

## Lane, Roger

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**From:** Ron Klaas <rklaas@donofrio.cc>  
**Sent:** Tuesday, May 07, 2019 4:04 PM  
**To:** Lane, Roger  
**Cc:** Mark Johnson (markeldonj@gmail.com); Chris Johnson (cjohnsonm24@gmail.com); Johnson Theresa; 'Buck Sweeney'; Mitchell R. Olson; MARK USDC; design@udvari-solner.com; jhanewall@townofalbion.net; Josh Meyerhofer  
**Subject:** RE: Coachman's Resort  
**Attachments:** 0618 10 Site Plan.pdf; Site Plan Aerial.pdf

Roger,

Per your email from last Friday, we have updated the Site Plan to address comment #1. The 4 units along the south side and the 4 units along the east side have been slid further into the site to provide a minimum distance of 10' from the house to the setback line. That would allow for an 8' x 12' deck on the unit closest to the setback, and an even deeper deck on the other side since there is a 6' offset between the units. Some of these may even end up as patio's, depending on buyer preference.

We are trying to maximize the green area in the middle of the site, as well as good turning radii for internal car circulation, so that is the reason for positioning the buildings near the setback lines. The 42' setback along CTH A already has some very nice trees in it, and there will be additional landscaping to supplement those. There is a good brush line along the south fence line that will be kept, and landscaping will supplement that to create screening there.

Paul Hardy's septic plan was preliminary, prior to the Site Plan being finalized. He has reviewed the layout of the 3 septic fields as now proposed, and approved that. Paul has designed many septic systems over the 40 years that he has been doing this, and will make sure this system meets all applicable codes. We have also touched base with Brandon at Dane County Health Department (they issue the septic permits), and we will work with him to make sure the system complies with the County and State standards.

Randy Pickering at Edgerton Fire Department is reviewing the Site Plan, including the proposed emergency access road to Maple Grove Road. At the Albion Plan Commission meeting, he mentioned that an emergency access road to Maple Grove would be a great solution for him, which is why the Johnson's decided to go with it. I will forward his review comments/approval as soon as we receive those. Please see the second attachment for the layout of the emergency access road across a narrow strip of the golf course. The CSM that has been prepared shows a 40' access easement in this location. There will be a locked gate at Maple Grove Road, and an internal sign identifying this as emergency access only.

As you noted for Stormwater Management, Jason Tuggle has completed a cursory review and it was his opinion that the performance standards could be met.

Also as you noted, safe access can be provided at the southerly entrance to the Coachman's properties, and we will work out the details of that intersection with Pam Dunphy.

Please let me know if you have any questions about these issues.

Thanks,

**Ronald R. Klaas, P.E.**

**D'Onofrio Kottke and Associates** | President

7530 Westward Way | Madison, WI 53717

Phone (608) 833-7530 | Cell (608) 220-7098

[rklaas@donofrio.cc](mailto:rklaas@donofrio.cc) | [www.donofrio.cc](http://www.donofrio.cc)

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**From:** Lane, Roger <lane.roger@countyofdane.com>

**Sent:** Friday, May 03, 2019 1:47 PM

**To:** Ron Klaas <rklaas@donofrio.cc>

**Cc:** Mark Johnson (markeldonj@gmail.com) <markeldonj@gmail.com>; Chris Johnson (cjohnsonm24@gmail.com) <cjohnsonm24@gmail.com>; Johnson Theresa <theresa@coachmans.com>; 'Buck Sweeney' <CSweeney@axley.com>; Mitchell R. Olson <MOlson@axley.com>; MARK USDC <mark@udvari-solner.com>; design@udvari-solner.com; jhanewall@townofalbion.net

**Subject:** RE: Coachman's Resort

Dear Ron,

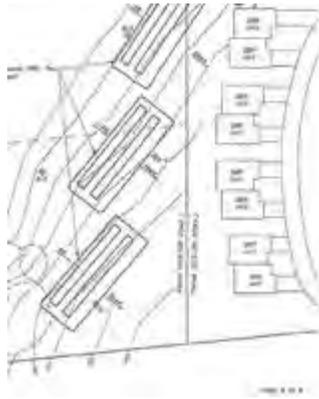
I had chance to review the information regarding the proposed condominium project. Below are my comments:

