	1	Jun-19	\$387,700	\$217
SUB	6012 E. Red Oak Trl.	1,788	2018	3	2.0	2	1	Dec-18	\$398,725	\$223



Front View - Sale 1



Front View - Sale 2



Front View - Sale 3



Front View - Sale 4



Front View - Sale 5



Front View - Sale 6

Property Adjustments - Paired Sale 2

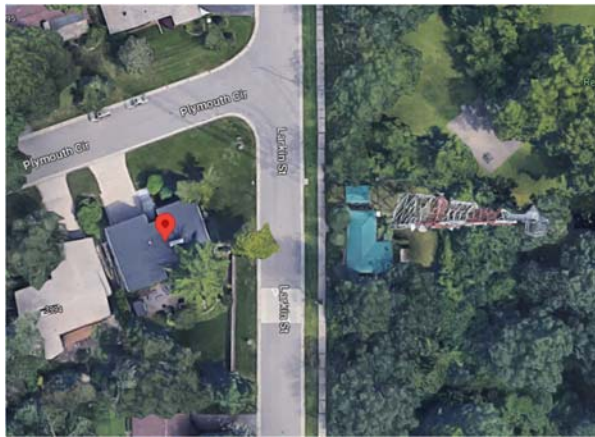
The subject property sold for a price of \$398,725. The comparable sales sold for a range of \$368,874 to \$404,918, with a median sale price of \$387,700. The subject property sold for a price that is 2.8% higher on a that the median price of the six comparable sales.

Overall, the sale price is considered to be in-line with the six comparable that were not located adjacent to a water tower. According to the MLS Listing, this sale appears to be a building contract with the buyer choosing the lot location.

We attempted to contact the listing broker through phone calls and e-mail, in order to determine the impact that the water tower had on the marketing of this home but did not receive a response.

Paired Sale 3 – 3998 Plymouth Circle, Madison, Wisconsin

The subject is the January 2023 sale of a single-family home located at 3998 Plymouth Circle, Madison Wisconsin sold for a price of \$725,000. This home is located less than 100 feet away from a large communications tower. The following shows an aerial map and front view of the sale.



Aerial-3998 Plymouth Circle



Front View-3998 Plymouth



We have compared this sale to sales in the neighborhood that occurred near the same time. The following table shows a summary of the sales. We have compared the subject to similar homes in terms of above grade finished space, year built, number of bathrooms and bedrooms, basement space, and land area.

Improved Sales Summary

	SUBJECT	Sale 1	Sale 2	Sale # 3
Location	3998 Plymouth Circle Madison WI	3918 Priscilla Ln Madison WI	2821 Regent St Madison WI	110 Shepard Ter. Madison WI

Sales Data

Date of Sale	January-23	June-22	February-23	November-22
Property Rights Conveyed	Fee Simple	Fee Simple	Fee Simple	Fee Simple
Financing	Cash to Seller	Cash to Seller	Cash to Seller	Cash to Seller
Conditions of Sale	Typical	Typical	Typical	Typical
Design	Mid-century modern	Mid-century modern	Colonial	Craftsman, traditional
Above Grade Finished Area	2,072	2,530	2,403	2,323
Year Built	1968	1966	1968	1941
No. of Bedrooms	4	4	4	4
No. of Bathrooms	3.0	2.5	2.5	2.5
No. of Garage Spaces	2	2	2	1
Basement:	Yes, finished	Yes, finished	Yes, finished	Yes, unfinished
Land Size (Ac.)	0.250 acres	0.185 acres	0.233 acres	0.190 acres

Unadjusted Units of Comparison

Sales Price	\$725,000	\$744,000	\$725,000	\$750,000
Price Per SF:	\$349.90	\$294.07	\$301.71	\$322.86



Front View - Sale 1



Front View - Sale 2



Front View - Sale 3

We have compared the subject to similar homes in terms of above grade finished space, year built, number of bathrooms and bedrooms, basement space, and land area.

Improved Sales Comparison Approach Adjustment Grid

		Subject	Sale # 1	Sale # 2	Sale # 3
Date of Value & Sale		January-23	February-23	November-22	June-22
Property Name		3998 Plymouth Circle Madison WI	2821 Regent St Madison WI	110 Shepard Ter. Madison WI	3918 Priscilla Ln Madison WI
Net Rentable Area		2,072	2,403	2,323	2,530
Unadjusted Sales Price		\$725,000	\$725,000	\$750,000	\$744,000
Unadjusted Sales Price PSF of NRA			\$725,000	\$750,000	\$744,000
Transactional Adjustments					
Property Rights Conveyed		<i>Fee Simple</i>	<i>Fee Simple</i>	<i>Fee Simple</i>	<i>Fee Simple</i>
Adjusted Sales Price			\$725,000.00	\$750,000.00	\$744,000.00
Financing Terms		<i>Cash to Seller</i>	<i>Cash to Seller</i>	<i>Cash to Seller</i>	<i>Cash to Seller</i>
Adjusted Sales Price			\$725,000.00	\$750,000.00	\$744,000.00
Conditions of Sale		<i>Typical</i>	<i>Typical</i>	<i>Typical</i>	<i>Typical</i>
Adjusted Sales Price			\$725,000.00	\$750,000.00	\$744,000.00
Expenditures after Sale					
Adjustment			-	-	-
Adjusted Sales Price			\$725,000.00	\$750,000.00	\$744,000.00
Market Conditions Adjustments					
Elapsed Time from Date of Value			<i>-0.07 years</i>	<i>0.17 years</i>	<i>0.62 years</i>
Market Trend Through		January-23	-	-	-
Analyzed Sales Price			\$725,000.00	\$750,000.00	\$744,000.00
Property Adjustments					
Location					
		3998 Plymouth Circle Madison WI	2821 Regent St Madison WI	110 Shepard Ter. Madison WI	3918 Priscilla Ln Madison WI
Adjustment			-	-	-
Size		2,072	2,403	2,323	2,530
Adjustment			Superior	Slightly Superior	Superior
Age/Condition	Year Built	1968	1968	1941	1966
	Condition	<i>Good</i>	<i>Average to Good</i>	<i>Good</i>	<i>Average to Good</i>
Adjustment			-	-	-
No of Bedrooms/Bathrooms		<i>4/3</i>	<i>4/2.5</i>	<i>4/2.5</i>	<i>4/2.5</i>
Adjustment			Similar	Similar	Similar
Land-to-Building Ratio		0.250 acres	0.233 acres	0.190 acres	0.185 acres
Adjustment			Similar	Similar	Similar
Basement Space		<i>Full, Finished</i>	<i>Full, Finished</i>	<i>Full, Finished</i>	<i>Full, Unfinished</i>
Adjustment			-	-	Inferior
Net Physical Adjustment			-	-	-
Overall Net Relative Comparison			Similar	Somewhat Superior	Similar
Adjusted Sales Price PSF of NRA			\$725,000.00	\$750,000.00	\$744,000.00

Property Adjustments - Paired Sale 3

Analysis of sale of other properties within this neighborhood report a price ranging from \$725,000 to \$750,000. Overall, the sale price is considered to be in-line with the three comparables that were not located near the cell tower. Each of the sales is considered to be somewhat superior due to their greater amount of above-floor finished space. Sale 3 has an inferior design as it does not contain a finished basement as the subject.

The property was listed on the market for 45 days at a listing price of \$750,000. The home sold for \$725,000, or 3.3% below the listing price.

Broker Survey

I e-mailed the listing brokers, Lori Schilling with Sprinkman Real Estate, in order to survey her opinion on how the tower impacted the sale price and marketing for the home at 3998 Plymouth Circle, Madison WI. Here is her response:

"The property was priced fairly at \$750,000 and it sold for \$725,000. We did have a few people mention the tower. However, we also addressed it in the listing. So I think most people knew about it. I don't know that it truly impacted the sale, but it was a factor."

Property Adjustments - Paired Sale 3

Overall, the sale price is considered to be in-line with the three comparables that were not located adjacent to a large tower. According to the MLS Listing, the property sold after a short time on the market and at a price 2.9% below the listing price. The broker reported was uncertain about the impact of the tower stating "I don't know that it truly impacted the sale, but it was a factor."

Paired Sale 4-2658 Saw Tooth Dr, Fitchberg WI

The subject is the January 2023 sale of a single-family home located at 2658 Saw Tooth Dr. in Fitchburg, Wisconsin for a price of \$675,000. This property is located directly approximately 450 feet to the west of communication tower that is over 400 feet in height as well as two smaller radio towers.



Aerial – 2658 Saw Tooth Dr.



Front View – 2658 Saw Tooth Dr.



We have compared this sale to sales in the City of Fitchberg that occurred near the same time. The following table shows a summary of the sales. We have compared the subject to similar homes in terms of above grade finished space, year built, number of bathrooms and bedrooms, basement space, and land area.

Improved Sales Summary

	SUBJECT	Sale 1	Sale 2	Sale # 3
Location	2658 Saw Tooth Dr. Fitchberg, WI	2725 Jasmine Dr. Fitchberg, WI	2626 Placid St. Fitchburg WI	2750 Jasmine Dr. Fitchberg, WI

Sales Data

Date of Sale	January-23	June-22	August-22	April-22
Property Rights Conveyed	Fee Simple	Fee Simple	Fee Simple	Fee Simple
Financing	Cash to Seller	Cash to Seller	Cash to Seller	Cash to Seller
Conditions of Sale	Typical	Typical	Typical	Typical
Design	Modern Colonial	Modern	Modern Colonial	Modern

Above Grade Finished Area	2,454	2,657	2,573	2,630
Year Built	2011	1998	2006	1994
No. of Bedrooms	4	4	5	4
No. of Bathrooms	2.5	3.5	3.5	2.5
No. of Garage Spaces	3	3	3	3
Basement:	Yes, finished	Yes, finished	Yes, finished	Yes, finished
Land Size (Ac.)	0.240 acres	0.280 acres	0.330 acres	0.360 acres

Unadjusted Units of Comparison

Sales Price	\$675,000	\$682,500	\$730,000	\$665,000
Price Per SF:	\$275.06	\$256.87	\$283.72	\$252.85



Front View - Sale 1



Front View - Sale 2



Front View - Sale 1

Improved Sales Comparison Approach Adjustment Grid

	Subject	Sale # 1	Sale # 2	Sale # 3
Date of Value & Sale	January-23	June-22	August-22	April-22
Property Name	2658 Saw Tooth Dr. Fitchberg, WI	2725 Jasmine Dr. Fitchberg, WI	2626 Placid St. Fitchburg WI	2750 Jasmine Dr. Fitchberg, WI
Net Rentable Area	2,454	2,657	2,573	2,630
Unadjusted Sales Price	\$675,000	\$682,500	\$730,000	\$665,000

Transactional Adjustments

Property Rights Conveyed	<i>Fee Simple</i>	<i>Fee Simple</i>	<i>Fee Simple</i>	<i>Fee Simple</i>
Adjusted Sales Price		\$682,500.00	\$730,000.00	\$665,000.00

Financing Terms	<i>Cash to Seller</i>	<i>Cash to Seller</i>	<i>Cash to Seller</i>	<i>Cash to Seller</i>
Adjusted Sales Price		\$682,500.00	\$730,000.00	\$665,000.00

Conditions of Sale	<i>Typical</i>	<i>Typical</i>	<i>Typical</i>	<i>Typical</i>
Adjusted Sales Price		\$682,500.00	\$730,000.00	\$665,000.00

Expenditures after Sale				
Adjustment		-	-	-
Adjusted Sales Price		\$682,500.00	\$730,000.00	\$665,000.00

Market Conditions Adjustments

Elapsed Time from Date of Value		<i>0.64 years</i>	<i>0.48 years</i>	<i>0.80 years</i>
Market Trend Through	January-23	-	-	-

Analyzed Sales Price		\$682,500.00	\$730,000.00	\$665,000.00
-----------------------------	--	---------------------	---------------------	---------------------

Property Adjustments

Location		2658 Saw Tooth Dr. Fitchberg, WI	2725 Jasmine Dr. Fitchberg, WI	2626 Placid St. Fitchburg WI	2750 Jasmine Dr. Fitchberg, WI
Adjustment			-	-	-
Size		2,454	2,657	2,573	2,630
Adjustment			Superior	Similar	Superior
Age/Condition	Year Built	2011	1998	2006	1994
	Condition	<i>Good</i>	<i>Average to Good</i>	<i>Good</i>	<i>Average to Good</i>
Adjustment			Inferior	Similar	Inferior
No of Bedrooms/Bathrooms		<i>4/2.5</i>	<i>4/3.5</i>	<i>5/3.5</i>	<i>4/2.5</i>
Adjustment			Superior	Superior	Similar
Land Area		0.250 acres	0.233 acres	0.190 acres	0.185 acres
Adjustment			Similar	Similar	Similar
Basement Space		<i>Full, Finished</i>	<i>Full, Finished</i>	<i>Full, Finished</i>	<i>Full, Finished</i>
Adjustment			Similar	Similar	Similar
Net Physical Adjustment			-		-
Overall Net Relative Comparison			Superior	Superior	Similar

Adjusted Sales Price PSF of NRA		\$682,500.00	\$730,000.00	\$665,000.00	<i>Property</i>
--	--	---------------------	---------------------	---------------------	-----------------

Property Adjustments - Paired Sale 4

Analysis of sale of other properties within this neighborhood report a price ranging from \$665,000 to \$730,000. Sale 1 is considered to be similar to subject as it contains a extra bathroom but is in inferior condition. Sale 2 is considered to be superior as this property has an extra bedroom and bathroom, as well as a swimming pool amenity. Sale 3 is considered to be inferior to the subject due to its older construction. Overall, the sale price is considered to be in-line with the three comparables that were not located near the cell tower.

The property was listed on the market for 34 days at a listing price of \$695,000. The home sold for \$675,000, or 2.9% below the listing price.

Broker Survey

I spoke on the phone with one of the listing brokers, Lori Murphy with Sprinkman Real Estate in order to survey her opinion on how the tower impacted the sale price and marketing for the home at 2658 Saw Tooth Dr. Here is my notes of her response

"There were no questions or concerns about the towers. Lots of activity on the listing. The towers had no impact on the sale price."

Property Adjustments - Paired Sale 4

Overall, the sale price is considered to be in-line with the three comparables that were not located adjacent to a large tower. According to the MLS Listing, the property sold after a short time on the market and at a price 2.9% below the listing price. The broker reported that she did not believe that the listing impacted the sale price. Based upon the information, the large tower did not impact the sale price.

Conclusions

In determining the potential diminution in value due to the proximity of a cell tower, we analyzed sales data and interviewed knowledgeable market participants. We conducted a paired sales analysis of single-family homes located near cell towers in the local area. We also conducted an 18-month study on new homes sales within the Juniper Ridge subdivision. This study shows that there was minimal difference in price on a per square foot basis between homes located near the water tower and homes location further away.

Of the paired sales analyzed, each of the sales was in-line with the comparable sales. In addition, two of the three market participants we interviewed reported that the cell tower did not impact the marketing or sale price of the single-family home. The other broker was uncertain about the impact of the tower. We further note that Paired Sales 2, 3 and 4 were on the market for a short time and sold for a price that close to the listing price.

In summary, real estate markets are influenced by attitudes, interactions and the motivations of buyers and sellers in a particular market. Based upon our interviews with market participants, a review of impacted sales in the local market, we conclude the following:

The proposed cell tower will not measurably impact the value of surrounding homes.

Respectfully submitted,
Valbridge Property Advisors | Kansas City



Andrew Baker, MAI
Director



Josh Folland, MAI, CCIM
Senior Managing Director
WI Certified General 2199-10

General Assumptions & Limiting Conditions

This appraisal is subject to the following limiting conditions:

1. The legal description – if furnished to us – is assumed to be correct.
2. No responsibility is assumed for legal matters, questions of survey or title, soil or subsoil conditions, engineering, availability or capacity of utilities, or other similar technical matters. The appraisal does not constitute a survey of the property appraised. All existing liens and encumbrances have been disregarded and the property is appraised as though free and clear, under responsible ownership and competent management unless otherwise noted.
3. Unless otherwise noted, the appraisal will value the property as though free of contamination. Valbridge Property Advisors | Kansas City will conduct no hazardous materials or contamination inspection of any kind. It is recommended that the client hire an expert if the presence of hazardous materials or contamination poses any concern.
4. The stamps and/or consideration placed on deeds used to indicate sales are in correct relationship to the actual dollar amount of the transaction.
5. Unless otherwise noted, it is assumed there are no encroachments, zoning violations or restrictions existing in the subject property.
6. The appraiser is not required to give testimony or attendance in court by reason of this appraisal, unless previous arrangements have been made.
7. Unless expressly specified in the engagement letter, the fee for this appraisal does not include the attendance or giving of testimony by Appraiser at any court, regulatory, or other proceedings, or any conferences or other work in preparation for such proceeding. If any partner or employee of Valbridge Property Advisors | Kansas City is asked or required to appear and/or testify at any deposition, trial, or other proceeding about the preparation, conclusions or any other aspect of this assignment, client shall compensate Appraiser for the time spent by the partner or employee in appearing and/or testifying and in preparing to testify according to the Appraiser's then current hourly rate plus reimbursement of expenses.
8. The values for land and/or improvements, as contained in this report, are constituent parts of the total value reported and neither is (or are) to be used in making a summation appraisal of a combination of values created by another appraiser. Either is invalidated if so used.
9. The dates of value to which the opinions expressed in this report apply are set forth in this report. We assume no responsibility for economic or physical factors occurring at some point at a later date, which may affect the opinions stated herein. The forecasts, projections, or operating estimates contained herein are based on current market conditions and anticipated short-term supply and demand factors and are subject to change with future conditions.
10. The sketches, maps, plats and exhibits in this report are included to assist the reader in visualizing the property. The appraiser has made no survey of the property and assumed no responsibility in

connection with such matters.

11. The information, estimates and opinions, which were obtained from sources outside of this office, are considered reliable. However, no liability for them can be assumed by the appraiser.
12. Possession of this report, or a copy thereof, does not carry with it the right of publication. Neither all, nor any part of the content of the report, or copy thereof (including conclusions as to property value, the identity of the appraisers, professional designations, reference to any professional appraisal organization or the firm with which the appraisers are connected), shall be disseminated to the public through advertising, public relations, news, sales, or other media without prior written consent and approval.
13. No claim is intended to be expressed for matters of expertise that would require specialized investigation or knowledge beyond that ordinarily employed by real estate appraisers. We claim no expertise in areas such as, but not limited to, legal, survey, structural, environmental, pest control, mechanical, etc.
14. This appraisal was prepared for the sole and exclusive use of the client for the function outlined herein. Any party who is not the client or intended user identified in the appraisal or engagement letter is not entitled to rely upon the contents of the appraisal without express written consent of Valbridge Property Advisors | Kansas City and Client. The Client shall not include partners, affiliates, or relatives of the party addressed herein. The appraiser assumes no obligation, liability or accountability to any third party.
15. Distribution of this report is at the sole discretion of the client, but no third-parties not listed as an intended user on the face of the appraisal or the engagement letter may rely upon the contents of the appraisal. In no event shall client give a third-party a partial copy of the appraisal report. We will make no distribution of the report without the specific direction of the client.
16. This appraisal shall be used only for the function outlined herein, unless expressly authorized by Valbridge Property Advisors | Kansas City.
17. This appraisal shall be considered in its entirety. No part thereof shall be used separately or out of context.
18. Unless otherwise noted in the body of this report, this appraisal assumes that the subject property does not fall within the areas where mandatory flood insurance is effective. Unless otherwise noted, we have not completed nor have we contracted to have completed an investigation to identify and/or quantify the presence of non-tidal wetland conditions on the subject property. Because the appraiser is not a surveyor, he or she makes no guarantees, express or implied, regarding this determination.
19. If the appraisal is for mortgage loan purposes 1) we assume satisfactory completion of improvements if construction is not complete, 2) no consideration has been given for rent loss during rent-up unless noted in the body of this report, and 3) occupancy at levels consistent with our "Income & Expense Projection" are anticipated.

20. It is assumed that there are no hidden or unapparent conditions of the property, subsoil, or structures which would render it more or less valuable. No responsibility is assumed for such conditions or for engineering which may be required to discover them.
21. Our inspection included an observation of the land and improvements thereon only. It was not possible to observe conditions beneath the soil or hidden structural components within the improvements. We inspected the buildings involved, and reported damage (if any) by termites, dry rot, wet rot, or other infestations as a matter of information, and no guarantee of the amount or degree of damage (if any) is implied. Condition of heating, cooling, ventilation, electrical and plumbing equipment is considered to be commensurate with the condition of the balance of the improvements unless otherwise stated.
22. This appraisal does not guarantee compliance with building code and life safety code requirements of the local jurisdiction. It is assumed that all required licenses, consents, certificates of occupancy or other legislative or administrative authority from any local, state or national governmental or private entity or organization have been or can be obtained or renewed for any use on which the value conclusion contained in this report is based unless specifically stated to the contrary.
23. When possible, we have relied upon building measurements provided by the client, owner, or associated agents of these parties. In the absence of a detailed rent roll, reliable public records, or "as-built" plans provided to us, we have relied upon our own measurements of the subject improvements. We follow typical appraisal industry methods; however, we recognize that some factors may limit our ability to obtain accurate measurements including, but not limited to, property access on the day of inspection, basements, fenced/gated areas, grade elevations, greenery/shrubbery, uneven surfaces, multiple story structures, obtuse or acute wall angles, immobile obstructions, etc. Professional building area measurements of the quality, level of detail, or accuracy of professional measurement services are beyond the scope of this appraisal assignment.
24. We have attempted to reconcile sources of data discovered or provided during the appraisal process, including assessment department data. Ultimately, the measurements that are deemed by us to be the most accurate and/or reliable are used within this report. While the measurements and any accompanying sketches are considered to be reasonably accurate and reliable, we cannot guarantee their accuracy. Should the client desire a greater level of measuring detail, they are urged to retain the measurement services of a qualified professional (space planner, architect or building engineer). We reserve the right to use an alternative source of building size and amend the analysis, narrative and concluded values (at additional cost) should this alternative measurement source reflect or reveal substantial differences with the measurements used within the report.
25. In the absence of being provided with a detailed land survey, we have used assessment department data to ascertain the physical dimensions and acreage of the property. Should a survey prove this information to be inaccurate, we reserve the right to amend this appraisal (at additional cost) if substantial differences are discovered.
26. If only preliminary plans and specifications were available for use in the preparation of this appraisal, then this appraisal is subject to a review of the final plans and specifications when available (at additional cost) and we reserve the right to amend this appraisal if substantial differences are discovered.