1. Units 11 through 14 and 21 through 24 are located extremely close to the setback limits. It appears that there is approximately 8 feet along the south setback line and 10 feet along the Hwy A setback line. The units have been designed for access via a patio door into the setback areas. It appears that there is insufficient room for the installation of a deck as stated in previous reviews. Staff will suggest that the units be repositioned a minimum of 15 feet away from the setback line to ensure adequate room for a deck. Please provide an update site plan to address the rear deck issue.
2. The information presented for the on-site sanitary septic system prepared by Paul Hardy differs from the site development plan. The location of the Unit 1 through 4 shown on the grading plan appears to be located over the location of the two mound systems. The submittal lacks sufficient evidence to show that adequate utilities can be installed on the site to support the development. In addition, there has been no evidence that the community wastewater system will comply with the nitrate-nitrogen standard established by the federal Maximum Contaminant Level (MCL) and the Wisconsin Groundwater Enforcement Standard (ES). The federal MCL is found in §40 CFR 141.62. The Wisconsin Groundwater Enforcement Standard is found in Wisconsin Administrative Code NR 140.10.
3. At the public hearing, it was explained that the Edgerton Fire Department would like a secondary access to the development. Please provide a site plan showing the proposed secondary access to Maple Grove Road. Provide a letter of acceptance from the Fire Department.
4. Storm water management – It appears that there is sufficient area on the property for storm water management purposes.
5. Highway Access – It appears that safe access can be provided to the site if a Class B intersection is constructed at the southerly access point to the property as requested by the Dane County Highway Department.

In order to be placed on the May 14<sup>th</sup> ZLR Committee agenda, all additional information needs to be submitted to the Zoning Division by Tuesday, May 7<sup>th</sup>.

Roger Lane

Dane County Zoning Administrator



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**From:** Ron Klaas [<mailto:rklaas@donofrio.cc>]

**Sent:** Monday, April 29, 2019 5:13 PM

**To:** Lane, Roger; Allan, Majid

**Cc:** Mark Johnson ([markeldonj@gmail.com](mailto:markeldonj@gmail.com)); Chris Johnson ([cjohnsonm24@gmail.com](mailto:cjohnsonm24@gmail.com)); Johnson Theresa; 'Buck Sweeney'; Mitchell R. Olson; MARK USDC; [design@udvari-solner.com](mailto:design@udvari-solner.com); Josh Meyerhofer

**Subject:** Coachman's Resort

CAUTION: External Email - Beware of unknown links and attachments. Contact Helpdesk at 266-4440 if unsure

Roger,

In response to your staff review of the this project, we have assembled the following information (see attachments);

1. Preliminary Site Plan (all decks will be kept outside of the setback on the south side of the property).
2. First floor layout
3. Second floor layout
4. Preliminary Grading Plan (this was sent to County Land Conservation and Josh Harder thought he could have a cursory review of the stormwater done on Tuesday).
5. CSM that will create 4 lots; 1 for the Condo site, a lot for all of the commercial buildings, a lot for the single family residence on Maple Grove, and the 4<sup>th</sup> lot is the residual golf course lands east of Maple Grove. This will coincide with the rezoning descriptions that have been provided to clean up the various zoning parcels.
6. Paul Hardy soils review and preliminary design of the septic fields.
7. Explanation of how the six standards for a Conditional Use Permit have been met.
8. Type B2 intersection on CTH A, per the discussion with Pam Dunphy on what she will require.

The Johnson's have agreed to provide an emergency access road from the project out to Maple Grove Road, which will satisfy the Fire Department concerns about turning around and secondary access. This has been shown on the Site Plan and the Grading Plan. We will provide a gate at Maple Grove Road, and an interior sign marking it as emergency access only.

Between the owners, architects, attorneys, engineers, and land surveyors, a lot of work has gone into making this a viable project. Please let me know if you have any questions as you review this material. The Town has approved the CUP, and will be present at the ZLR meeting on Tuesday night in case there are any questions for them. Once that is approved, they will be completing a thorough Site Plan review process.

**Ronald R. Klaas, P.E.**

**D'Onofrio Kottke and Associates** | President

7530 Westward Way | Madison, WI 53717

Phone (608) 833-7530 | Cell (608) 220-7098

## COACHMAN'S RESORT CUP APPLICATION

### SIX STANDARDS FOR A CONDITIONAL USE PERMIT

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

This is a 24/26-unit condominium unit connected to the long-standing Coachmen's golf course driving range. Such housing will not impact public health, safety, comfort or welfare. No noise or environmental impacts will arise. No significant traffic impacts will be observed when added to the existing level of traffic on Hwy A and US Hwy 51. Town services can be readily offered to these proximately located new residences.

2. *The uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by establishment, maintenance, or operation of the conditional use.*

The proposed residential condominium development is most closely linked to the surrounding Golf Resort on the west side of Hwy A. The owners of the Golf Resort wish to incorporate this housing component into the Resort. This combination of housing and golf course is a very common land use pattern across the United States and is highly compatible. Looking outward from the Golf Resort, the surrounding existing land uses are in no fashion impaired by this project. The addition of 24/26 homeowners will not create any negative impact for the commercial and agricultural uses in the vicinity.

3. *That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*

The proposed residential condominium development is to be located on green space previously used a golf driving range.

The Town of Albion Comprehensive Plan (2005-2024) supports this proposed land use. It does not impact existing farm operations. (Goal 1) It supports a variety of housing opportunities in a rural setting. (Goal 2) It promotes economic development, in particular by supporting the Coachman's Resort. (Goal 12) It is consistent with the commercial designation affiliated with the Coachman's Resort property fronting on Hwy A.

This proposed use is consistent with surrounding property uses, and does impair the current or future use of any surrounding properties.

- The Coachmen's Golf resort to the immediate north is the proponent of this project. These residential uses are likely to see the Golf Resort as an amenity.
- The parcel to the immediate south is a tilled field. The proposed residential use does not impair further ag use, nor a future transition to residential or light commercial uses.

- The land to the northeast is a tilled field. The proposed residential use does not impair further ag use, nor a future transition to residential or light commercial uses.
- The land to the east and south is a combination of light commercial, storage, and agricultural. The proposed residential use does not impair continuation of such uses, nor a future transition to a higher value residential or commercial land use.

4. *That adequate utilities, access roads, drainage and other necessary site improvements have been or are being made.*

There is pre-existing electrical on site to service the project. Adequate access will be off of County Hwy A, as discussed in sec. 5, below. Applicant will install necessary septic system to service the improvements per Paul Hardy's design. Applicant will install necessary private wells to service the project.