27. Unless otherwise stated in this report, the value conclusion is predicated on the assumption that the property is free of contamination, environmental impairment or hazardous materials. Unless otherwise stated, the existence of hazardous material was not observed by the appraiser and the appraiser has no knowledge of the existence of such materials on or in the property. The appraiser, however, is not qualified to detect such substances. The presence of substances such as asbestos, urea-formaldehyde foam insulation, or other potentially hazardous materials may affect the value of the property. No responsibility is assumed for any such conditions, or for any expertise or engineering knowledge required for discovery. The client is urged to retain an expert in this field, if desired.
28. The Americans with Disabilities Act ("ADA") became effective January 26, 1992. We have not made a specific compliance survey of the property to determine if it is in conformity with the various requirements of the ADA. It is possible that a compliance survey of the property, together with an analysis of the requirements of the ADA, could reveal that the property is not in compliance with one or more of the requirements of the Act. If so, this could have a negative effect on the value of the property. Since we have no direct evidence relating to this issue, we did not consider possible noncompliance with the requirements of ADA in developing an opinion of value.
29. This appraisal applies to the land and building improvements only. The value of trade fixtures, furnishings, and other equipment, or subsurface rights (minerals, gas, and oil) were not considered in this appraisal unless specifically stated to the contrary.
30. No changes in any federal, state or local laws, regulations or codes (including, without limitation, the Internal Revenue Code) are anticipated, unless specifically stated to the contrary.
31. Any income and expense estimates contained in the appraisal report are used only for the purpose of estimating value and do not constitute prediction of future operating results. Furthermore, it is inevitable that some assumptions will not materialize and that unanticipated events may occur that will likely affect actual performance.
32. Any estimate of insurable value, if included within the scope of work and presented herein, is based upon figures developed consistent with industry practices. However, actual local and regional construction costs may vary significantly from our estimate and individual insurance policies and underwriters have varied specifications, exclusions, and non-insurable items. As such, we strongly recommend that the Client obtain estimates from professionals experienced in establishing insurance coverage. This analysis should not be relied upon to determine insurance coverage and we make no warranties regarding the accuracy of this estimate.
33. The data gathered in the course of this assignment (except data furnished by the Client) shall remain the property of the Appraiser. The appraiser will not violate the confidential nature of the appraiser-client relationship by improperly disclosing any confidential information furnished to the appraiser. Notwithstanding the foregoing, the Appraiser is authorized by the client to disclose all or any portion of the appraisal and related appraisal data to appropriate representatives of the Appraisal Institute if such disclosure is required to enable the appraiser to comply with the Bylaws and Regulations of such Institute now or hereafter in effect.
34. You and Valbridge Property Advisors | Kansas City both agree that any dispute over matters in excess of \$5,000 will be submitted for resolution by arbitration. This includes fee disputes and any

claim of malpractice. The arbitrator shall be mutually selected. If Valbridge Property Advisors | Kansas City and the client cannot agree on the arbitrator, the presiding head of the Local County Mediation & Arbitration panel shall select the arbitrator. Such arbitration shall be binding and final. In agreeing to arbitration, we both acknowledge that, by agreeing to binding arbitration, each of us is giving up the right to have the dispute decided in a court of law before a judge or jury. In the event that the client, or any other party, makes a claim against Valbridge Property Advisors | Kansas City or any of its employees in connections with or in any way relating to this assignment, the maximum damages recoverable by Valbridge Property Advisors | Kansas City for this assignment, and under no circumstances shall any claim for consequential damages be made.

35. Valbridge Property Advisors | Kansas City shall have no obligation, liability, or accountability to any third party. Any party who is not the "client" or intended user identified on the face of the appraisal or in the engagement letter is not entitled to rely upon the contents of the appraisal without the express written consent of Valbridge Property Advisors | Kansas City. "Client" shall not include partners, affiliates, or relatives of the party named in the engagement letter. Client shall hold Valbridge Property Advisors | Kansas City and its employees harmless in the event of any lawsuit brought by any third party, lender, partner, or part-owner in any form of ownership or any other party as a result of this assignment. The client also agrees that in case of lawsuit arising from or in any way involving these appraisal services, client will hold Valbridge Property Advisors | Kansas City harmless from and against any liability, loss, cost, or expense incurred or suffered by Valbridge Property Advisors | Kansas City in such action, regardless of its outcome.
36. The Valbridge Property Advisors office responsible for the preparation of this report is independently owned and operated by Shaner Appraisals, Inc. . Neither Valbridge Property Advisors, Inc., nor any of its affiliates has been engaged to provide this report. Valbridge Property Advisors, Inc. does not provide valuation services, and has taken no part in the preparation of this report.
37. If any claim is filed against any of Valbridge Property Advisors, Inc., a Florida Corporation, its affiliates, officers or employees, or the firm providing this report, in connection with, or in any way arising out of, or relating to, this report, or the engagement of the firm providing this report, then (1) under no circumstances shall such claimant be entitled to consequential, special or other damages, except only for direct compensatory damages, and (2) the maximum amount of such compensatory damages recoverable by such claimant shall be the amount actually received by the firm engaged to provide this report.
38. This report and any associated work files may be subject to evaluation by Valbridge Property Advisors, Inc., or its affiliates, for quality control purposes.
39. Acceptance and/or use of this appraisal report constitutes acceptance of the foregoing general assumptions and limiting conditions.

Certification – Andrew Baker, MAI

I certify that, to the best of my knowledge and belief:

1. The statements of fact contained in this report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
3. I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
4. The undersigned has not performed services regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
5. I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
6. My engagement in this assignment was not contingent upon developing or reporting predetermined results.
7. My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
8. My analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
9. Andrew Baker has personally inspected the subject property.
10. It is acknowledged that Jason Roos, MAI made a significant contribution to the report and inspected the subject location and surrounding neighborhood on May 5, 2023.
11. The reported analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute.
12. The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
13. As of the date of this report, the undersigned has completed the continuing education requirements for designated members of the Appraisal Institute.



Andrew Baker, MAI
Director

Certification – Josh Folland, MAI, CCIM

I certify that, to the best of my knowledge and belief:

1. The statements of fact contained in this report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
3. I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
4. The undersigned has not performed services regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
5. I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
6. My engagement in this assignment was not contingent upon developing or reporting predetermined results.
7. My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
8. My analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
9. Andrew Baker has personally inspected the subject property.
10. It is acknowledged that Jason Roos, MAI made a significant contribution to the report and inspected the subject location and surrounding neighborhood on May 5, 2023.
11. The reported analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute.
12. The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
13. As of the date of this report, the undersigned has completed the continuing education requirements for designated members of the Appraisal Institute.



Josh Folland, MAI, CCIM
Senior Managing Director
WI Certified General 2199-10

Addenda

Glossary

Qualifications

- Andrew Baker, MAI - Director
- Josh Folland, MAI, CCIM – Managing Director

Information on Valbridge Property Advisors

Additional Property Information

Glossary

Definitions are taken from the Dictionary of Real Estate Appraisal, 5th Edition (Dictionary), the Uniform Standards of Professional Appraisal Practice (USPAP) and Building Owners and Managers Association International (BOMA).

Absolute Net Lease

A lease in which the tenant pays all expenses including structural maintenance, building reserves, and management; often a long-term lease to a credit tenant. (Dictionary)

Additional Rent

Any amounts due under a lease that is in addition to base rent. Most common form is operating expense increases. (Dictionary)

Amortization

The process of retiring a debt or recovering a capital investment, typically through scheduled, systematic repayment of the principal; a program of periodic contributions to a sinking fund or debt retirement fund. (Dictionary)

As Is Market Value

The estimate of the market value of real property in its current physical condition, use, and zoning as of the appraisal date. (Dictionary)

Base (Shell) Building

The existing shell condition of a building prior to the installation of tenant improvements. This condition varies from building to building, landlord to landlord, and generally involves the level of finish above the ceiling grid. (Dictionary)

Base Rent

The minimum rent stipulated in a lease. (Dictionary)

Base Year

The year on which escalation clauses in a lease are based. (Dictionary)

Building Common Area

The areas of the building that provide services to building tenants but which are not included in the rentable area of any specific tenant. These areas may include, but shall not be limited to, main and auxiliary lobbies, atrium spaces at the level of the finished floor, concierge areas or security desks, conference rooms, lounges or vending areas food service facilities, health or fitness centers, daycare facilities, locker or shower facilities, mail rooms, fire control rooms, fully enclosed courtyards outside the exterior walls, and building core and service areas such as fully enclosed mechanical or equipment rooms. Specifically excluded from building common areas are;

floor common areas, parking spaces, portions of loading docks outside the building line, and major vertical penetrations. (BOMA)

Building Rentable Area

The sum of all floor rentable areas. Floor rentable area is the result of subtracting from the gross measured area of a floor the major vertical penetrations on that same floor. It is generally fixed for the life of the building and is rarely affected by changes in corridor size or configuration. (BOMA)

Certificate of Occupancy (COO)

A statement issued by a local government verifying that a newly constructed building is in compliance with all codes and may be occupied.

Common Area (Public) Factor

In a lease, the common area (public) factor is the multiplier to a tenant's useable space that accounts for the tenant's proportionate share of the common area (restrooms, elevator lobby, mechanical rooms, etc.). The public factor is usually expressed as a percentage and ranges from a low of 5 percent for a full tenant to as high as 15 percent or more for a multi-tenant floor. Subtracting one (1) from the quotient of the rentable area divided by the useable area yields the load (public) factor. At times confused with the "loss factor" which is the total rentable area of the full floor less the useable area divided by the rentable area. (BOMA)

Common Area Maintenance (CAM)

The expense of operating and maintaining common areas; may or may not include management charges and usually does not include capital expenditures on tenant improvements or other improvements to the property.

CAM can be a line-item expense for a group of items that can include maintenance of the parking lot and landscaped areas and sometimes the exterior walls of the buildings. CAM can refer to all operating expenses.

CAM can refer to the reimbursement by the tenant to the landlord for all expenses reimbursable under the lease. Sometimes reimbursements have what is called an administrative load. An example would be a 15 percent addition to total operating expenses, which are then prorated among tenants. The administrative load, also called an administrative and marketing fee, can be a substitute for or an addition to a management fee. (Dictionary)

Condominium

A form of ownership in which each owner possesses the exclusive right to use and occupy an allotted unit plus an undivided interest in common areas.

A multiunit structure, or a unit within such a structure, with a condominium form of ownership. (Dictionary)

Conservation Easement

An interest in real property restricting future land use to preservation, conservation, wildlife habitat, or some combination of those uses. A conservation easement may permit farming, timber harvesting, or other uses of a rural nature to continue, subject to the easement. In some locations, a conservation easement may be referred to as a conservation restriction. (Dictionary)

Contributory Value

The change in the value of a property as a whole, whether positive or negative, resulting from the addition or deletion of a property component. Also called deprival value in some countries. (Dictionary)

Debt Coverage Ratio (DCR)

The ratio of net operating income to annual debt service ($DCR = NOI/Im$), which measures the relative ability to a property to meet its debt service out of net operating income. Also called Debt Service Coverage Ratio (DSCR). A larger DCR indicates a greater ability for a property to withstand a downturn in revenue, providing an improved safety margin for a lender. (Dictionary)

Deed Restriction

A provision written into a deed that limits the use of land. Deed restrictions usually remain in effect when title passes to subsequent owners. (Dictionary)

Depreciation

1) In appraising, the loss in a property value from any cause; the difference between the cost of an improvement on the effective date of the appraisal and the market value of the improvement on the same date. 2) In accounting, an allowance made against the loss in value of an asset for a defined purpose and computed using a specified method. (Dictionary)

Disposition Value

The most probable price that a specified interest in real property is likely to bring under the following conditions:

- Consummation of a sale within a exposure time specified by the client;
- The property is subjected to market conditions prevailing as of the date of valuation;

- Both the buyer and seller are acting prudently and knowledgeably;
- The seller is under compulsion to sell;
- The buyer is typically motivated;
- Both parties are acting in what they consider to be their best interests;
- An adequate marketing effort will be made during the exposure time specified by the client;
- Payment will be made in cash in U.S. dollars or in terms of financial arrangements comparable thereto; and
- The price represents the normal consideration for the property sold, unaffected by special or creative financing or sales concessions granted by anyone associated with the sale. (Dictionary)

Easement

The right to use another's land for a stated purpose. (Dictionary)

EIFS

Exterior Insulation Finishing System. This is a type of exterior wall cladding system. Sometimes referred to as dry-vit.

Effective Date

1) The date at which the analyses, opinions, and advice in an appraisal, review, or consulting service apply. 2) In a lease document, the date upon which the lease goes into effect. (Dictionary)

Effective Rent

The rental rate net of financial concessions such as periods of no rent during the lease term and above- or below-market tenant improvements (TIs). (Dictionary)

EPDM

Ethylene Diene Monomer Rubber. A type of synthetic rubber typically used for roof coverings. (Dictionary)

Escalation Clause

A clause in an agreement that provides for the adjustment of a price or rent based on some event or index. e.g., a provision to increase rent if operating expenses increase; also called an expense recovery clause or stop clause. (Dictionary)

Estoppel Certificate

A statement of material factors or conditions of which another person can rely because it cannot be denied at a later date. In real estate, a buyer of rental property typically requests estoppel certificates from existing tenants. Sometimes referred to as an estoppel letter. (Dictionary)

Excess Land

Land that is not needed to serve or support the existing improvement. The highest and best use of the excess land may or may not be the same as the highest and best use of the improved parcel. Excess land may have the potential to be sold separately and is valued separately. (Dictionary)

Expense Stop

A clause in a lease that limits the landlord's expense obligation, which results in the lessee paying any operating expenses above a stated level or amount. (Dictionary)

Exposure Time

1) The time a property remains on the market. 2) The estimated length of time the property interest being appraised would have been offered on the market prior to the hypothetical consummation of a sale at market value on the effective date of the appraisal; a retrospective estimate based on an analysis of past events assuming a competitive and open market. (Dictionary)

Extraordinary Assumption

An assumption, directly related to a specific assignment, which, if found to be false, could alter the appraiser's opinions or conclusions. Extraordinary assumptions presume as fact otherwise uncertain information about physical, legal, or economic characteristics of the subject property; or about conditions external to the property such as market conditions or trends; or about the integrity of data used in an analysis. (Dictionary)

Fair Market Value

The price at which the property should change hands between a willing buyer and a willing seller, neither being under any compulsion to buy or sell and both having reasonable knowledge of relevant facts. [Treas. Reg. 20.2031-1(b); Rev. Rul. 59-60. 1959-1 C.B. 237]

Fee Simple Estate

Absolute ownership unencumbered by any other interest or estate, subject only to the limitations imposed by the governmental powers of taxation, eminent domain, police power, and escheat. (Dictionary)

Floor Common Area

Areas on a floor such as washrooms, janitorial closets, electrical rooms, telephone rooms, mechanical rooms, elevator lobbies, and public corridors which are available primarily for the use of tenants on that floor. (BOMA)

Full Service (Gross) Lease

A lease in which the landlord receives stipulated rent and is obligated to pay all of the property's operating and fixed expenses; also called a full service lease. (Dictionary)

Going Concern Value

- The market value of all the tangible and intangible assets of an established and operating business with an indefinite life, as if sold in aggregate; more accurately termed the market value of the going concern.
- The value of an operating business enterprise. Goodwill may be separately measured but is an integral component of going-concern value when it exists and is recognizable. (Dictionary)

Gross Building Area

The total constructed area of a building. It is generally not used for leasing purposes (BOMA)

Gross Measured Area

The total area of a building enclosed by the dominant portion (the portion of the inside finished surface of the permanent outer building wall which is 50 percent or more of the vertical floor-to-ceiling dimension, at the given point being measured as one moves horizontally along the wall), excluding parking areas and loading docks (or portions of the same) outside the building line. It is generally not used for leasing purposes and is calculated on a floor by floor basis. (BOMA)

Gross Up Method

A method of calculating variable operating expense in income-producing properties when less than 100 percent occupancy is assumed. The gross up method approximates the actual expense of providing services to the rentable area of a building given a specified rate of occupancy. (Dictionary)

Ground Lease

A lease that grants the right to use and occupy land. Improvements made by the ground lessee typically revert to the ground lessor at the end of the lease term. (Dictionary)

Ground Rent

The rent paid for the right to use and occupy land according to the terms of a ground lease; the portion of the total rent allocated to the underlying land. (Dictionary)

HVAC

Heating, ventilation, air conditioning. A general term encompassing any system designed to heat and cool a building in its entirety.

Highest & Best Use

The reasonably probable and legal use of vacant land or an improved property that is physically possible, appropriately supported, financially feasible, and that results in the highest value. The four criteria the highest and best use must meet are 1) legal permissibility, 2) physical possibility, 3) financial feasibility, and 4) maximally profitability. Alternatively, the probable use of land or improved –specific with respect to the user and timing of the use—that is adequately supported and results in the highest present value. (Dictionary)

Hypothetical Condition

That which is contrary to what exists but is supposed for the purpose of analysis. Hypothetical conditions assume conditions contrary to known facts about physical, legal, or economic characteristics of the subject property; or about conditions external to the property, such as market conditions or trends; or about the integrity of data used in an analysis. (Dictionary)

Industrial Gross Lease

A lease of industrial property in which the landlord and tenant share expenses. The landlord receives stipulated rent and is obligated to pay certain operating expenses, often structural maintenance, insurance and real estate taxes as specified in the lease. There are significant regional and local differences in the use of this term. (Dictionary)

Insurable Value

A type of value for insurance purposes. (Dictionary)
(Typically this includes replacement cost less basement excavation, foundation, underground piping and architect's fees).

Investment Value

The value of a property interest to a particular investor or class of investors based on the investor's specific requirements. Investment value may be different from market value because it depends on a set of investment criteria that are not necessarily typical of the market. (Dictionary)

Just Compensation

In condemnation, the amount of loss for which a property owner is compensated when his or her property is taken. Just compensation should put the owner in as good a position as he or she would be if the property had not been taken. (Dictionary)

Leased Fee Interest

A freehold (ownership interest) where the possessory interest has been granted to another party by creation of

a contractual landlord-tenant relationship (i.e., a lease). (Dictionary)

Leasehold Interest

The tenant's possessory interest created by a lease. (Dictionary)

Lessee (Tenant)

One who has the right to occupancy and use of the property of another for a period of time according to a lease agreement. (Dictionary)

Lessor (Landlord)

One who conveys the rights of occupancy and use to others under a lease agreement. (Dictionary)

Liquidation Value

The most probable price that a specified interest in real property should bring under the following conditions:

- Consummation of a sale within a short period.
- The property is subjected to market conditions prevailing as of the date of valuation.
- Both the buyer and seller are acting prudently and knowledgeably.
- The seller is under extreme compulsion to sell.
- The buyer is typically motivated.
- Both parties are acting in what they consider to be their best interests.
- A normal marketing effort is not possible due to the brief exposure time.
- Payment will be made in cash in U.S. dollars or in terms of financial arrangements comparable thereto.
- The price represents the normal consideration for the property sold, unaffected by special or creative financing or sales concessions granted by anyone associated with the sale. (Dictionary)

Loan to Value Ratio (LTV)

The amount of money borrowed in relation to the total market value of a property. Expressed as a percentage of the loan amount divided by the property value. (Dictionary)

Major Vertical Penetrations

Stairs, elevator shafts, flues, pipe shafts, vertical ducts, and the like, and their enclosing walls. Atria, lightwells and similar penetrations above the finished floor are included in this definition. Not included, however, are vertical penetrations built for the private use of a tenant occupying office areas on more than one floor. Structural columns, openings for vertical electric cable or telephone distribution, and openings for plumbing lines are not considered to be major vertical penetrations. (BOMA)

Market Rent

The most probable rent that a property should bring in a competitive and open market reflecting all conditions and restrictions of the lease agreement including permitted uses, use restrictions, expense obligations; term, concessions, renewal and purchase options and tenant improvements (TIs). (Dictionary)

Market Value

The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

- a. Buyer and seller are typically motivated;
- b. Both parties are well informed or well advised, and acting in what they consider their own best interests;
- c. A reasonable time is allowed for exposure in the open market;
- d. Payment is made in terms of cash in United States dollars or in terms of financial arrangements comparable thereto; and
- e. The price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

Market Value As If Complete

Market value as if complete means the market value of the property with all proposed construction, conversion or rehabilitation hypothetically completed or under other specified hypothetical conditions as of the date of the appraisal. With regard to properties wherein anticipated market conditions indicate that stabilized occupancy is not likely as of the date of completion, this estimate of value shall reflect the market value of the property as if complete and prepared for occupancy by tenants.