5. *Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*

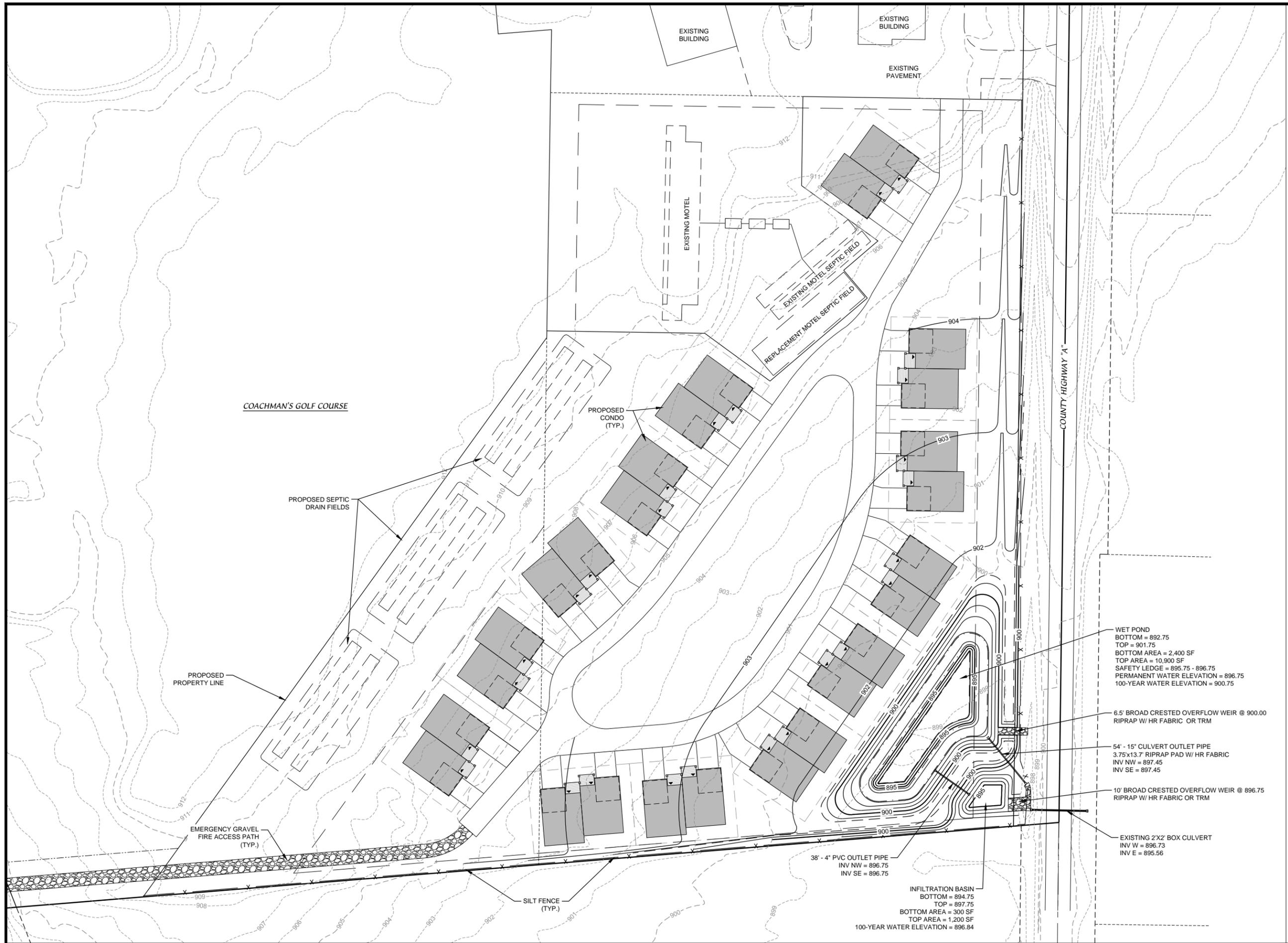
The Applicant's site design calls for access at one location. See Site Plan.

The Applicant is proposing the primary ingress and egress off of County Hwy A. There are several driveways for existing businesses on both the east and west sides of Hwy A within ½ mile of the subject. County A is straight with excellent visibility, and is designed to handle traffic volumes already present in this area. Adding 24/26 residential units will not cause any noticeable change in traffic volume or congestion on Hwy A or US Hwy 51.

The Applicant has consulted with the Dane County Highway Department and Edgerton Fire Department and obtained their approval.

6. *That the conditional use shall conform to all applicable regulations in which it is located.*

The Applicant had applied for and/or obtained the following permits: CSM, Zoning, Site Plan approval by the Town. Applicant commits that it shall adhere to all applicable regulations, including the requirements within said permits.



**COACHMAN'S**

TOWN OF ALBION, DANE COUNTY, WI



0 40'

DATE: 04/25/2019  
 REVISED:

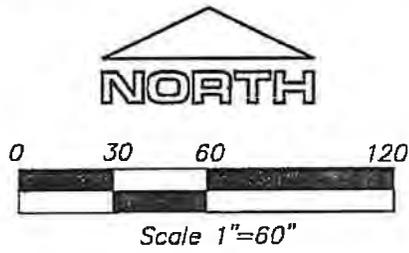
DRAWN BY: JLM

FN: 18-05-122

Sheet Number:  
 1



Coachman's Inn Enterprises Inc.  
 986 County Highway A  
 NE1/4, NE1/4, Section 8, T5N, R12E  
 Town of Albion, Dane County, Wisconsin



*John P. Hy*  
 CS 225384  
 8-22-18

BM=Bottom of Siding  
 El.=911.9'