Market Value As If Stabilized

Market value as if stabilized means the market value of the property at a current point and time when all improvements have been physically constructed and the property has been leased to its optimum level of long term occupancy.

Marketing Time

An opinion of the amount of time it might take to sell a real or personal property interest at the concluded market value level during the period immediately after the effective date of the appraisal. Marketing time differs from exposure time, which is always presumed to precede

the effective date of an appraisal. (Advisory Opinion 7 of the Standards Board of the Appraisal Foundation and Statement on Appraisal Standards No. 6, "Reasonable Exposure Time in Real Property and Personal Property Market Value Opinions" address the determination of reasonable exposure and marketing time). (Dictionary)

Master Lease

A lease in which the fee owner leases a part or the entire property to a single entity (the master lease) in return for a stipulated rent. The master lessee then leases the property to multiple tenants. (Dictionary)

Modified Gross Lease

A lease in which the landlord receives stipulated rent and is obligated to pay some, but not all, of the property's operating and fixed expenses. Since assignment of expenses varies among modified gross leases, expense responsibility must always be specified. In some markets, a modified gross lease may be called a double net lease, net net lease, partial net lease, or semi-gross lease. (Dictionary)

Option

A legal contract, typically purchased for a stated consideration, that permits but does not require the holder of the option (known as the optionee) to buy, sell, or lease real property for a stipulated period of time in accordance with specified terms; a unilateral right to exercise a privilege. (Dictionary)

Partial Interest

Divided or undivided rights in real estate that represent less than the whole (a fractional interest). (Dictionary)

Pass Through

A tenant's portion of operating expenses that may be composed of common area maintenance (CAM), real estate taxes, property insurance, and any other expenses determined in the lease agreement to be paid by the tenant. (Dictionary)

Prospective Future Value Upon Completion

Market value "upon completion" is a prospective future value estimate of a property at a point in time when all of its improvements are fully completed. It assumes all proposed construction, conversion, or rehabilitation is hypothetically complete as of a future date when such effort is projected to occur. The projected completion date and the value estimate must reflect the market value of the property in its projected condition, i.e., completely vacant or partially occupied. The cash flow must reflect lease-up costs, required tenant improvements and leasing commissions on all areas not leased and occupied.

Prospective Future Value Upon Stabilization

Market value “upon stabilization” is a prospective future value estimate of a property at a point in time when stabilized occupancy has been achieved. The projected stabilization date and the value estimate must reflect the absorption period required to achieve stabilization. In addition, the cash flows must reflect lease-up costs, required tenant improvements and leasing commissions on all unleased areas.

Replacement Cost

The estimated cost to construct, at current prices as of the effective appraisal date, a substitute for the building being appraised, using modern materials and current standards, design, and layout. (Dictionary)

Reproduction Cost

The estimated cost to construct, at current prices as of the effective date of the appraisal, an exact duplicate or replica of the building being appraised, using the same materials, construction standards, design, layout, and quality of workmanship and embodying all of the deficiencies, super-adequacies, and obsolescence of the subject building. (Dictionary)

Retrospective Value Opinion

A value opinion effective as of a specified historical date. The term does not define a type of value. Instead, it identifies a value opinion as being effective at some specific prior date. Value as of a historical date is frequently sought in connection with property tax appeals, damage models, lease renegotiation, deficiency judgments, estate tax, and condemnation. Inclusion of the type of value with this term is appropriate, e.g., “retrospective market value opinion.” (Dictionary)

Sandwich Leasehold Estate

The interest held by the original lessee when the property is subleased to another party; a type of leasehold estate. (Dictionary)

Sublease

An agreement in which the lessee (i.e., the tenant) leases part or all of the property to another party and thereby becomes a lessor. (Dictionary)

Subordination

A contractual arrangement in which a party with a claim to certain assets agrees to make his or her claim junior, or subordinate, to the claims of another party. (Dictionary)

Substantial Completion

Generally used in reference to the construction of tenant improvements (TIs). The tenant's premises are typically deemed to be substantially completed when all of the TIs for the premises have been completed in accordance with the plans and specifications previously approved by the tenant. Sometimes used to define the commencement date of a lease.

Surplus Land

Land that is not currently needed to support the existing improvement but cannot be separated from the property and sold off. Surplus land does not have an independent highest and best use and may or may not contribute value to the improved parcel. (Dictionary)

Triple Net (Net Net Net) Lease

A lease in which the tenant assumes all expenses (fixed and variable) of operating a property except that the landlord is responsible for structural maintenance, building reserves, and management. Also called NNN, triple net leases, or fully net lease. (Dictionary)

(The market definition of a triple net leases varies; in some cases tenants pay for items such as roof repairs, parking lot repairs, and other similar items.)

Usable Area

The measured area of an office area, store area or building common area on a floor. The total of all the usable areas or a floor shall equal floor usable area of that same floor. The amount of floor usable area can vary over the life of a building as corridors expand and contract and as floors are remodeled. (BOMA)

Value-in-Use

The value of a property assuming a specific use, which may or may not be the property's highest and best use on the effective date of the appraisal. Value in use may or may not be equal to market value but is different conceptually. (Dictionary)

Qualifications

Qualifications of Andrew Baker, MAI
Senior Appraiser
Valbridge Property Advisors | Kansas City



Independent Valuations for a Variable World

State Certifications

State of Kansas
State of Missouri
State of Iowa
State of Nebraska

Education

BA Case Western Reserve
University

Contact Details

913-647-4989

Valbridge Property Advisors |
Kansas City
10990 Quivira Road
Suite 100
Overland Park, KS 66210

www.valbridge.com

abaker@valbridge.com

Membership/Affiliations:

Member: Appraisal Institute - MAI designation

Appraisal Institute and Related Courses:

Basic Appraisal Principles
Basic Appraisal Procedures
Uniform Standards of Professional Appraisal Practice
Real Estate Finance, Statistics and Valuation Modeling
Market Analysis and Highest and Best Use
Sales Comparison Approach
Income Approach Part 1 and 2
Report Writing and Case Studies
Appraisal Review
Apartment Appraisal, Concepts and Applications
Advanced Income Capitalization
Advanced Concepts & Case Studies
Advanced Market Analysis and Highest & Best Use

Experience:

Real Estate Analyst/Certified General Appraiser

ValbridgePropertyAdvisors | Shaner Appraisals, Inc. (2012-Present)

Real Estate Analyst

Integra Realty Resources. (2008-2012)

Appraisal/valuation and consulting assignments have included many different property types including retail, office, industrial and multifamily. Assignments also include tax appeal valuations and rent comparability studies. Assignments have been concentrated in the Kansas City Metropolitan area.



INDEPENDENT VALUATIONS FOR A VARIABLE WORLD



Josh Folland, MAI, CCIM
Valbridge Property Advisors | Minneapolis – St. Paul | Fargo
jfolland@valbridge.com

Minneapolis-St. Paul Office

255 E. Kellogg Blvd
Suite 102A
St. Paul, MN 55101
651.370.1475 (office)
651.370.1466 (direct)

Fargo Office

118 Broadway North
Suite 509
Fargo, ND 58102
701.289.1676 (office)

STATE CERTIFICATIONS

Minnesota
North Dakota
Wisconsin

EDUCATION

Bachelor of Science
University of Wisconsin – La Crosse

www.valbridge.com

Josh Folland, MAI, CCIM

Senior Managing Director

**Valbridge Property Advisors | Minneapolis – St. Paul
| Fargo**

MEMBERSHIPS & AFFILIATIONS

Appraisal Institute

- MAI Designation
- North Star Chapter President; 2019
- North Star Chapter Board Member; 2012-2021
- Appraisal Institute Region III Rep; 2023-2024

CCIM Institute

- Designated Member

APPRAISAL INSTITUTE & RELATED COURSES

- Pre-Licensing, Licensing, and Continuing education courses taken through the Appraisal Institute, American Society of Appraisers, and other real estate organizations.
- Financial Analysis for CRE
- Market Analysis for CRE
- Advanced Concepts & Case Studies
- User Decision Analysis
- Investment Analysis
- Advanced Sales Comparison & Cost Approach
- Appraising the Appraisal: Appraisal Review-General
- Full course list upon request

EXPERIENCE

Valbridge Property Advisors | Minneapolis – St. Paul

- Senior Managing Director, 2019-Present

Insight Realty Advisors, Inc.

- Principal, 2015-2018

Anchor Bank

- Manager of Real Estate Due Diligence, 2010-2015

CSM Corporation

- Asset Management Analyst, 2007-2010

Patchin Messner & Dodd

- Commercial Appraiser, 2004-2007

The Appraisal Group

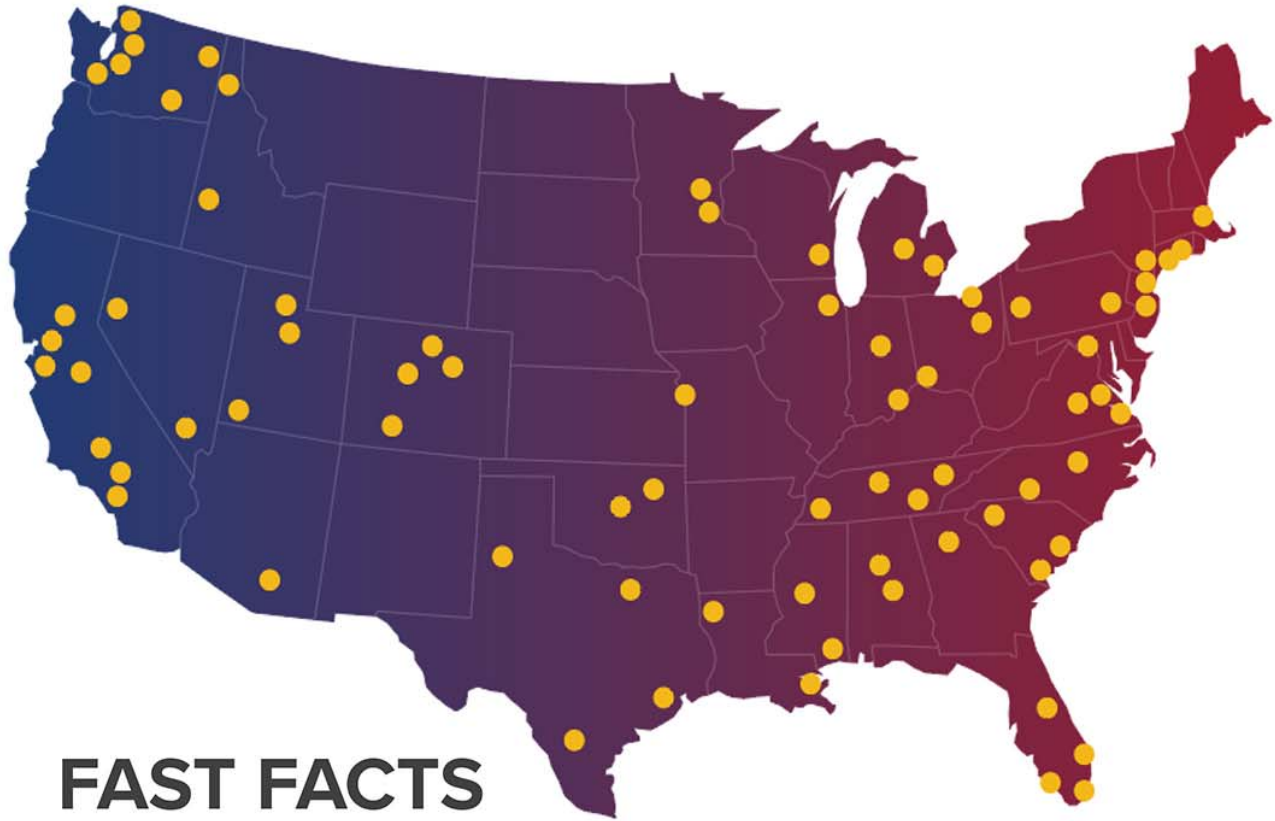
- Commercial Appraiser, 2002-2004

Appraisal/valuation and consulting assignments include:

Multifamily, hospitality, mixed-use properties, land, restaurants, retail, industrial and office. Real estate valuation professional with deep experience in appraisal for finance, estate planning, property tax appeal, condemnation, arbitration and other purposes. Court experience involves testifying in real estate commissioner hearings. Other specialty experience includes third party appraisal reviews for lending and eminent domain purposes.



Valbridge
PROPERTY ADVISORS



FAST FACTS

COMPANY INFORMATION

- Valbridge is the largest independent national real estate valuation and advisory services firm in North America.
 - Total number of MAI-designated appraisers (200+ on staff)
 - Total number of office locations (70+ across U.S.)
 - Total number of staff (675+ strong)
- Valbridge covers the entire U.S. from coast to coast.
- Valbridge services all property types, including special-purpose properties and residential.
- Valbridge provides independent valuation services. We are not owned by a brokerage firm or investment company.
- Every Valbridge office is led by a senior managing director who holds the MAI designation of the Appraisal Institute.
- Valbridge is owned by our local office leaders.
- Valbridge welcomes single-property assignments as well as portfolio, multi-market and other bulk-property engagements.



Valbridge

PROPERTY ADVISORS

ALABAMA

4732 Woodmere Boulevard
Montgomery, AL 36106
334.277.5077

200 Cahaba Park Circle
Suite 213
Birmingham, AL 35242
205.440.2998

ARIZONA

6061 E. Grant Road
Suite 121
Tucson, AZ 85712
520.321.0000

CALIFORNIA

4915 Calloway Drive
Suite 101
Bakersfield, CA 93312
661.587.1010

1370 N. Brea Boulevard
Suite 255
Fullerton, CA 92835
714.449.0852

2813 Coffee Road
Suite E-2
Modesto, CA 95355
209.569.0450

99 S. Lake Avenue
Suite 21
Pasadena, CA 91101
626.744.0428

3090 Fite Circle
Suite 202
Sacramento, CA 95827
916.361.2509

55 South Market Street
Suite 1210
San Jose, CA 95113
408.279.1520

3160 Crow Canyon Place
Suite 245
San Ramon, CA 94583
925.327.1660

COLORADO

7445 E. Peakview Avenue
Centennial, CO 80111
303.443.9600

5345 Arapahoe Avenue
Suite 7
Boulder, CO 80303
303.443.9600

23272 Two Rivers Road
Unit 101
Basalt, CO 81621
970.340.1016

1099 Main Avenue
Suite 311
Durango, CO 81301
970.340.1016

CONNECTICUT

15 Concord Street
Glastonbury, CT 06033
860.246.4606

17 Covewood Drive
Norwalk, CT 06853
203.286.6520

FLORIDA

2240 Venetian Court
Naples, FL 34109
239.514.4646

301 Almeria Avenue,
Suite 350
Coral Gables, FL 33134
305.639.8029

603 Hillcrest Street
Orlando, FL 32803
407.839.3626

2711 Poinsettia Avenue
West Palm Beach, FL 33407
561.833.5331

GEORGIA

2675 Paces Ferry Road
Suite 145
Atlanta, GA 30339
678.644.4853

IDAHO

1459 Tyrell Lane
Suite B
Boise, ID 83706
208.336.1097

1875 N. Lakewood Drive
Suite 100
Coeur d'Alene, ID 83814
208.292.2965

ILLINOIS

566 W. Lake Street
Suite 240
Chicago, IL 60661
312.288.8687

INDIANA

820 Fort Wayne Avenue
Indianapolis, IN 46204
317.687.2747

KANSAS

10990 Quivira Road
Suite 100
Overland Park, KS 66210
913.451.1451

KENTUCKY

9000 Wessex Place
Suite 306
Louisville, KY 40222
502.585.3651

LOUISIANA

2030 Dickory Avenue
Suite 200
New Orleans, LA 70123
504.541.5100

MARYLAND

11100 Dovedale Court
Marriottsville, MD 21104
443.333.5522

MASSACHUSETTS

260 Bear Hill Road
Suite 106
Waltham MA 02451
781.790.5645

MICHIGAN

1420 Washington Blvd.
Suite 301
Detroit, MI 48226
313.986.3313.

2127 University Park Drive
Suite 390
Okemos, MI 48864
517.336.0001

MINNESOTA

222 South 9th Street
Suite 825
Minneapolis, MN 55402
612.253.0650

275 East 4th Street,
Suite 325
St. Paul, MN 55101
651.983.2408

MISSISSIPPI

1010 Ford Street
Gulfport, MS 39507
228.604.1900

737 Highway 51
Suite 1C
Madison, MS 39110
601.853.0736

MISSOURI

10990 Quivira Road
Suite 100
Overland Park, KS 66210
913.451.1451

NEVADA

3034 S. Durango Drive
Suite 100
Las Vegas, NV 89117
702.242.9369

6490 S McCarran Blvd
#51
Reno, NV 89509
775.204.4100

NEW JERSEY

2740 Route 10 West, Suite 204
Morris Plains, NJ 07950
973.970.9333

3500 Route 9 South, Suite 202
Howell, NJ 07731
732.807.3113

NEW YORK

424 West 33rd Street
Suite 630
New York, NY 10001
212.268.1113

NORTH CAROLINA

412 E. Chatham Street
Cary, NC 27511
919.859.2666

5950 Fairview Road, Suite 405
Charlotte, NC 28210
704.376.5400

OHIO

1655 W. Market Street
Suite 130
Akron, OH 44313
330.899.9900

8291 Beechmont Ave.,
Suite B
Cincinnati, OH 45255
513.785.0820

1422 Euclid Avenue
Suite 616
Cleveland, OH 44115
216.367.9690

OKLAHOMA

5909 NW Expressway
Suite 104
Oklahoma City, OK 73132
405.603.1553

6666 South Sheridan Road
Suite 104
Tulsa, OK 74133
918.712.9992

PENNSYLVANIA

150 S. Warner Road
Suite 440
King of Prussia, PA 19406
215.545.1900

4701 Baptist Road
Suite 304
Pittsburgh, PA 15227
412.881.6080

SOUTH CAROLINA

11 Cleveland Court
Greenville, SC 29607
864.233.6277

920 Bay Street
Suite 26
Beaufort, SC 29902
843.342.2302

1250 Fairmont Avenue
Mt. Pleasant, SC 29464
843.881.1266

TENNESSEE

5205 Maryland Way
Suite 300
Brentwood, TN 37027
615.369.0670

701 Broad Street
Suite 209
Chattanooga, TN 37402
423.285.8435

213 Fox Road
Knoxville, TN 37922
865.522.2424

756 Ridge Lake Blvd
Suite 225
Memphis, TN 38120
901.753.6977

TEXAS

High Point Center
12225 Greenville Avenue
Suite 490
Dallas, TX 75243
214.446.1611

TEXAS (cont'd)

974 Campbell Road
Suite 204
Houston, TX 77024
713.467.5858

2731 81st Street
Lubbock, TX 79423
806.744.1188

9901 IH-10 West
Suite 1035
San Antonio, TX 78230
210.227.6229

UTAH

260 South 2500 West
Suite 301
Pleasant Grove, UT 84062
801.492.9328

1100 East 6600 South
Suite 201
Salt Lake City, UT 84121
801.262.3388

20 North Main
Suite 304
St. George, UT 84770
435.773.6300

VIRGINIA

656 Independence Parkway
Suite 220
Chesapeake, VA 23320
757.410.1222

4914 Fitzhugh Avenue
Suite 102
Richmond, VA 23230
757.345.0010

5107 Center Street
Unit 2B
Williamsburg, VA 23188
757.345.0010

WASHINGTON

18728 Bothell Way, NE
Suite B
Bothell, WA 98011
425.450.0040

2927 Colby Avenue
Suite 100
Everett, WA 98201
425.258.2611

419 Berkeley Avenue
Suite A
Fircrest, WA 98466
253.274.0099

8378 W. Grandridge Boulevard
Suite 110-D
Kennewick, WA 99336
509.221.1540

506 Second Avenue
Suite 1001
Seattle, WA 98104
206.209.3016

324 N. Mullan Road
Spokane Valley, WA 99206
509.747.0999

WISCONSIN

12660 W. North Avenue
Brookfield, WI 53005
262.782.7990

CORPORATE OFFICE

2240 Venetian Court
Naples, FL 34109

239-325-8234 phone
239-325-8356 fax

valbridge.com

Additional Property Information

McFarland

Towering Proposed Monopole Tower – Photo Location Map

Locations where tower is not in view not included in map



McFarland

Photo Location West – {Before and After - Tower is not in view}



McFarland

Photo Location Far North {Before}



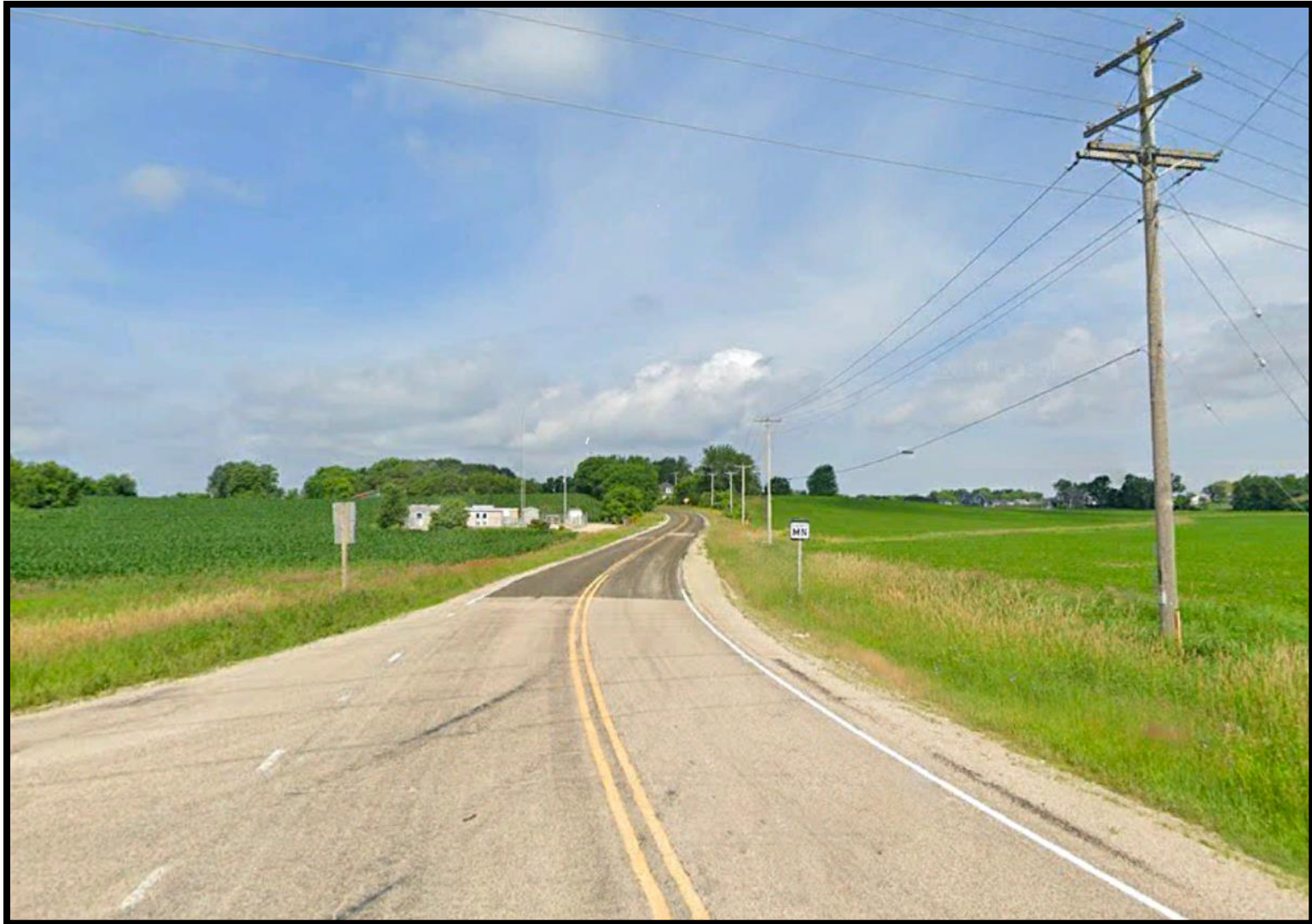
McFarland

Photo Location Far North {After}



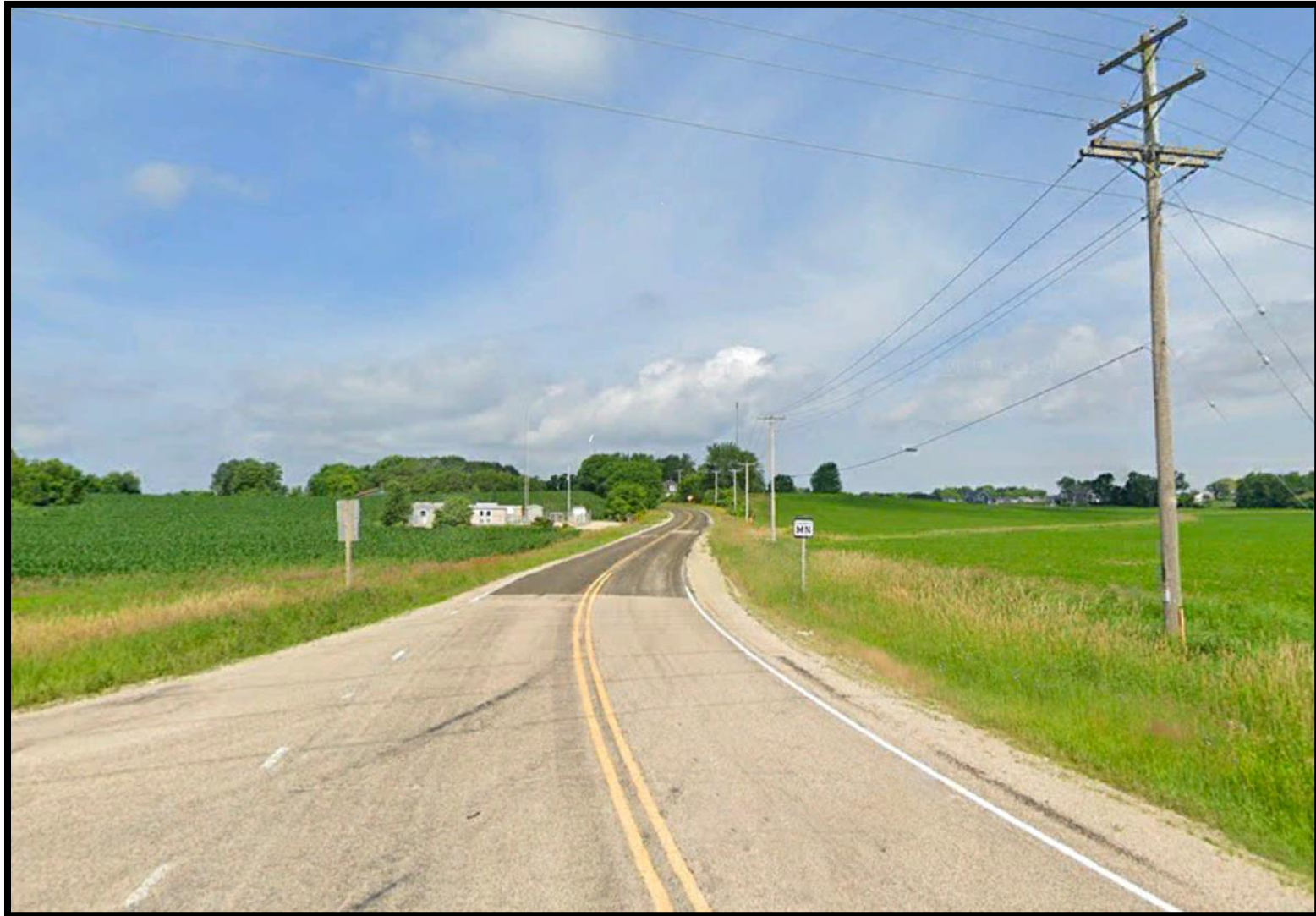
McFarland

Photo Location Directly Far East – {Before}



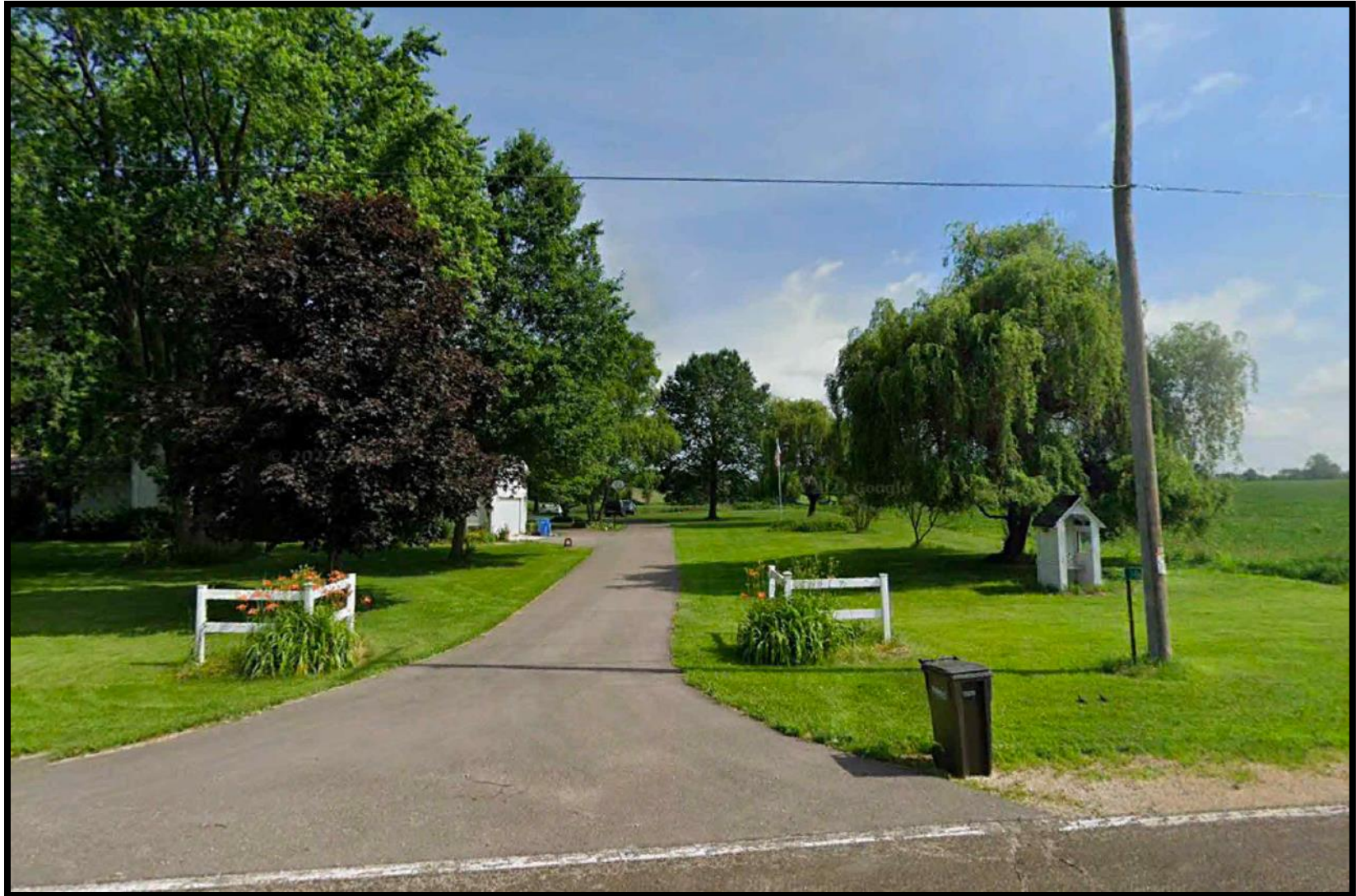
McFarland

Photo Location Far East - {After}



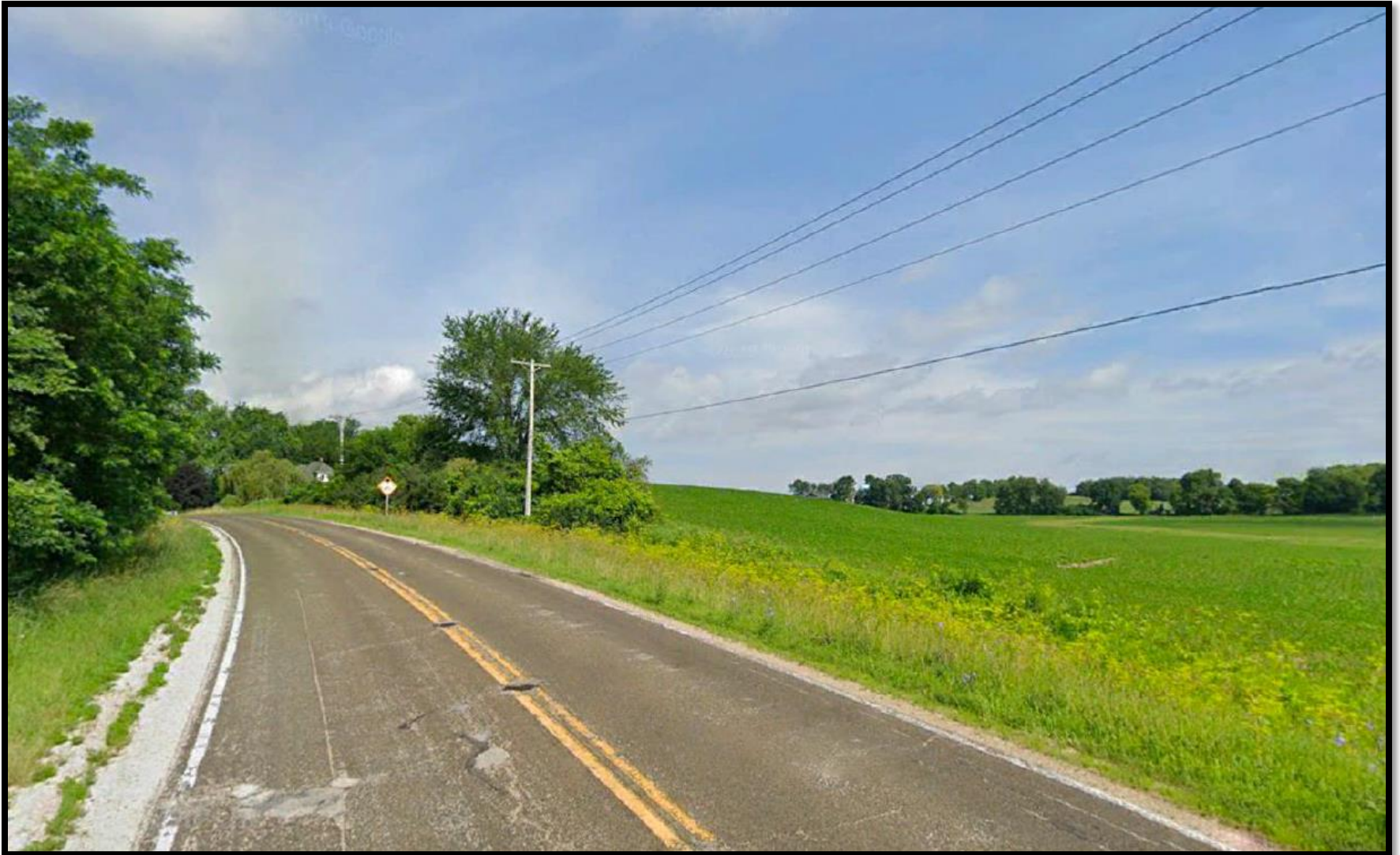
McFarland

Photo Location South – {Before and After – Tower is not in view}



McFarland

Photo Location East – {Before and After – Tower is not in view}



McFarland

Photo Location South Revised – {Before}



McFarland

Photo Location South Revised – {After}



McFarland

Photo Location Northwest – {Before}



McFarland




Photo Location Northwest – {After}



NOTE:
FOR SITES WHERE A CRANE IS NECESSARY, THE CONTRACTOR SHALL CONFIRM AN UNOBSTRUCTED ROUTE FOR THE CRANE FROM PUBLIC ROAD TO TOWER SITE PRIOR TO CONSTRUCTION. NO AERIAL OBSTRUCTIONS UNDER FIFTEEN FEET ABOVE GRADE, INCLUDING AERIAL UTILITY LINES, ARE ALLOWED ALONG SAID CRANE ROUTE.



McFARLAND

DRAWING INDEX		CIVIL ENGINEER LANDTECH PROFESSIONAL SURVEYING AND ENGINEERING 1275 MCGREGOR WAY GRAWN, MI 49637 P.O. BOX 193 PHONE: (231) 943-0050	SURVEYOR LANDTECH PROFESSIONAL SURVEYING AND ENGINEERING 1275 MCGREGOR WAY GRAWN, MI 49637 P.O. BOX 193 PHONE: (231) 943-0050	PROJECT INFORMATION																																																										
T-1	TITLE SHEET	DIRECTIONS TO SITE: FROM DANE COUNTY REGIONAL AIRPORT [4000 INTERNATIONAL LN, MADISON WI] ON INTERNATIONAL LN (NORTH), TURN LEFT (SOUTH-EAST) ONTO ANDERSON ST. TURN RIGHT (SOUTH) ONTO US-51 [N STOUGHTON RD]. KEEP RIGHT ONTO RAMP. TURN LEFT (EAST) ONTO SIGGELKOW RD. TURN RIGHT (SOUTH) ONTO HOLSCHER RD. TURN LEFT (EAST) ONTO CR-MN [COUNTY ROAD MN]. TURN LEFT (NORTH) ONTO ACCESS DRIVE		SCOPE OF WORK: UNMANNED TELECOMMUNICATIONS FACILITY																																																										
S-1	SURVEY PLAN			TYPE OF CONSTRUCTION PROJECT TYPE: PROPOSED 145' MONOPOLE																																																										
S-2	ENLARGED SITE PLAN			SITE ADDRESS: 3486 COUNTY HIGHWAY MN MCFARLAND VILLAGE, WI 53558																																																										
C-1	TOWER ELEVATION & DETAILS			TOWER INFORMATION: (LATITUDE & LONGITUDE BASED ON NAD1983) LATITUDE: 43° 01' 00.46"N LONGITUDE: 89° 16' 16.34"W PROPOSED RAD CENTER HEIGHT: 140' AGL.																																																										
C-2	SHELTER ELEVATIONS			SQUARE FOOTAGE: PROPOSED LEASE AREA: 10,000 SQ. FT.																																																										
C-3	FOUNDATION PLAN & DETAILS			PROPERTY OWNERS: KHAN M. & SADIA ARIF 3486 COUNTY HIGHWAY MN MCFARLAND VILLAGE, WI 53558																																																										
C-4	ICE BRIDGE & FENCE DETAILS			PARCEL NUMBER (TAX I.D.): 061002182450																																																										
C-5	GENERAL NOTES			OCCUPANT LOAD: UNOCCUPIED																																																										
E-1	ELECTRICAL NOTES & DETAILS			PARKING REQUIREMENTS: ADDITIONAL PARKING REQUIRED: NONE EXISTING PARKING MODIFICATIONS: NONE REQUIRED																																																										
E-2	SINGLE LINE DIAGRAM & DETAILS																																																													
E-3	GROUNDING DETAILS																																																													
E-4	GROUNDING DETAILS																																																													
E-5	GROUNDING NOTES & DETAILS																																																													
NOTES																																																														
CONCRETE AND REINFORCING STEEL NOTES APPLICABLE BUILDING CODES AND STANDARDS SITE WORK GENERAL NOTES STRUCTURAL STEEL NOTES GROUNDING NOTES ELECTRICAL INSTALLATION NOTES GENERAL NOTES		(SEE PAGE C-5) (SEE PAGE C-5) (SEE PAGE C-5) (SEE PAGE C-5) (SEE PAGE E-5) (SEE PAGE E-1) (SEE PAGE C-5)																																																												
 <div>LANDTECH PROFESSIONAL SURVEYING & ENGINEERING AL, AR, AZ, CO, FL, GA, IL, IA, IN, KS, KY, MI, MN, MO, NE, NC, ND, NJ, NM, NY, OH, OK, PA, SC, SD, TN, TX, VA, WV, WI 231-943-0050 ph 231-943-0051 fax 877-520-LAND toll free www.landtechps.com www.towersurveyors.com</div>				TOWER KING 23434 ELLIOTT ROAD, DEFIANCE, OH 43512 PH: (419) 782-8591		MCFARLAND 3486 COUNTY HIGHWAY MN MCFARLAND VILLAGE, WI 53558		<table><tr><td>6</td><td>04/12/23</td><td>PER COMMENTS</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>5</td><td>04/07/23</td><td>LEASE AND TOWER MOVE</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>4</td><td>12/29/22</td><td>REV'D TOWER ELEV., SHEET C-1</td><td>TLR</td><td>MM</td><td>MM</td></tr><tr><td>3</td><td>09/29/22</td><td>REV'D ZONING PER CLIENT</td><td>TLR</td><td>MM</td><td>MM</td></tr><tr><td>2</td><td>09/15/22</td><td>REV'D PER CLIENT-ARBORVITAE, FENCING</td><td>TLR</td><td>MM</td><td>MM</td></tr><tr><td>1</td><td>09/07/22</td><td>REV'D TOWER-RAD CENTER HEIGHT</td><td>TLR</td><td>MM</td><td>MM</td></tr><tr><td>0</td><td>08/17/22</td><td>ISSUED FOR REVIEW</td><td>TLR</td><td>MM</td><td>MM</td></tr><tr><td>NO.</td><td>DATE</td><td>REVISIONS</td><td>BY</td><td>CHK</td><td>APPD</td></tr><tr><td colspan="2">SCALE: AS SHOWN</td><td>DESIGNED BY: MM</td><td colspan="3">DRAWN BY: TLR</td></tr></table>	6	04/12/23	PER COMMENTS	RJH	MM	MM	5	04/07/23	LEASE AND TOWER MOVE	RJH	MM	MM	4	12/29/22	REV'D TOWER ELEV., SHEET C-1	TLR	MM	MM	3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM	2	09/15/22	REV'D PER CLIENT-ARBORVITAE, FENCING	TLR	MM	MM	1	09/07/22	REV'D TOWER-RAD CENTER HEIGHT	TLR	MM	MM	0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM	NO.	DATE	REVISIONS	BY	CHK	APPD	SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		
6	04/12/23	PER COMMENTS	RJH	MM	MM																																																									
5	04/07/23	LEASE AND TOWER MOVE	RJH	MM	MM																																																									
4	12/29/22	REV'D TOWER ELEV., SHEET C-1	TLR	MM	MM																																																									
3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM																																																									
2	09/15/22	REV'D PER CLIENT-ARBORVITAE, FENCING	TLR	MM	MM																																																									
1	09/07/22	REV'D TOWER-RAD CENTER HEIGHT	TLR	MM	MM																																																									
0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM																																																									
NO.	DATE	REVISIONS	BY	CHK	APPD																																																									
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR																																																											
						SHEET T-1																																																								
						TITLE SHEET																																																								
						DRAWING NUMBER																																																								
						22359001																																																								

LATITUDE & LONGITUDE

LATITUDE AND LONGITUDE OF SITE ARE BASED ON NAD 83.
LATITUDE: 43° 01' 00.46" N
LONGITUDE: 89° 16' 16.34" W
GROUND ELEVATION AT TOWER BASE: 888' AMSL
ELEVATIONS ARE BASED ON NAVD88

SITE INFORMATION

SITE ADDRESS: 3486 COUNTY HIGHWAY MN
MCFARLAND VILLAGE, WI 53558
PROPERTY OWNER: KHAN M. & SADIA ARIF
3486 COUNTY HIGHWAY MN
MCFARLAND VILLAGE, MN 53558

ZONING INFORMATION

SUBJECT SITE ZONING: RURAL RESIDENTIAL

ADJACENT ZONING:

NORTH: AGRICULTURAL/FARMLAND PRESERVATION BUSINESS
SOUTH: FARMLAND PRESERVATION
EAST: AGRICULTURAL/FARMLAND PRESERVATION BUSINESS
WEST: RESIDENTIAL

TOWER SETBACKS:

FRONT: 100% TOWER HEIGHT (170')
REAR: 100% TOWER HEIGHT (170')
SIDES: 100% TOWER HEIGHT (170')

GENERAL NOTES

NO PROPOSED MUNICIPAL SEWER OR WATER UTILITIES ARE REQUIRED FOR THIS SITE.
FINISH GRADE WILL MATCH EXISTING CONTOUR.
THERE WILL BE NO CHANGE IN DRAINAGE PATTERN DUE TO THE PROPOSED INSTALLATION.
NO SIGNIFICANT RUNOFF IS GENERATED BY THE PROPOSED INSTALLATION.
NO HAZARDOUS MATERIALS WILL BE USED, PROCESSED OR STORED AT THE SITE.
TOWER LIGHTING SHALL CONFORM TO FAA STANDARDS AS REQUIRED.
ALL WORK SHALL CONFORM TO FAA & FCC REGULATIONS.

PARENT PARCEL (PER DOCUMENT #: 4466976)

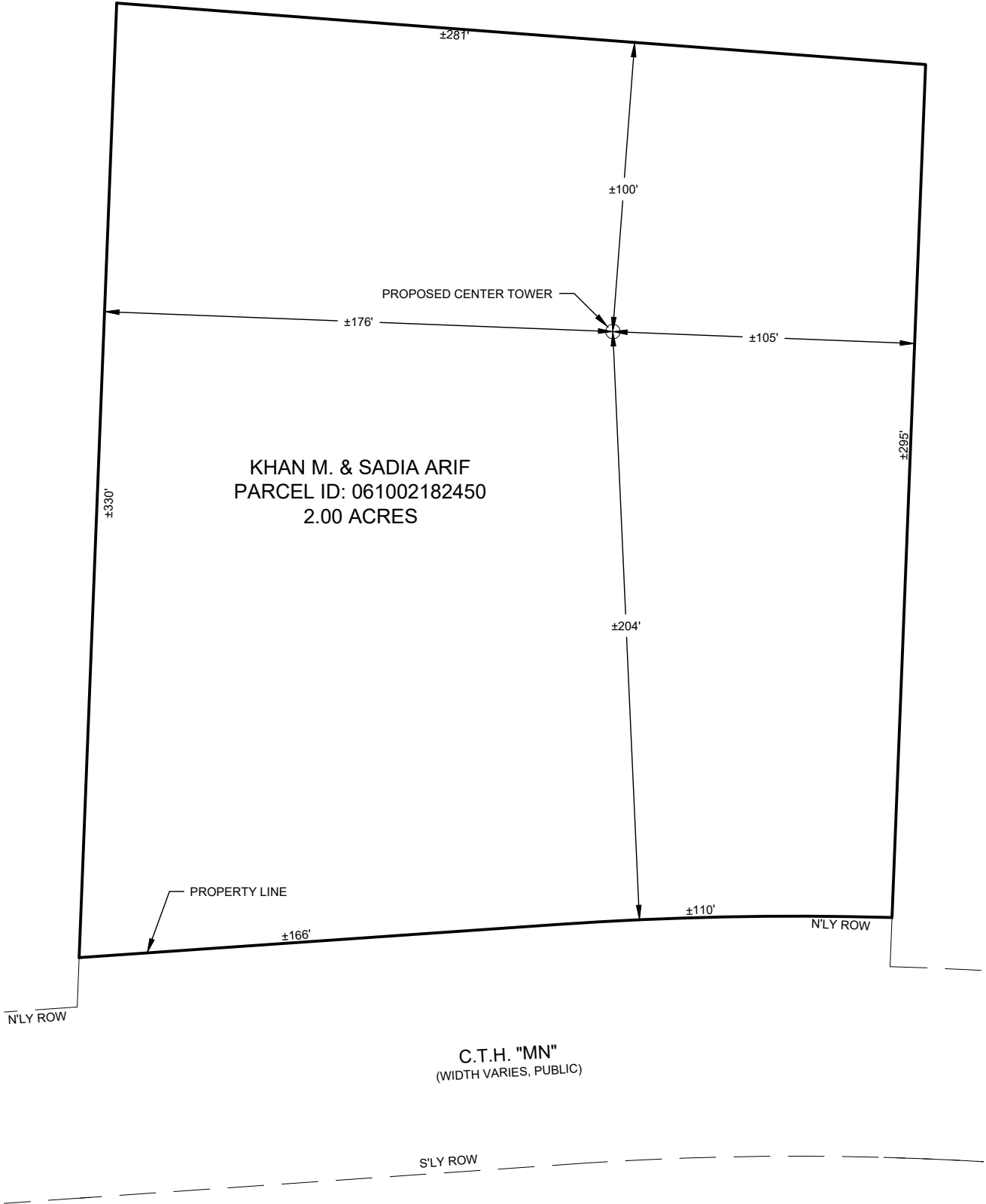
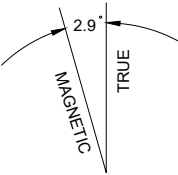
PART OF THE NE 1/4 OF THE NE 1/4 AND THE NW 1/4 OF THE NE 1/4, SECTION 2, TOWN 6 NORTH, RANGE 10 EAST, TOWN OF DUNN, DANE COUNTY, WISCONSIN, DESCRIBES AS FOLLOWS: COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 2; THENCE N87°31'06"E (RECORDED EAST), 1300.93 FEET ALONG THE NORTH LINE OF THE NE 1/4 OF SAID SECTION 2; THENCE S02°15'12"W (RECORDED AS S04°44'10"W), 380.63 FEET TO THE CENTERLINE OF C.T.H. "MN"; THENCE N86°02'15"E, 171.26 FEET ALONG THE CENTERLINE OF C.T.H. "MN" TO A POINT OF CURVATURE; THENCE CONTINUING ALONG SAID CENTERLINE OF SAID C.T.H. "MN" TO THE RIGHT WITH A CENTRAL ANGLE OF 05°31'18", A RADIUS OF 1195.92 FEET AND A LONG CORD OF N88°48'54"E, 110.36 FEET; THENCE N02°15'12"E, 339.88 FEET; THENCE N85°39'48"W, 280.63 FEET TO THE POINT OF BEGINNING; CONTAINING 101,230 SQUARE FEET (2.32 ACRES), 87,140 SQUARE FEET (2.00 ACRES) EXCLUDING C.T.H. "MN" RIGHT-OF-WAY. SUBJECT TO ALL EASEMENTS OF RECORD.

TOWER KING LEASE AREA DESCRIPTION

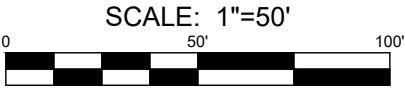
A PART OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 10 EAST, DUNN TOWNSHIP, DANE COUNTY, WISCONSIN, DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION; THENCE NORTH 87°31'27" EAST ALONG THE NORTH LINE OF SAID SECTION A DISTANCE OF 1,341.03 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 769.15 FEET TO THE NORTHWEST CORNER OF THE PARENT PARCEL; THENCE SOUTH 85°39'48" EAST ALONG THE NORTH LINE OF SAID PARCEL A DISTANCE OF 170.56 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 6.07 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 87°44'48" EAST A DISTANCE OF 100.00 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 100.00 FEET; THENCE NORTH 87°44'48" WEST A DISTANCE OF 100.00 FEET; THENCE NORTH 02°15'12" EAST A DISTANCE OF 100.00 FEET. CONTAINING 10,000.00 SQUARE FEET OR 0.23 ACRES.

TOWER KING ACCESS/UTILITY EASEMENT DESCRIPTION

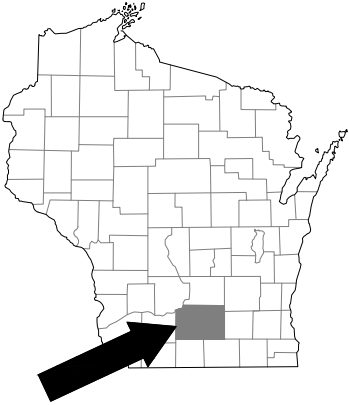
A 20 FOOT WIDE EASEMENT OVER/UNDER AND ACROSS ALL THAT PART OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 10 EAST, DUNN TOWNSHIP, DANE COUNTY, WISCONSIN, DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION; THENCE NORTH 87°31'27" EAST ALONG THE NORTH LINE OF SAID SECTION A DISTANCE OF 1,341.03 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 769.15 FEET TO THE NORTHWEST CORNER OF THE PARENT PARCEL; THENCE SOUTH 85°39'48" EAST ALONG THE NORTH LINE OF SAID PARCEL A DISTANCE OF 170.56 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 6.07 FEET TO THE NORTHWEST CORNER OF THE TOWER KING LEASE; THENCE SOUTH 87°44'48" EAST ALONG THE NORTHERLY LINE OF SAID LEASE A DISTANCE OF 100.00 FEET TO THE NORTHEAST CORNER OF SAID LEASE; THENCE SOUTH 02°15'12" WEST ALONG THE EASTERLY LINE OF SAID LEASE A DISTANCE OF 100.00 FEET TO THE SOUTHEAST CORNER OF SAID LEASE; THENCE NORTH 87°44'48" WEST ALONG THE SOUTHERLY LINE OF SAID LEASE A DISTANCE OF 36.00 FEET AND THE POINT OF BEGINNING; THENCE SOUTH 03°00'44" WEST A DISTANCE OF 194.74 FEET TO THE NORTHERLY RIGHT-OF-WAY OF C.T.H. "MN" RD (WIDTH VARIES, PUBLIC); THENCE WESTERLY ALONG SAID RIGHT-OF-WAY A DISTANCE OF 20.06 FEET, ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 1,195.92 FEET, A CENTRAL ANGLE OF 00°57'41", AND CHORD BEARING SOUTH 88°46'43" WEST 20.06 FEET; THENCE NORTH 03°00'44" EAST A DISTANCE OF 194.74 FEET TO THE SOUTH LINE OF SAID LEASE; THENCE SOUTH 87°44'48" EAST ALONG SAID LEASE LINE A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING. CONTAINING 3,906.50 SQUARE FEET OR 0.09 ACRES.



PARENT PARCEL DETAIL



Know what's below.
Call before you dig.



- IRON FOUND
- IRON SET
- ▲ P.K. NAIL FOUND
- ▲ P.K. NAIL SET
- ⊙ GPS MONUMENT
- ⊙ MONUMENT BOX FOUND
- ⊕ MONUMENT FOUND
- ⊕ MONUMENT SET
- (R) RECORD
- (M) MEASURED
- ^{TS} STORM MANHOLE
- ⊕ CATCH BASIN
- ⊕ SQUARE CATCH BASIN
- ^{SNS} SANITARY MANHOLE
- ⊕ SANITARY CLEAN-OUT
- ⊕ MONITOR WELL
- ⊕^{MW#} TELCO. MANHOLE
- ^{PP} POWER POLE
- ^{GUY} GUY
- ⊕ LIGHT POLE
- ⊕^{ET} ELECTRIC TRANSFORMER
- ⊕^{EM} ELECTRIC METER
- ⊕^{EHH} ELECTRIC HANDHOLE
- ^{WV} WATER VALVE
- ⊕ HYDRANT
- ⊕^{GM} GAS METER
- ⊕^{GAS} GAS MARKER
- ⊕^{GV} GAS VALVE
- ⊕^T TELEPHONE PEDESTAL
- ⊕ SIGN POST
- FENCE LINE
- ⊕ BENCHMARK
- POST

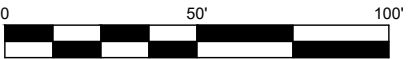
LEGEND

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.



SURVEY PLAN

SCALE: 1"=50'



CERTIFICATION :

I MATTHEW T. MOKANYK CERTIFY THAT I HAVE SURVEYED AND MARKED THE PROPOSED TOWER INSTALLATION AND EXISTING FEATURES AND THAT THIS MAP IS A TRUE REPRESENTATION OF SAID SURVEY.

Matthew T. Mokanyk

Matthew T. Mokanyk, P.S., P.E.
Wisconsin P.L.S. No. 3078-8

04/07/23

Date

BEARING BASIS: WISCONSIN SOUTH ZONE STATE PLANE COORDINATES, NAD83



TOWER KING
23434 ELLIOTT ROAD,
DEFIANCE, OH 43512
PH: (419) 782-8591

MCFARLAND

3486 COUNTY HIGHWAY MN
MCFARLAND VILLAGE, WI 53558

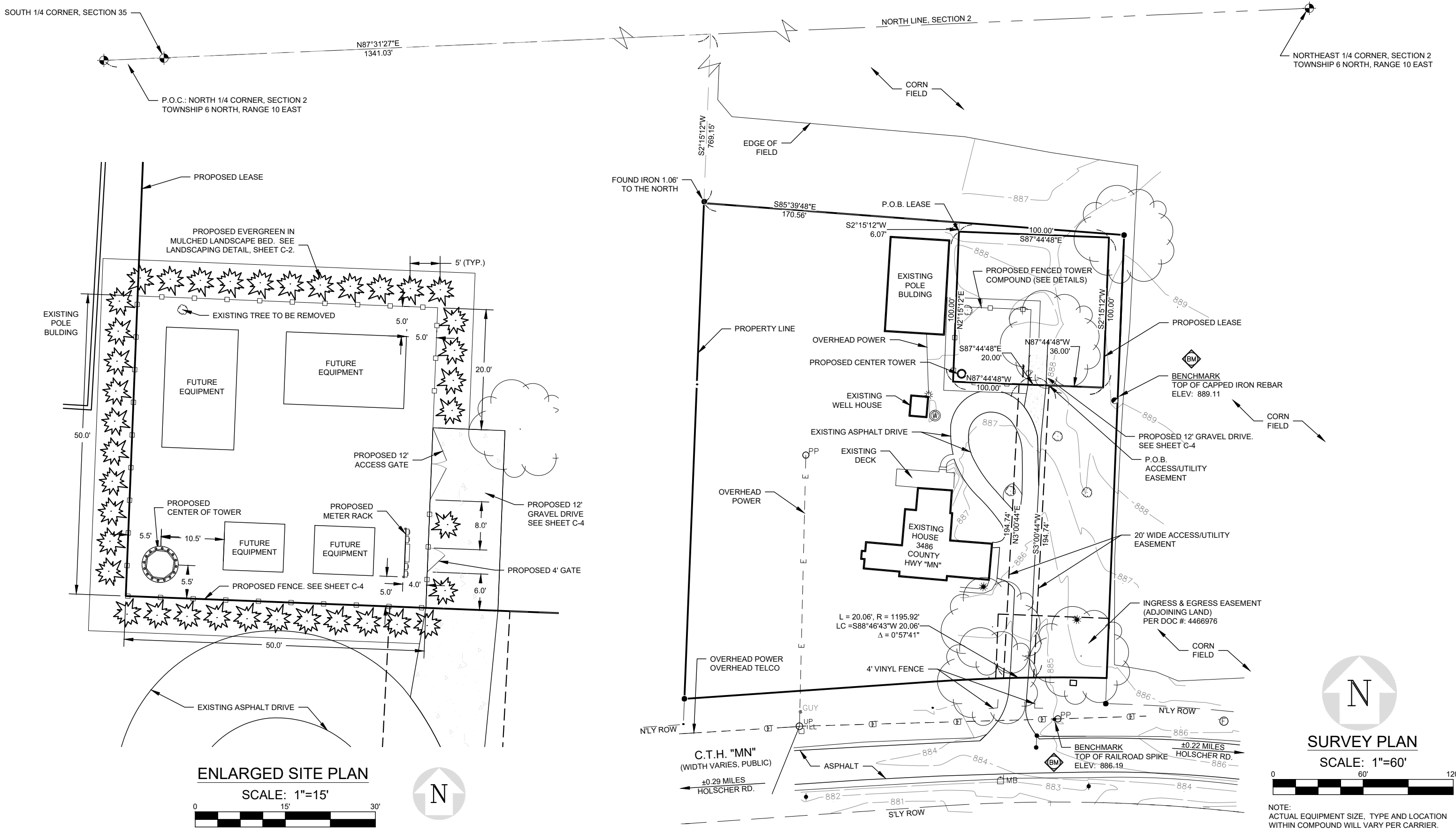
6	04/12/23	PER COMMENTS	RJH	MM	MM
5	04/07/23	LEASE AND TOWER MOVE	RJH	MM	MM
4	12/29/22	REV'D TOWER ELEV. SHEET C-1	TLR	MM	MM
3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM
2	09/15/22	REV'D PER CLIENT-ARBORVITAE, FENCING	TLR	MM	MM
1	09/07/22	REV'D TOWER-RAD CENTER HEIGHT	TLR	MM	MM
0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		

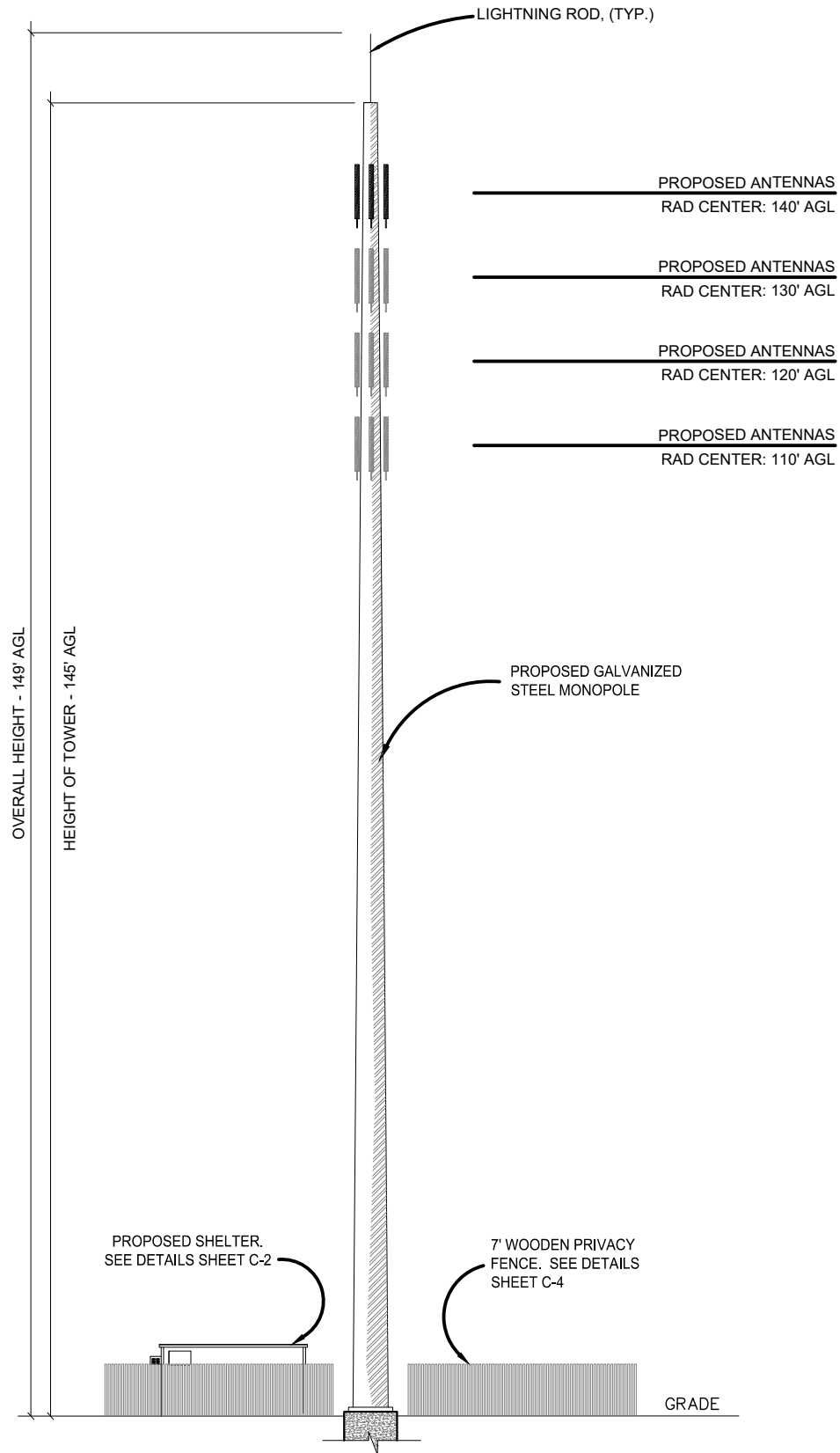
SHEET S-1

SURVEY PLAN

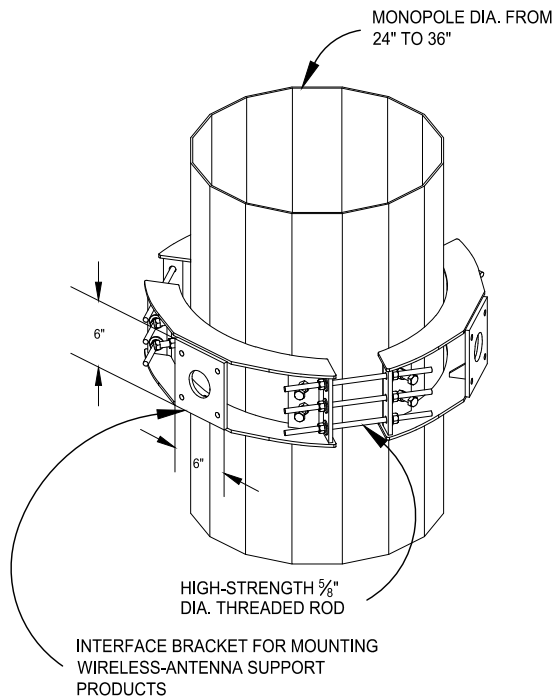
DRAWING NUMBER

22359001

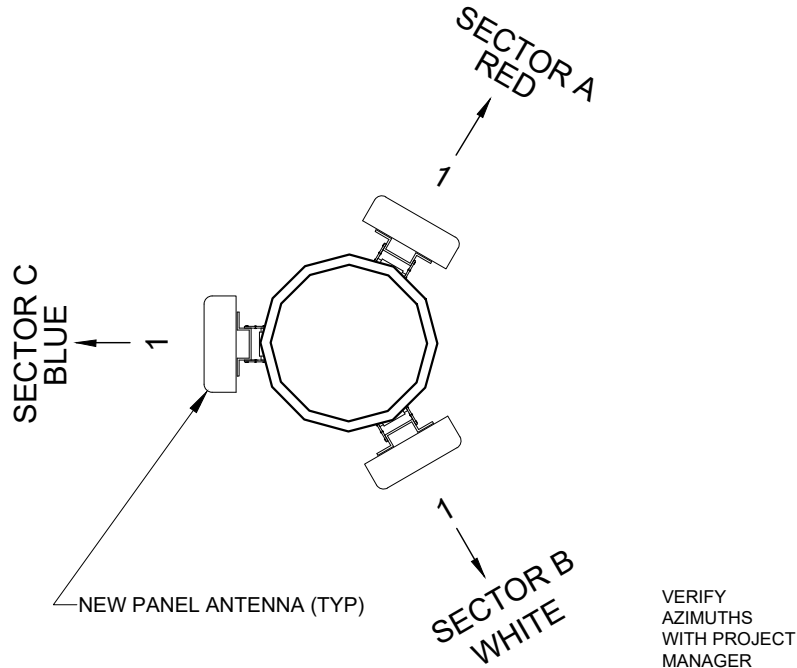




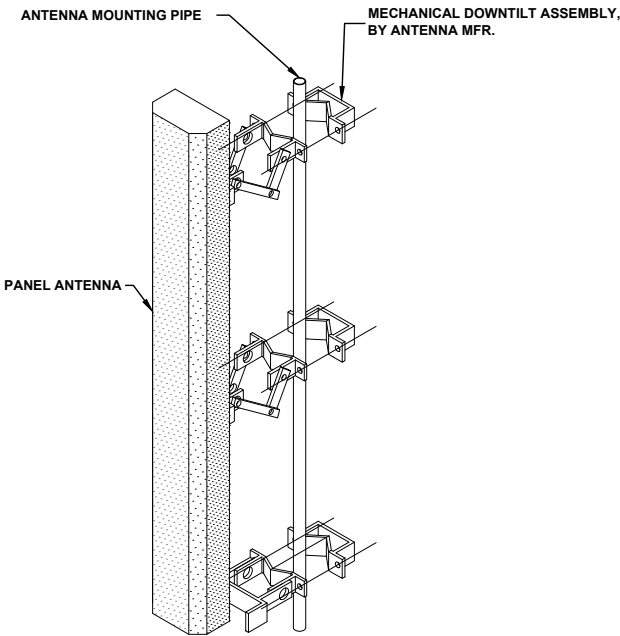
TOWER ELEVATION VIEW
NOT TO SCALE



B2593 TRI-BRACKET DETAIL
NOT TO SCALE



TYPICAL SECTORIZED ANTENNA CONFIGURATION
NOT TO SCALE



ANTENNA MOUNTING DETAIL
NOT TO SCALE

Property Value Study – Waukesha, Wisconsin

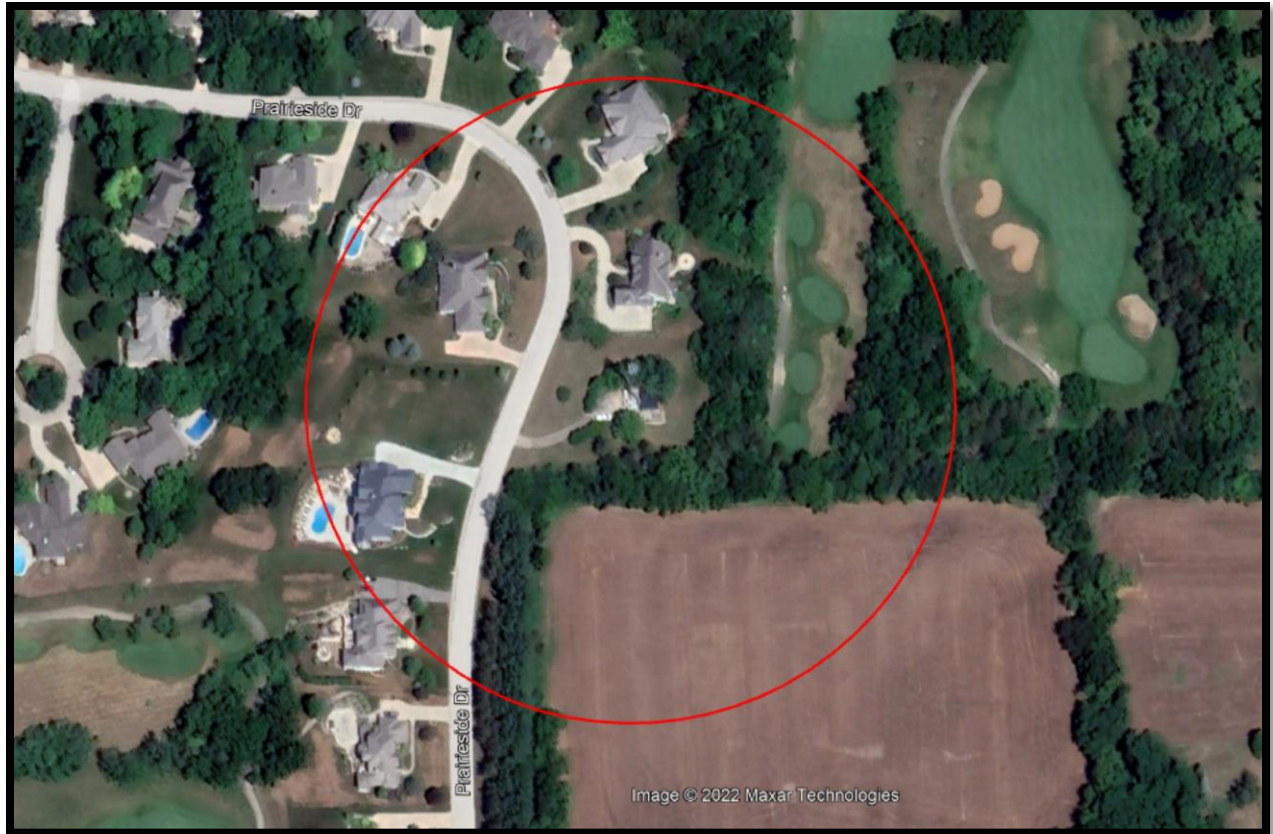
Similarly to the proposed tower in the Town of Dunn, Wisconsin, this report evidences an existing monopole tower constructed prior to new residential development and the resulting values of the homes next to, nearby and across the street from the existing tower. The first aerial below is from the year 2000, and the tower's shadow can clearly be seen. The second aerial shows the subdivision and golf course which was developed over the following years and the values of the homes are below. Both images include a circle of 400' around the communications tower.

Note: The last home built in this area is the one directly across the street from the tower constructed in 2017-2018, currently assessed @ \$1.3 Million.


Following the aerial images are the current assessed values of the homes within 400' and also the estimated value according to Zillow.com and the recent sales prices if applicable. We recognize that Zillow is only an estimate of what these homes may be valued, however, this value gives a reasonable understanding of the estimated value. It should also be noted that these properties have greatly increased in value over recent years.

This report supports the fact that residential homes and affluent subdivisions are developed near existing communication towers without any negative effect.








Homes Near Communication Tower




OWNER NAME AND MAILING ADDRESS		PROPERTY ADDRESS	
CHAD C GIRARD NATALIE S CIANO W25757695 PRAIRIESIDE DR WAUKESHA, WI 53189 Click Here to Provide Updated Mailing Address		W25757695 PRAIRIESIDE DR WAUKESHA, WI 53189 	
LEGAL DESCRIPTION			
LOT 1 CSM #11494 VOL 114/221 REC AS DOC #4237185 BEING LOT 7 & 8 MORNINGSTAR PT SW1/4 SEC 9 & PT SE1/4 SEC 8 T5N R19E			
ASSESSMENT STATUS		OWNERSHIP/LEGAL DESCRIPTION EXCEPTION DOCUMENTS	
Assessment Year:	2022	DEED	DOC 3844302
Assessment Status:	ACTIVE	TRANSFER ON DEATH	DOC 4103939
Assessment Attributes:	NONE	DEED	DOC 4241447
Deeded Acres:	1.230	Additional Documents	
ASSESSMENT INFORMATION			
Assessed By:	ACCURATE APPRAISAL 920-749-8098 info@accurateassessor.com	Links to WI Dept of Revenue Resources: Guide for Property Owners   Property Assessment Appeal Guide  Board of Review Calendar Property Assessment Appeal Guide	
Board of Review Date:	9/15/2022		
PROPERTY VALUES			
Property Class	Acres	Land	Improvement
RESIDENTIAL	1.231	\$166,300.00	\$1,186,600.00
		Total	
		\$1,352,900.00	

Zillow Value \$1,680,000




OWNER NAME AND MAILING ADDRESS		PROPERTY ADDRESS	
AYYAN ARSHAD USAMA ARSHAD KHAN W256S7670 PRAIRIESIDE DR WAUKESHA, WI 53189-6904 Click Here to Provide Updated Mailing Address		W256S7670 PRAIRIESIDE DR WAUKESHA, WI 53189-6904 	
LEGAL DESCRIPTION			
LOT 40 & AN UNDIV INT IN OUTLOT 1 MORNINGSTAR PT SW1/4 SEC 9 & PT SE1/4 SEC 8 T5N R19E ::			
ASSESSMENT STATUS		OWNERSHIP/LEGAL DESCRIPTION EXCEPTION DOCUMENTS	
Assessment Year:	2022	DEED	DOC 4507452
Assessment Status:	ACTIVE		
Assessment Attributes:	NONE		
Deeded Acres:			
ASSESSMENT INFORMATION			
Assessed By:	ACCURATE APPRAISAL 920-749-8098 info@accurateassessor.com	Links to WI Dept of Revenue Resources: Guide for Property Owners  Property Assessment Appeal Guide  Board of Review Calendar Property Assessment Appeal Guide	
Board of Review Date:	9/15/2022		
PROPERTY VALUES			
Property Class	Acres	Land	Improvement
RESIDENTIAL	0.875	\$134,000.00	\$723,000.00
Total:	0.875	\$134,000.00	\$857,000.00

Zillow Value \$ 964,000.00

Sold 9/3/2020 for \$769,000.00




OWNER NAME AND MAILING ADDRESS		PROPERTY ADDRESS	
MICHAEL WENGREN W256S7650 PRAIRIESIDE DR WAUKESHA, WI 53189-6904 Click Here to Provide Updated Mailing Address		W256S7650 PRAIRIESIDE DR WAUKESHA, WI 53189-6904 	
LEGAL DESCRIPTION			
LOT 39 MORNINGSTAR & UNDIV INTEREST IN OUTLOT 1 PT SW1/4 SEC 9 & PT SE1/4 SEC 8 T5N R19E			
ASSESSMENT STATUS		OWNERSHIP/LEGAL DESCRIPTION EXCEPTION DOCUMENTS	
Assessment Year:	2022	DEED	DOC 4389545
Assessment Status:	ACTIVE		
Assessment Attributes:	NONE		
Deeded Acres:			
ASSESSMENT INFORMATION			
Assessed By:	ACCURATE APPRAISAL 920-749-8098 info@accurateassessor.com	Links to WI Dept of Revenue Resources: Guide for Property Owners  Property Assessment Appeal Guide  Board of Review Calendar Property Assessment Appeal Guide	
Board of Review Date:	9/15/2022		
PROPERTY VALUES			
Property Class	Acres	Land	Improvement
RESIDENTIAL	1.191	\$134,000.00	\$750,300.00
Total:	1.191	\$134,000.00	\$884,300.00

Zillow Value \$1,172,000.00




OWNER NAME AND MAILING ADDRESS		PROPERTY ADDRESS	
MARCUS J NEITZKE KELLY L NEITZKE S76W25735 PRAIRIESIDE DR WAUKESHA, WI 53189-6903 Click Here to Provide Updated Mailing Address		S76W25735 PRAIRIESIDE DR WAUKESHA, WI 53189-6903 	
LEGAL DESCRIPTION			
LOT 10 & AN UNDIV INT IN OUTLOT 1 MORNINGSTAR PT SW1/4 SEC 9 & PT SE1/4 SEC 8 T5N R19E			
ASSESSMENT STATUS		OWNERSHIP/LEGAL DESCRIPTION EXCEPTION DOCUMENTS	
Assessment Year:	2022	DEED	DOC 4526608
Assessment Status:	ACTIVE		
Assessment Attributes:	NONE		
Deeded Acres:	0.000		
ASSESSMENT INFORMATION			
Assessed By:	ACCURATE APPRAISAL 920-749-8098 info@accurateassessor.com	Links to WI Dept of Revenue Resources: Guide for Property Owners  Property Assessment Appeal Guide  Board of Review Calendar Property Assessment Appeal Guide	
Board of Review Date:	9/15/2022		
PROPERTY VALUES			
Property Class	Acres	Land	Improvement
RESIDENTIAL	0.754	\$134,000.00	\$585,000.00
Total:	0.754	\$134,000.00	\$585,000.00
			\$719,000.00

Zillow Value \$878,000.00

Sold 11/30/2020 for \$750,000.00

OWNER NAME AND MAILING ADDRESS		PROPERTY ADDRESS	
BRUCE RZENTKOWSKI CAROL RZENTKOWSKI W257S7675 PRAIRIESIDE DR WAUKESHA, WI 53189-6904 Click Here to Provide Updated Mailing Address		W257S7675 PRAIRIESIDE DR WAUKESHA, WI 53189-6904 	
LEGAL DESCRIPTION			
LOT 9 & AN UNDIV INT IN OUTLOT 1 MORNINGSTAR PT SW1/4 SEC 9 & PT SE1/4 SEC 8 T5N R19E 0.690 AC DOC# 2561095			
ASSESSMENT STATUS		OWNERSHIP/LEGAL DESCRIPTION EXCEPTION DOCUMENTS	
Assessment Year:	2022		
Assessment Status:	ACTIVE		
Assessment Attributes:	NONE		
Deeded Acres:			
ASSESSMENT INFORMATION			
Assessed By:	ACCURATE APPRAISAL 920-749-8098 info@accurateassessor.com	Links to WI Dept of Revenue Resources: Guide for Property Owners  Property Assessment Appeal Guide  Board of Review Calendar Property Assessment Appeal Guide	
Board of Review Date:	9/15/2022		
PROPERTY VALUES			
Property Class	Acres	Land	Improvement
RESIDENTIAL	0.690	\$134,000.00	\$649,100.00
Total:	0.690	\$134,000.00	\$649,100.00
			\$783,100.00

Zillow Value \$957,000.00

OWNER NAME AND MAILING ADDRESS		PROPERTY ADDRESS		
DENNIS KLUMB LIVING TRUST W257S7715 PRAIRIESIDE DR WAUKESHA, WI 53189-6905		W257S7715 PRAIRIESIDE DR WAUKESHA, WI 53189-6905		
Click Here to Provide Updated Mailing Address 				
LEGAL DESCRIPTION				
LOT 6 & AN UNDIV INT IN OUTLOT 1 MORNINGSTAR PT SW1/4 SEC 9 & PT SE1/4 SEC 8 T5N R19E :: DOC# 4129212 LC				
ASSESSMENT STATUS		OWNERSHIP/LEGAL DESCRIPTION EXCEPTION DOCUMENTS		
Assessment Year:	2022	LAND CONTRACT	DOC 4129212	
Assessment Status:	ACTIVE			
Assessment Attributes:	NONE			
Deeded Acres:				
ASSESSMENT INFORMATION				
Assessed By:	ACCURATE APPRAISAL 920-749-8098 info@accurateassessor.com	Links to WI Dept of Revenue Resources: Guide for Property Owners  Property Assessment Appeal Guide  Board of Review Calendar Property Assessment Appeal Guide		
Board of Review Date:	9/15/2022			
PROPERTY VALUES				
Property Class	Acres	Land	Improvement	Total
RESIDENTIAL	0.689	\$134,000.00	\$694,000.00	\$828,000.00
Total:	0.689	\$134,000.00	\$694,000.00	\$828,000.00

Zillow Value \$1,250,000.00



Property Value Study – Greendale, Wisconsin

Findings:

Included below is assessed value report for the nearest six residential homes in a predominantly residential area within approximately 300-400 feet from a communications tower constructed July 18, 2018. None of the six have had any decrease in the assessed value at any time before, during or after the communication tower installation.

In order to create a baseline for comparable homes, below that, is a report of six other properties ½ mile away in the same subdivision which show the same increase in value in 2018 and no other increase or decrease in value otherwise. Additionally, the homes near the communication tower on average increased more in value in the 2021 assessment for 2022 than did the homes away from the tower. For this reason, it is apparent that the construction of this cell tower has had no negative effect at all on the property values evidencing that in Wisconsin suburbs there is no reason to believe that a property would be effected in any way due to the construction of a new communications tower.

Homes Near Communication Tower

Greendale, WI : Residential Property Record Card

[[Back to Search Results](#)]

[[Start a New Search](#)] [[Help with Printing](#)]

Search For Properties

Parcel ID	Street Name	
<input type="text"/>	<input type="text" value="v"/>	<input type="button" value="Search"/> <input type="button" value="Reset Search"/>

Parcel ID	Card	Map-Block-Lot	Location	Zoning	State Class	Acres
7110006000	1	7110006	5210 RAVEN DR		160 - 160	0.329

Owner Information

Volz, Philip G & Nancy
5210 Raven Dr
Greendale WI 53129

Deed Information

Book/Page: 0
Sale Date: n/a

Dwelling Information

Living Units: 1
Style: Ranch
Story Height: 1
Exterior Wall: Alum/Vinyl
Attic Living: None
Basement: Full
Year Built: 1965
Ground Floor Area: 1472
Basement Area: 1392
Fin BSMT Living: 0
Tot Living Area: 1472
Rec Room: 0 x 0
Tot Rooms: 6
Bedrooms: 3
Full Baths: 1
Half Baths: 1
Frame Fire Place: 0
Mas Fire Place: 1 / 1
Heating Type: Central/Ac

Valuation

Land: \$74,100
Building: \$209,600
Total: \$283,700

Property Picture



30.3% Increase

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2021	Real Estate	7110006000	131 - VILLAGE OF GREENDALE	5210 RAVEN DR	PHILIP G & NANCY VOLZ 5210 RAVEN DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					

Assessment Summary
Estimated Fair Market Value: 253300 Assessment Ratio: 0.8593 Legal Acres: 0.329

2021 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.329	66200	151500	217700
ALL CLASSES	0.329	66200	151500	217700

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2020	Real Estate	7110006000	131 - VILLAGE OF GREENDALE	5210 RAVEN DR	PHILIP G & NANCY VOLZ 5210 RAVEN DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					

Assessment Summary
Estimated Fair Market Value: 245000 Assessment Ratio: 0.8888 Legal Acres: 0.329

2020 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.329	66200	151500	217700
ALL CLASSES	0.329	66200	151500	217700

2019 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.329	66200	151500	217700
ALL CLASSES	0.329	66200	151500	217700

2018 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.329	66200	151500	217700
ALL CLASSES	0.329	66200	151500	217700

2017 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.329	63700	125700	189400
ALL CLASSES	0.329	63700	125700	189400

2016 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.329	63700	124700	188400
ALL CLASSES	0.329	63700	124700	188400

Greendale, WI : Residential Property Record Card

[[Back to Search Results](#)]

[[Start a New Search](#)] [[Help with Printing](#)]

Search For Properties

Parcel ID	Street Name	
<input type="text" value="7110004000"/>	<input type="text" value=""/>	<input type="button" value="Search"/> <input type="button" value="Reset Search"/>

Parcel ID	Card	Map-Block-Lot	Location	Zoning	State Class	Acres
7110004000	1	7110004	5206 RAVEN DR		160 - 160	0.226

Owner Information

Barrington, Richard & Peggy Lea
5206 Raven Dr
Greendale WI 53129

Deed Information

Book/Page: 0
Sale Date: n/a

Dwelling Information

Living Units: 1
Style: Ranch
Story Height: 1
Exterior Wall: Alum/Vinyl
Attic Living: None
Basement: Full
Year Built: 1966
Ground Floor Area: 1472
Basement Area: 1274
Fin BSMT Living: 0
Tot Living Area: 1472
Rec Room: 0 x 0
Tot Rooms: 7
Bedrooms: 3
Full Baths: 1
Half Baths: 1
Frame Fire Place: 0
Mas Fire Place: 1 / 1
Heating Type: Central/Ac

Property Picture



Valuation

Land: \$72,900
Building: \$200,400
Total: \$273,300

29.9% Increase

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2021	Real Estate	7110004000	131 - VILLAGE OF GREENDALE	5206 RAVEN DR	RICHARD & PEGGY LEA BARRINGTON 5206 RAVEN DR GREENDALE WI 53129
Tax Year Legend: 🔴 = owes prior year taxes 🔴 = not assessed 🔴 = not taxed 🔴 Delinquent 🔴 Current					

Assessment Summary				
Estimated Fair Market Value: 244800		Assessment Ratio: 0.8593		Legal Acres: 0.226
2021 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	65100	145200	210300
ALL CLASSES	0.226	65100	145200	210300

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2020	Real Estate	7110004000	131 - VILLAGE OF GREENDALE	5206 RAVEN DR	RICHARD & PEGGY LEA BARRINGTON 5206 RAVEN DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					

Assessment Summary
Estimated Fair Market Value: 236600 Assessment Ratio: 0.8888 Legal Acres: 0.226

2020 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	65100	145200	210300
ALL CLASSES	0.226	65100	145200	210300

2019 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	65100	145200	210300
ALL CLASSES	0.226	65100	145200	210300

2018 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	65100	145200	210300
ALL CLASSES	0.226	65100	145200	210300

2017 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	62600	120700	183300
ALL CLASSES	0.226	62600	120700	183300

2016 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	62600	120700	183300
ALL CLASSES	0.226	62600	120700	183300

Greendale, WI : Residential Property Record Card

[[Back to Search Results](#)]

[[Start a New Search](#)] [[Help with Printing](#)]

Search For Properties

Parcel ID	Street Name	
7110003000	<input type="text"/>	<input type="button" value="Search"/> <input type="button" value="Reset Search"/>

Parcel ID	Card	Map-Block-Lot	Location	Zoning	State Class	Acres
7110003000	1	7110003	5204 RAVEN DR		160 - 160	0.226

Owner Information

Hankes, Steven A
5204 Raven Dr
Greendale WI 53129

Deed Information

Book/Page: 10340820
Sale Date: 2014/03/06

Dwelling Information

Living Units:	1
Style:	Ranch
Story Height:	1
Exterior Wall:	Alum/Vinyl
Attic Living:	None
Basement:	Full
Year Built:	1966
Ground Floor Area:	1526
Basement Area:	1232
Fin BSMT Living:	0
Tot Living Area:	1526
Rec Room:	0 x 756
Tot Rooms:	7
Bedrooms:	3
Full Baths:	1
Half Baths:	1
Frame Fire Place	0
Mas Fire Place	1 / 1
Heating Type:	Central/Ac

Valuation

Land:	\$72,900
Building:	\$224,700
Total:	\$297,600

Property Picture



29.3% Increase

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
<div>2021</div>	Real Estate	7110003000	131 - VILLAGE OF GREENDALE	5204 RAVEN DR	STEVEN A HANKES 5204 RAVEN DR GREENDALE WI 53129
Tax Year Legend: <div> = owes prior year taxes</div> <div> = not assessed</div> <div> = not taxed <div>DelinquentCurrent</div></div>					
Assessment Summary					
Estimated Fair Market Value: 267800			Assessment Ratio: 0.8593	Legal Acres: 0.226	
2021 valuations					
Class		Acres	Land	Improvements	Total
G1 - RESIDENTIAL		0.226	65100	165000	230100
ALL CLASSES		0.226	65100	165000	230100

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2020	Real Estate	7110003000	131 - VILLAGE OF GREENDALE	5204 RAVEN DR	STEVEN A HANKES 5204 RAVEN DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					

Assessment Summary
Estimated Fair Market Value: 258800 Assessment Ratio: 0.888 Legal Acres: 0.226

2020 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	65100	165000	230100
ALL CLASSES	0.226	65100	165000	230100

2019 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	65100	165000	230100
ALL CLASSES	0.226	65100	165000	230100

2018 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	65100	165000	230100
ALL CLASSES	0.226	65100	165000	230100

2017 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	62600	144200	206800
ALL CLASSES	0.226	62600	144200	206800

2016 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	62600	144200	206800
ALL CLASSES	0.226	62600	144200	206800

Greendale, WI : Residential Property Record Card

[[Back to Search Results](#)]

[[Start a New Search](#)] [[Help with Printing](#)]

Search For Properties

Parcel ID	Street Name	
7110002000	<input type="text"/>	<input type="button" value="Search"/> <input type="button" value="Reset Search"/>

Parcel ID	Card	Map-Block-Lot	Location	Zoning	State Class	Acres
7110002000	1	7110002	5202 RAVEN DR		160 - 160	0.226

Owner Information

Cincinnati Indemnity Co.
P.O. Box 1368
Waukesha WI 53187

Deed Information

Book/Page: 0
Sale Date: n/a

Dwelling Information

Living Units: 1
Style: Ranch
Story Height: 1
Exterior Wall: Alum/Vinyl
Attic Living: None
Basement: Full
Year Built: 1965
Ground Floor Area: 1597
Basement Area: 1377
Fin BSMT Living: 0
Tot Living Area: 1597
Rec Room: 0 x 1012
Tot Rooms: 6
Bedrooms: 2
Full Baths: 1
Half Baths: 0
Frame Fire Place: 0
Mas Fire Place: 0
Heating Type: Central/Ac

Property Picture



Valuation

Land: \$72,900
Building: \$207,600
Total: \$280,500

28.4% Increase

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
<div>2021</div>	Real Estate	7110002000	131 - VILLAGE OF GREENDALE	5202 RAVEN DR	CINCINNATI INDEMNITY CO. P.O. BOX 1368 WAUKESHA WI 53187
Tax Year Legend: <div><div></div> owes prior year taxes</div> <div><div></div> is not assessed</div> <div><div></div> is not taxed</div> <div>Delinquent</div> <div>Current</div>					
Assessment Summary					
Estimated Fair Market Value: 254300			Assessment Ratio: 0.8593		Legal Acres: 0.226
2021 valuations					
Class		Acres	Land	Improvements	Total
G1 - RESIDENTIAL		0.226	65100	153400	218500
ALL CLASSES		0.226	65100	153400	218500

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2020	Real Estate	7110002000	131 - VILLAGE OF GREENDALE	5202 RAVEN DR	CINCINNATI INDEMNITY CO. P.O. BOX 1368 WAUKESHA WI 53187
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					
Assessment Summary					
Estimated Fair Market Value: 245800			Assessment Ratio: 0.8888		Legal Acres: 0.226
2020 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.226	65100	153400	218500	
ALL CLASSES	0.226	65100	153400	218500	
2019 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.226	65100	153400	218500	
ALL CLASSES	0.226	65100	153400	218500	
2018 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.226	65100	153400	218500	
ALL CLASSES	0.226	65100	153400	218500	
2017 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.226	62600	132500	195100	
ALL CLASSES	0.226	62600	132500	195100	
2016 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.226	62600	132500	195100	
ALL CLASSES	0.226	62600	132500	195100	

Greendale, WI : Residential Property Record Card

[[Back to Search Results](#)]

[[Start a New Search](#)] [[Help with Printing](#)]

Search For Properties

Parcel ID	Street Name		
<input type="text" value="7110001000"/>	<input type="text" value=""/>	<input type="button" value="Search"/>	<input type="button" value="Reset Search"/>

Parcel ID	Card	Map-Block-Lot	Location	Zoning	State Class	Acres
7110001000	1	7110001	5200 RAVEN DR		160 - 160	0.240

Owner Information

Browning, Irvin S & Mary L
5200 Raven Dr
Greendale WI 53129

Deed Information

Book/Page: 0
Sale Date: n/a

Dwelling Information

Living Units: 1
Style: Ranch
Story Height: 1
Exterior Wall: Alum/Vinyl
Attic Living: None
Basement: Full
Year Built: 1965
Ground Floor Area: 1400
Basement Area: 1120
Fin BSMT Living: 0
Tot Living Area: 1400
Rec Room: 0 x 0
Tot Rooms: 6
Bedrooms: 3
Full Baths: 1
Half Baths: 1
Frame Fire Place 0
Mas Fire Place 0
Heating Type: Central/Ac

Valuation

Land: \$73,000
Building: \$189,800
Total: \$262,800

Property Picture



30.8% Increase

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2021	Real Estate	7110001000	131 - VILLAGE OF GREENDALE	5200 RAVEN DR	IRVIN S & MARY L BROWNING 5200 RAVEN DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					

Assessment Summary
Estimated Fair Market Value: 233800 Assessment Ratio: 0.8593 Legal Acres: 0.240

2021 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.240	65200	135700	200900
ALL CLASSES	0.240	65200	135700	200900

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2020	Real Estate	7110001000	131 - VILLAGE OF GREENDALE	5200 RAVEN DR	IRVIN S & MARY L BROWNING 5200 RAVEN DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					

Assessment Summary
Estimated Fair Market Value: 226100 Assessment Ratio: 0.8888 Legal Acres: 0.240

2020 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.240	65200	135700	200900
ALL CLASSES	0.240	65200	135700	200900

2019 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.240	65200	135700	200900
ALL CLASSES	0.240	65200	135700	200900

2018 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.240	65200	135700	200900
ALL CLASSES	0.240	65200	135700	200900

2017 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.240	62700	108300	171000
ALL CLASSES	0.240	62700	108300	171000

2016 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.240	62700	108300	171000
ALL CLASSES	0.240	62700	108300	171000

Greendale, WI : Residential Property Record Card

[[Back to Search Results](#)]

[[Start a New Search](#)] [[Help with Printing](#)]

Search For Properties

Parcel ID	Street Name		
<input type="text" value="7110005000"/>	<input type="text" value="5208 RAVEN DR"/>	<input type="button" value="Search"/>	<input type="button" value="Reset Search"/>

Parcel ID	Card	Map-Block-Lot	Location	Zoning	State Class	Acres
7110005000	1	7110005	5208 RAVEN DR		160 - 160	0.226

Owner Information

Niemyjski, Jacqueline J Jason S Niemyjski
5208 Raven Dr
Greendale WI 53129

Deed Information

Book/Page:	0
Sale Date:	n/a

Dwelling Information

Living Units:	1
Style:	Ranch
Story Height:	1
Exterior Wall:	Alum/Vinyl
Attic Living:	None
Basement:	Full
Year Built:	1970
Ground Floor Area:	1374
Basement Area:	1094
Fin BSMT Living:	0
Tot Living Area:	1374
Rec Room:	0 x 0
Tot Rooms:	6
Bedrooms:	3
Full Baths:	1
Half Baths:	1
Frame Fire Place	0
Mas Fire Place	1 / 1
Heating Type:	Basic

Valuation

Land:	\$72,900
Building:	\$192,300
Total:	\$265,200

Property Picture



28.4% Increase

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2021	Real Estate	7110005000	131 - VILLAGE OF GREENDALE	5208 RAVEN DR	JACQUELINE J NIEMYJSKI JASON S NIEMYJSKI 5208 RAVEN DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					

Assessment Summary
Estimated Fair Market Value: 240500 Assessment Ratio: 0.8593 Legal Acres: 0.226

2021 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	65100	141500	206600
ALL CLASSES	0.226	65100	141500	206600

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2020	Real Estate	7110005000	131 - VILLAGE OF GREENDALE	5208 RAVEN DR	JACQUELINE J NIEMYJSKI JASON S NIEMYJSKI 5208 RAVEN DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					

Assessment Summary
Estimated Fair Market Value: 232400 Assessment Ratio: 0.8888 Legal Acres: 0.226

2020 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	65100	141500	206600
ALL CLASSES	0.226	65100	141500	206600

2019 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	65100	141500	206600
ALL CLASSES	0.226	65100	141500	206600

2018 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	65100	141500	206600
ALL CLASSES	0.226	65100	141500	206600

2017 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	62600	115200	177800
ALL CLASSES	0.226	62600	115200	177800

2016 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.226	62600	115200	177800
ALL CLASSES	0.226	62600	115200	177800

Homes not near communications tower

Greendale, WI : Residential Property Record Card

[[Back to Search Results](#)]

[[Start a New Search](#)] [[Help with Printing](#)]

Search For Properties

Parcel ID	Street Name	
<input type="text" value="7110224000"/>	<input type="text" value=""/>	<input type="button" value="Search"/> <input type="button" value="Reset Search"/>

Parcel ID	Card	Map-Block-Lot	Location	Zoning	State Class	Acres
7110224000	1	7110224	5859 RIVERSIDE DR		160 - 160	0.296

Owner Information

Meunier, Chad
6319 Parkview Rd
Greendale WI 53129

Deed Information

Book/Page: 0
Sale Date: n/a

Dwelling Information

Living Units: 1
Style: Ranch
Story Height: 1
Exterior Wall: Alum/Vinyl
Attic Living: None
Basement: Full
Year Built: 1969
Ground Floor Area: 1811
Basement Area: 1811
Fin BSMT Living: 0
Tot Living Area: 1811
Rec Room: 0 x 1430
Tot Rooms: 6
Bedrooms: 3
Full Baths: 1
Half Baths: 1
Frame Fire Place: 0
Mas Fire Place: 1 / 1
Heating Type: Central/Ac

Valuation

Land: \$77,500
Building: \$244,300
Total: \$321,800

Property Picture



25.6% Increase

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
<div>2021</div>	Real Estate	7110224000	131 - VILLAGE OF GREENDALE	5859 RIVERSIDE DR	CHAD MEUNIER 5859 RIVERSIDE DR GREENDALE WI 53129
Tax Year Legend: <div> = owes prior year taxes</div> <div> = not assessed</div> <div> = not taxed</div> <div>Delinquent</div> <div>Current</div>					
Assessment Summary					
Estimated Fair Market Value: 297500			Assessment Ratio: 0.8593		Legal Acres: 0.296
2021 valuations					
Class		Acres	Land	Improvements	Total
G1 - RESIDENTIAL		0.296	69200	186500	255700
ALL CLASSES		0.296	69200	186500	255700

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
<div>2020</div>	Real Estate	7110224000	131 - VILLAGE OF GREENDALE	5859 RIVERSIDE DR	CHAD MEUNIER 5859 RIVERSIDE DR GREENDALE WI 53129
Tax Year Legend: <div> = owes prior year taxes</div> <div> = not assessed</div> <div> = not taxed</div> <div>Delinquent</div> <div>Current</div>					
Assessment Summary					
Estimated Fair Market Value: 287700			Assessment Ratio: 0.8888		Legal Acres: 0.296
2020 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.296	69200	186500	255700	
ALL CLASSES	0.296	69200	186500	255700	

2019 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.296	69200	186500	255700
ALL CLASSES	0.296	69200	186500	255700
2018 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.296	69200	186500	255700
ALL CLASSES	0.296	69200	186500	255700

2017 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.296	66500	174700	241200
ALL CLASSES	0.296	66500	174700	241200
2016 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.296	66500	174700	241200
ALL CLASSES	0.296	66500	174700	241200

Greendale, WI : Residential Property Record Card

[[Back to Search Results](#)]

[[Start a New Search](#)] [[Help with Printing](#)]

Search For Properties

Parcel ID	Street Name	
7110223000	<input type="text"/>	<input type="button" value="Search"/> <input type="button" value="Reset Search"/>

Parcel ID	Card	Map-Block-Lot	Location	Zoning	State Class	Acres
7110223000	1	7110223	5855 RIVERSIDE DR		160 - 160	0.311

Owner Information

Herrenbruck Trust, Steven P & Sandra J
5855 Riverside Dr
Greendale WI 53129

Deed Information

Book/Page: 0
Sale Date: n/a

Dwelling Information

Living Units: 1
Style: Ranch
Story Height: 1
Exterior Wall: Frame
Attic Living: None
Basement: Full
Year Built: 1969
Ground Floor Area: 1709
Basement Area: 1689
Fin BSMT Living: 0
Tot Living Area: 1709
Rec Room: 0 x 1267
Tot Rooms: 7
Bedrooms: 3
Full Baths: 1
Half Baths: 1
Frame Fire Place: 0
Mas Fire Place: 1 / 1
Heating Type: Central/Ac

Property Picture



Valuation

Land: \$77,600
Building: \$239,200
Total: \$316,800

26.9% Increase

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2021	Real Estate	7110223000	131 - VILLAGE OF GREENDALE	5855 RIVERSIDE DR	STEVEN P & SANDRA J HERRENBRUCK TRUST 5855 RIVERSIDE DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					
Assessment Summary					
Estimated Fair Market Value: 290500			Assessment Ratio: 0.8593		Legal Acres: 0.311
2021 valuations					
Class		Acres	Land	Improvements	Total
G1 - RESIDENTIAL		0.311	69300	180400	249700
ALL CLASSES		0.311	69300	180400	249700

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2020	Real Estate	7110223000	131 - VILLAGE OF GREENDALE	5855 RIVERSIDE DR	STEVEN P & SANDRA J HERRENBRUCK TRUST 5855 RIVERSIDE DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					

Assessment Summary

Estimated Fair Market Value: **281000**

Assessment Ratio: **0.8888**

Legal Acres: **0.311**

2020 valuations

Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.311	69300	180400	249700
ALL CLASSES	0.311	69300	180400	249700

2019 valuations

Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.311	69300	180400	249700
ALL CLASSES	0.311	69300	180400	249700

2018 valuations

Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.311	69300	180400	249700
ALL CLASSES	0.311	69300	180400	249700

2017 valuations

Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.311	66600	165900	232500
ALL CLASSES	0.311	66600	165900	232500

2016 valuations

Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.311	66600	165900	232500
ALL CLASSES	0.311	66600	165900	232500

Greendale, WI : Residential Property Record Card

[[Back to Search Results](#)]

[[Start a New Search](#)] [[Help with Printing](#)]

Search For Properties

Parcel ID	Street Name	
<input type="text" value="7110253000"/>	<input type="text" value=""/>	<input type="button" value="Search"/> <input type="button" value="Reset Search"/>

Parcel ID	Card	Map-Block-Lot	Location	Zoning	State Class	Acres
7110253000	1	7110253	5866 RIVERSIDE DR		160 - 160	0.240

Owner Information

Jankowski, James R & Susan H
5866 Riverside Dr
Greendale WI 53129

Deed Information

Book/Page: 0
Sale Date: n/a

Dwelling Information

Living Units: 1
Style: Split Level
Story Height: 1
Exterior Wall: Alum/Vinyl
Attic Living: None
Basement: Partial
Year Built: 1969
Ground Floor Area: 1108
Basement Area: 1082
Fin BSMT Living: 676
Tot Living Area: 1784
Rec Room: 0 x 0
Tot Rooms: 7
Bedrooms: 3
Full Baths: 1
Half Baths: 1
Frame Fire Place: 0
Mas Fire Place: 1 / 1
Heating Type: Central/Ac

Valuation

Land: \$73,000
Building: \$215,600
Total: \$288,600

Property Picture



20.7% Increase

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2021	Real Estate	7110253000	131 - VILLAGE OF GREENDALE	5866 RIVERSIDE DR	JAMES R & SUSAN H JANKOWSKI 5866 RIVERSIDE DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					

Assessment Summary
Estimated Fair Market Value: 278400 Assessment Ratio: 0.8593 Legal Acres: 0.240

2021 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.240	65200	174000	239200
ALL CLASSES	0.240	65200	174000	239200

2020 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.240	65200	174000	239200
ALL CLASSES	0.240	65200	174000	239200

2019 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.240	65200	174000	239200
ALL CLASSES	0.240	65200	174000	239200

2018 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.240	65200	174000	239200
ALL CLASSES	0.240	65200	174000	239200

2017 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.240	62700	152700	215400
ALL CLASSES	0.240	62700	152700	215400

2016 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.240	62700	152700	215400
ALL CLASSES	0.240	62700	152700	215400

Greendale, WI : Residential Property Record Card

[[Back to Search Results](#)]

[[Start a New Search](#)] [[Help with Printing](#)]

Search For Properties

Parcel ID	Street Name		
<input type="text" value="7110221000"/>	<input type="text" value=""/>	<input type="button" value="Search"/>	<input type="button" value="Reset Search"/>

Parcel ID	Card	Map-Block-Lot	Location	Zoning	State Class	Acres
7110221000	1	7110221	5850 RIVERSIDE DR		160 - 160	0.355

Owner Information

Marks, Walter R Mary J Marks
5850 Riverside Dr
Greendale WI 53129

Deed Information

Book/Page: 0
Sale Date: n/a

Dwelling Information

Living Units: 1
Style: Ranch
Story Height: 1
Exterior Wall: Frame
Attic Living: None
Basement: Full
Year Built: 1970
Ground Floor Area: 1544
Basement Area: 1204
Fin BSMT Living: 0
Tot Living Area: 1544
Rec Room: 0 x 602
Tot Rooms: 7
Bedrooms: 3
Full Baths: 1
Half Baths: 1
Frame Fire Place: 0
Mas Fire Place: 1 / 1
Heating Type: Central/Ac

Valuation

Land: \$78,100
Building: \$213,800
Total: \$291,900

Property Picture



26.6% Increase

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2021 ▾	Real Estate	7110221000	131 - VILLAGE OF GREENDALE	5850 RIVERSIDE DR	WALTER R MARKS MARY J MARKS 5850 RIVERSIDE DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					

Assessment Summary				
Estimated Fair Market Value: 268200		Assessment Ratio: 0.8593		Legal Acres: 0.355
2021 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.355	69700	160800	230500
ALL CLASSES	0.355	69700	160800	230500

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2020 ▾	Real Estate	7110221000	131 - VILLAGE OF GREENDALE	5850 RIVERSIDE DR	WALTER R MARKS MARY J MARKS 5850 RIVERSIDE DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					

Assessment Summary				
Estimated Fair Market Value: 259300		Assessment Ratio: 0.8888		Legal Acres: 0.355
2020 valuations				
Class	Acres	Land	Improvements	Total
G1 - RESIDENTIAL	0.355	69700	160800	230500
ALL CLASSES	0.355	69700	160800	230500

2019 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.355	69700	160800	230500	
ALL CLASSES	0.355	69700	160800	230500	

2018 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.355	69700	160800	230500	
ALL CLASSES	0.355	69700	160800	230500	

2017 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.355	67000	152100	219100	
ALL CLASSES	0.355	67000	152100	219100	

2016 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.355	67000	152100	219100	
ALL CLASSES	0.355	67000	152100	219100	

Greendale, WI : Residential Property Record Card

[[Back to Search Results](#)]

[[Start a New Search](#)] [[Help with Printing](#)]

Search For Properties

Parcel ID	Street Name		
<input type="text" value="7110220000"/>	<input type="text" value=""/>	<input type="button" value="Search"/>	<input type="button" value="Reset Search"/>

Parcel ID	Card	Map-Block-Lot	Location	Zoning	State Class	Acres
7110220000	1	7110220	5844 RIVERSIDE DR		160 - 160	0.311

Owner Information

Porter, George J & Claudia C
5844 Riverside Dr
Greendale WI 53129

Deed Information

Book/Page:	0
Sale Date:	n/a

Dwelling Information

Living Units:	1
Style:	Ranch
Story Height:	1
Exterior Wall:	Alum/Vinyl
Attic Living:	None
Basement:	Full
Year Built:	1970
Ground Floor Area:	1424
Basement Area:	1084
Fin BSMT Living:	0
Tot Living Area:	1424
Rec Room:	0 x 0
Tot Rooms:	7
Bedrooms:	3
Full Baths:	1
Half Baths:	1
Frame Fire Place	0
Mas Fire Place	0
Heating Type:	Basic

Valuation

Land:	\$77,600
Building:	\$192,900
Total:	\$270,500

Property Picture



28.1% Increase

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
<div>2021</div>	Real Estate	7110220000	131 - VILLAGE OF GREENDALE	5844 RIVERSIDE DR	GEORGE J & CLAUDIA C PORTER 5844 RIVERSIDE DR GREENDALE WI 53129
Tax Year Legend: <div> = owes prior year taxes</div> <div> = not assessed</div> <div> = not taxed</div> <div>Delinquent</div> <div>Current</div>					
Assessment Summary					
Estimated Fair Market Value: 245700			Assessment Ratio: 0.8593		Legal Acres: 0.311
2021 valuations					
Class		Acres	Land	Improvements	Total
G1 - RESIDENTIAL		0.311	69300	141900	211200
ALL CLASSES		0.311	69300	141900	211200

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
<div>2020</div>	Real Estate	7110220000	131 - VILLAGE OF GREENDALE	5844 RIVERSIDE DR	GEORGE J & CLAUDIA C PORTER 5844 RIVERSIDE DR GREENDALE WI 53129
Tax Year Legend: <div> = owes prior year taxes</div> <div> = not assessed</div> <div> = not taxed</div> <div>Delinquent</div> <div>Current</div>					
Assessment Summary					
Estimated Fair Market Value: 237700			Assessment Ratio: 0.8888		Legal Acres: 0.311
2020 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.311	69300	141900	211200	
ALL CLASSES	0.311	69300	141900	211200	

2019 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.311	69300	141900	211200	
ALL CLASSES	0.311	69300	141900	211200	

2018 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.311	69300	141900	211200	
ALL CLASSES	0.311	69300	141900	211200	

2017 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.311	66600	115400	182000	
ALL CLASSES	0.311	66600	115400	182000	

2016 valuations					
Class	Acres	Land	Improvements	Total	
G1 - RESIDENTIAL	0.311	66600	115400	182000	
ALL CLASSES	0.311	66600	115400	182000	



Greendale, WI : Residential Property Record Card

[[Back to Search Results](#)]

[[Start a New Search](#)] [[Help with Printing](#)]

Search For Properties

Parcel ID	Street Name	
<input type="text" value="7110225000"/>	<input type="text" value=""/>	<input type="button" value="Search"/> <input type="button" value="Reset Search"/>

Parcel ID	Card	Map-Block-Lot	Location	Zoning	State Class	Acres
7110225000	1	7110225	5863 RIVERSIDE DR		160 - 160	0.279

Owner Information

Mark E. And Anna Marie Laughran Trust
5863 Riverside Drive
Greendale WI 53129

Deed Information

Book/Page: 10809107
Sale Date: 2018/09/05

Dwelling Information

Living Units:	1
Style:	Bi-Level
Story Height:	1
Exterior Wall:	Frame
Attic Living:	None
Basement:	Partial
Year Built:	1973
Ground Floor Area:	1610
Basement Area:	1034
Fin BSMT Living:	792
Tot Living Area:	2402
Rec Room:	0 x 0
Tot Rooms:	8
Bedrooms:	4
Full Baths:	1
Half Baths:	1
Frame Fire Place	0
Mas Fire Place	1 / 1
Heating Type:	Central/Ac

Valuation

Land:	\$77,100
Building:	\$239,100
Total:	\$316,200

Property Picture



20.3% Increase

Tax Year	Prop Type	Parcel Number	Municipality	Property Address	Billing Address
2021	Real Estate	7110225000	131 - VILLAGE OF GREENDALE	5863 RIVERSIDE DR	MARK E & ANNA MARIE LAUGHRAN TRUST DATED MARCH 15 2018 5863 RIVERSIDE DR GREENDALE WI 53129
Tax Year Legend: = owes prior year taxes = not assessed = not taxed Delinquent Current					
Assessment Summary					
Estimated Fair Market Value: 305900			Assessment Ratio: 0.8593		Legal Acres: 0.279
2021 valuations					
Class		Acres	Land	Improvements	Total
G1 - RESIDENTIAL		0.279	68800	194000	262800
ALL CLASSES		0.279	68800	194000	262800
2020 valuations					
Class		Acres	Land	Improvements	Total
G1 - RESIDENTIAL		0.279	68800	194000	262800
ALL CLASSES		0.279	68800	194000	262800
2019 valuations					
Class		Acres	Land	Improvements	Total
G1 - RESIDENTIAL		0.279	68800	194000	262800
ALL CLASSES		0.279	68800	194000	262800
2018 valuations					
Class		Acres	Land	Improvements	Total
G1 - RESIDENTIAL		0.279	68800	194000	262800
ALL CLASSES		0.279	68800	194000	262800
2017 valuations					
Class		Acres	Land	Improvements	Total
G1 - RESIDENTIAL		0.279	66200	166700	232900
ALL CLASSES		0.279	66200	166700	232900
2016 valuations					
Class		Acres	Land	Improvements	Total
G1 - RESIDENTIAL		0.279	66200	166700	232900
ALL CLASSES		0.279	66200	166700	232900

Derek McGrew

From: Clerk@townofburke.com
Sent: Monday, December 5, 2022 4:20 PM
To: 'Derek McGrew'
Subject: RE: Property Value - Cell Tower

We are unaware of any effect that any cell tower has had on Town property.

PJ

PJ Lentz, CMC, WCMC
Administrator Clerk Treasurer
5365 Reiner Rd
Madison WI 53718
Town of Burke, Dane Cty
Population 3,264
Phone: 608-825-8420

From: Derek McGrew <derek@cellusite.net>
Sent: Monday, December 5, 2022 3:01 PM
To: clerk@townofburke.com
Subject: Property Value - Cell Tower

Hello,

I am doing a report related to cell towers and their effect on property values in Dane County, WI. Can you please provide to me a list of properties whereby the value of the property was increased or decreased due to the existence of a cell tower? Or, worst case scenario, state that you are unaware of any effect that any cell tower has had on any property?

Appreciate it!

Derek B. McGrew
VP / CelluSite, LLC
103 Wilshire Court
Noblesville, IN 46062
317-507-4541
derek@cellusite.net
www.cellusite.net

Derek McGrew

From: Carissa Lyle <clerk@townofchristiana.com>
Sent: Tuesday, December 6, 2022 10:19 AM
To: Derek McGrew
Subject: RE: Property Value - Cell Tower

Hi Derek,

Unfortunately, I am not aware of any affect that any cell tower has had on any property values. Best of luck in your report.

All the best,

Carissa Lyle
Clerk-Treasurer
Town of Christiana, Dane Co. Wisconsin
773 Koshkonong Road
Cambridge, WI 53523
Office-608.423.3816
Cell-608.509.6223

From: Derek McGrew <derek@cellusite.net>
Sent: Monday, December 5, 2022 3:02 PM
To: Carissa Lyle <clerk@townofchristiana.com>
Subject: Property Value - Cell Tower

Hello,

I am doing a report related to cell towers and their effect on property values in Dane County, WI. Can you please provide to me a list of properties whereby the value of the property was increased or decreased due to the existence of a cell tower? Or, worst case scenario, state that you are unaware of any effect that any cell tower has had on any property?

Appreciate it!

Derek B. McGrew
VP / CelluSite, LLC
103 Wilshire Court
Noblesville, IN 46062
317-507-4541
derek@cellusite.net
www.cellusite.net

Derek McGrew

From: Bobbi Zauner <bobbi@cross-plains.wi.us>
Sent: Thursday, December 8, 2022 9:39 AM
To: Derek McGrew
Subject: RE: Property Value - Cell Tower

I am not aware of any changes in property value to adjacent or surrounding properties.

Bobbi Zauner, CPA
Finance Director/Clerk

Village of Cross Plains
2417 Brewery Rd.
Cross Plains, WI 53528
608-798-3241 x106

Alert to Cross Plains Elected Officials and Members of Village Committees, Boards, Commission and Task Forces: In order to comply with the Open Meetings Act requirements, please limit any reply to only the sender of this electronic communication.

From: Derek McGrew <derek@cellusite.net>
Sent: Monday, December 5, 2022 3:45 PM
To: Bobbi Zauner <bobbi@cross-plains.wi.us>
Subject: RE: Property Value - Cell Tower

Thank you for the quick response Bobbi - just so you understand, I'm asking about property values of adjacent or surrounding properties and if their assessed value increased or decreased due to the existence of that tower you referred to.

Appreciate it!

Derek B. McGrew
VP / CelluSite, LLC
103 Wilshire Court
Noblesville, IN 46062
317-507-4541
derek@cellusite.net
www.cellusite.net

From: Bobbi Zauner <bobbi@cross-plains.wi.us>
Sent: Monday, December 5, 2022 4:34 PM
To: Derek McGrew <derek@cellusite.net>
Subject: RE: Property Value - Cell Tower

Our only cell tower in the Village that I am aware of is on the property owned by the Fire District, which has an assessed value of \$0.

Bobbi Zauner, CPA
Finance Director/Clerk

Village of Cross Plains

2417 Brewery Rd.
Cross Plains, WI 53528
608-798-3241 x106

Alert to Cross Plains Elected Officials and Members of Village Committees, Boards, Commission and Task Forces: In order to comply with the Open Meetings Act requirements, please limit any reply to only the sender of this electronic communication.

From: Derek McGrew <derek@cellusite.net>
Sent: Monday, December 5, 2022 3:21 PM
To: Bobbi Zauner <bobbi@cross-plains.wi.us>
Subject: Property Value - Cell Tower

Hello,

I am doing a report related to cell towers and their effect on property values in Dane County, WI. Can you please provide to me a list of properties whereby the value of the property was increased or decreased due to the existence of a cell tower? Or, worst case scenario, state that you are unaware of any effect that any cell tower has had on any property?

Appreciate it!

Derek B. McGrew
VP / CelluSite, LLC
103 Wilshire Court
Noblesville, IN 46062
317-507-4541
derek@cellusite.net
www.cellusite.net

Derek McGrew

From: Jana Nolden <townofdanetreasurer@gmail.com>
Sent: Monday, December 5, 2022 6:47 PM
To: Derek McGrew
Subject: Re: Property Value - Cell Tower

I'm unaware of any effects of cell towers on property values.

On Dec 5, 2022, at 3:03 PM, Derek McGrew <derek@cellusite.net> wrote:

Hello,

I am doing a report related to cell towers and their effect on property values in Dane County, WI. Can you please provide to me a list of properties whereby the value of the property was increased or decreased due to the existence of a cell tower? Or, worst case scenario, state that you are unaware of any effect that any cell tower has had on any property?

Appreciate it!

Derek B. McGrew
VP / CelluSite, LLC
103 Wilshire Court
Noblesville, IN 46062
317-507-4541
derek@cellusite.net
www.cellusite.net

Derek McGrew

From: montrosetreasurer@chorus.net
Sent: Wednesday, December 7, 2022 2:47 PM
To: 'Derek McGrew'
Subject: RE: Property Value - Cell Tower

Hello-

After discussing this matter with the board members last night we have not noticed a significant change (increased/decreased) in property values in coloration with the three cell towers that are currently in our township. Although the values have increased slightly due to assessment. This is probably not the answer that you were looking for, but this is the best that I can do for you.

Thanks,

Melissa Salisbury

Melissa Salisbury
Town of Montrose
Treasurer

Phone: 608-424-3848
Email: montrosetreasurer@chorus.net
1341 Diane Ave
Belleville WI 53508

From: Derek McGrew <derek@cellusite.net>
Sent: Monday, December 5, 2022 3:06 PM
To: montrosetreasurer@chorus.net
Subject: RE: Property Value - Cell Tower

Hello,

I am doing a report related to cell towers and their effect on property values in Dane County, WI. Can you please provide to me a list of properties whereby the value of the property was increased or decreased due to the existence of a cell tower? Or, worst case scenario, state that you are unaware of any effect that any cell tower has had on any property?

Appreciate it!

Derek B. McGrew
VP / CelluSite, LLC
103 Wilshire Court
Noblesville, IN 46062
317-507-4541
derek@cellusite.net
www.cellusite.net

Derek McGrew

From: Town of Pleasant Springs <clerktreasurer@pleasantsprings.org>
Sent: Tuesday, December 6, 2022 4:42 PM
To: Derek McGrew
Subject: Re: Property Value - Cell Tower

Hi,

I am unaware of any properties containing a cell tower where it has affected property values.

Thank you,

Sincerely,

***Maria "Pili" Hougan, WCMC, Member of the WMCA
Wisconsin Certified Municipal Clerk/Treasurer - Office Manager, Town of Pleasant Springs
(608)873-3063 fax (608)877-9444
Est. Population 3,235***

On Mon, Dec 5, 2022 at 3:07 PM Derek McGrew <derek@cellusite.net> wrote:

Hello,

I am doing a report related to cell towers and their effect on property values in Dane County, WI. Can you please provide to me a list of properties whereby the value of the property was increased or decreased due to the existence of a cell tower? Or, worst case scenario, state that you are unaware of any effect that any cell tower has had on any property?

Appreciate it!

Derek B. McGrew

VP / CelluSite, LLC

103 Wilshire Court

Noblesville, IN 46062

317-507-4541

derek@cellusite.net

www.cellusite.net

Derek McGrew

From: Town Hall <townhall@town.springfield.wi.us>
Sent: Monday, December 5, 2022 4:14 PM
To: 'Derek McGrew'; townhall@town.springfield.wi.us
Subject: RE: Property Value - Cell Tower

The Town does not maintain any such listing. We have two cell towers that were established in the 1990s or thereabouts, with minimal housing near their site at the time of construction.

Díanah Fayas

Clerk-Treasurer



6157 CTH P, Dane, WI 53529

(608) 849-7887

www.town.springfield.wi.us

The information contained in this e-mail message, and in any accompanying attachment, is confidential and privileged. It is intended only for the use of each recipient. If you are not an intended recipient, or the employee or agent responsible to deliver this message to an intended recipient, you are hereby notified that any disclosure, copying or distribution of the contents of this transmission is strictly prohibited. If you have received this e-mail in error, please notify us immediately by telephone at 608-849-7887 and delete the content from all computers.

From: Derek McGrew <derek@cellusite.net>
Sent: Monday, December 5, 2022 3:10 PM
To: townhall@town.springfield.wi.us
Subject: Property Value - Cell Tower

Hello,

I am doing a report related to cell towers and their effect on property values in Dane County, WI. Can you please provide to me a list of properties whereby the value of the property was increased or decreased due to the existence of a cell tower? Or, worst case scenario, state that you are unaware of any effect that any cell tower has had on any property?

Appreciate it!

Derek B. McGrew
VP / CelluSite, LLC
103 Wilshire Court
Noblesville, IN 46062
317-507-4541
derek@cellusite.net
www.cellusite.net

Derek McGrew

From: Kay Weisensel <treasurer@townofsunprairie.info>
Sent: Tuesday, December 6, 2022 9:26 AM
To: 'Derek McGrew'
Subject: RE: Property Value - Cell Tower

Good Morning,

I am unaware of any effect that any cell tower has had on any property in the Town of Sun Prairie.

Thanks,

Kay Weisensel, Treasurer

Town of Sun Prairie
5556 Twin Lane Rd.
Marshall, WI 53559
(608) 837-6688
Fax: (608) 825-4864
www.townofsunprairie.com
treasurer@townofsunprairie.info

From: Derek McGrew <derek@cellusite.net>
Sent: Monday, December 5, 2022 3:11 PM
To: treasurer@townofsunprairie.info
Subject: Property Value - Cell Tower

Hello,

I am doing a report related to cell towers and their effect on property values in Dane County, WI. Can you please provide to me a list of properties whereby the value of the property was increased or decreased due to the existence of a cell tower? Or, worst case scenario, state that you are unaware of any effect that any cell tower has had on any property?

Appreciate it!

Derek B. McGrew
VP / CelluSite, LLC
103 Wilshire Court
Noblesville, IN 46062
317-507-4541
derek@cellusite.net
www.cellusite.net

Derek McGrew

From: Dean Grosskopf <dgrosskopf@townofwestport.org>
Sent: Thursday, December 8, 2022 11:51 AM
To: Derek McGrew
Subject: RE: Property Value - Cell Tower

Indeed, I am unaware of any effect that any cell tower has had on any property, but that is not to say that it couldn't.

Dean A. Grosskopf

Administrator/Clerk-Treasurer

Town of Westport (Dane County, WI)

5387 Mary Lake Rd.

Waunakee, WI 53597

608-849-4372

All e-mail sent to the Town of Westport (Population 4,102) is subject to the Wisconsin open records law.

IF THIS MESSAGE IS TO THE ENTIRE MEMBERSHIP OF A GOVERNMENTAL BODY, *you are advised* that this email should be treated as a one-way communication and that responses "to all" should be avoided because those responses could create a "walking quorum" of the body in violation of the open meetings law (Office of the Wisconsin Attorney General Letter of 3/19/2010).

From: Derek McGrew <derek@cellusite.net>
Sent: Monday, December 5, 2022 3:18 PM
To: Dean Grosskopf <dgrosskopf@townofwestport.org>
Subject: Property Value - Cell Tower

Hello,

I am doing a report related to cell towers and their effect on property values in Dane County, WI. Can you please provide to me a list of properties whereby the value of the property was increased or decreased due to the existence of a cell tower? Or, worst case scenario, state that you are unaware of any effect that any cell tower has had on any property?

Appreciate it!

Derek B. McGrew
VP / CelluSite, LLC
103 Wilshire Court
Noblesville, IN 46062
317-507-4541
derek@cellusite.net
www.cellusite.net

Exhibit J

January 23, 2024

Grant Phillips
Tower King
23434 Elliott Road
Defiance, OH

RE: Proposed 170' Sabre Self-Supporting Tower for New McFarland, WI

Dear Mr. Phillips,

Upon receipt of order, we propose to design a tower for the above referenced project for a Basic Wind Speed of 107 mph and 40 mph with 1.5" radial ice, Risk Category II, Exposure Category C, and Topographic Category 1 in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-G, "Structural Standard for Antenna Supporting Structures and Antennas".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the tower will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

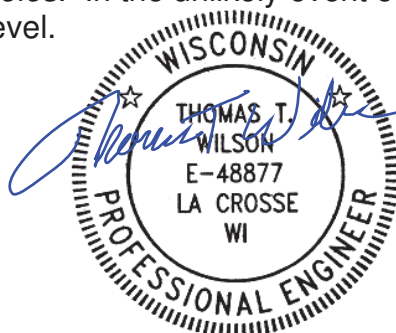
Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within one or more of the tower members in the upper portion. This would result in a buckling failure mode, where the loaded member would bend beyond its elastic limit (beyond the point where the member would return to its original shape upon removal of the wind load).

Therefore, it is likely that the overall effect of such an extreme wind event would be localized buckling of a tower section. Assuming that the wind pressure profile is similar to that used to design the tower, the tower is most likely to buckle at the location of the highest combined stress ratio in the upper portion of the tower. This would result in the portion of the tower above the failure location "folding over" onto the portion of the tower below the failure location.

Please note that this letter only applies to the above referenced tower designed and manufactured by Sabre Towers & Poles. In the unlikely event of total separation, this would result in a 55' fall radius at ground level.

Sincerely,

Tom Wilson, P.E.
Design Engineer



1/23/2024