Existing Motel

Proposed 6" Sand Fill Mounds With Two  
 10' x 120' Gravel Cells Each

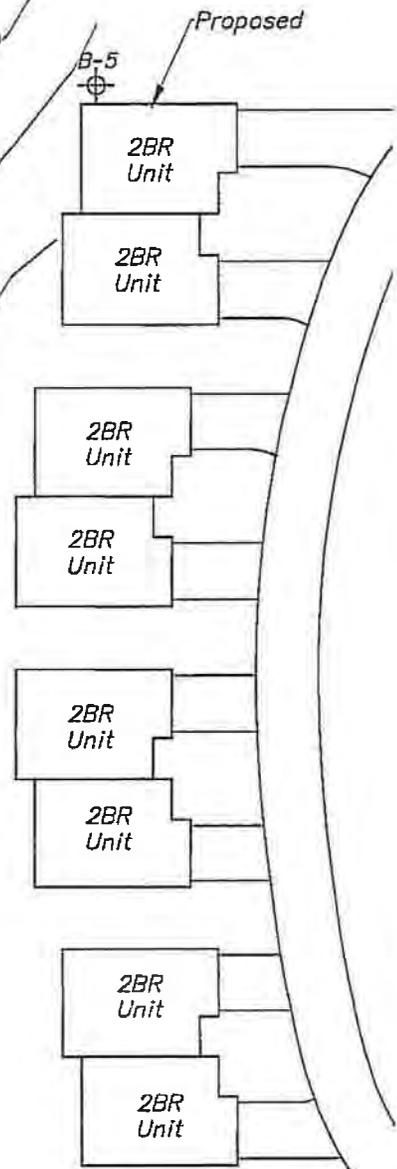
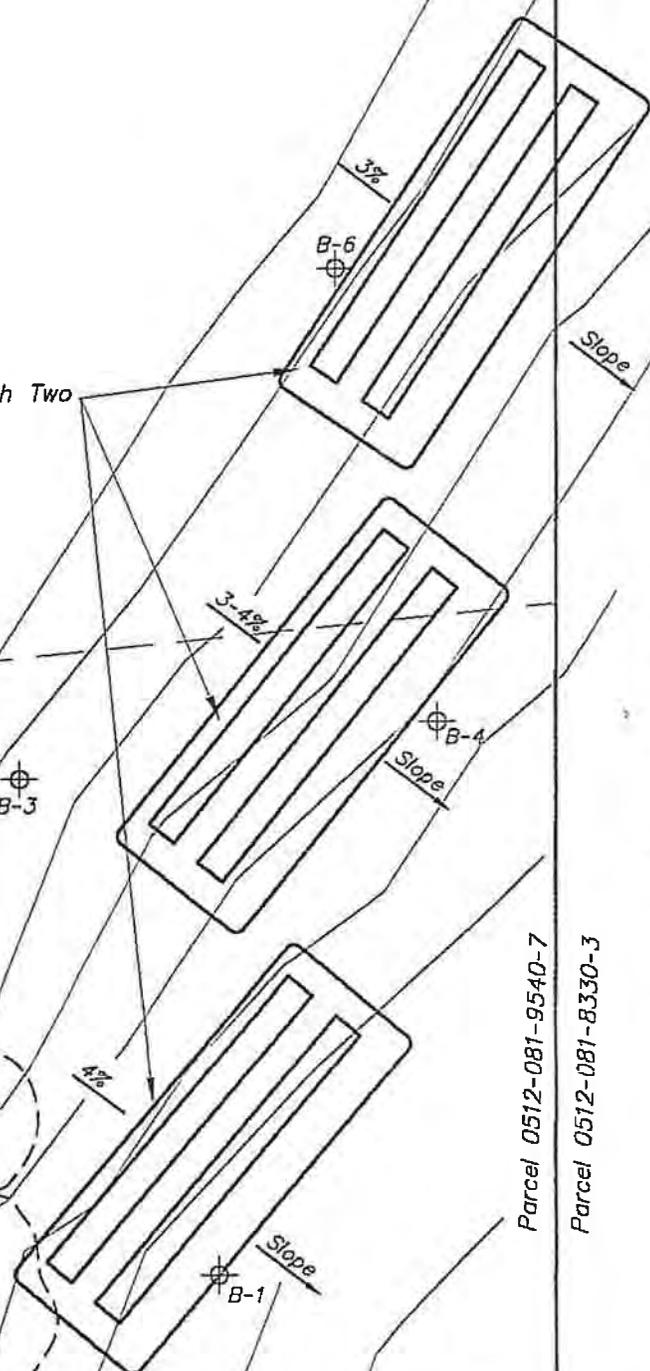
Parcel 0512-081-8041-3  
 Parcel 0512-081-9540-7

Approximate Extent  
 of Burn Area

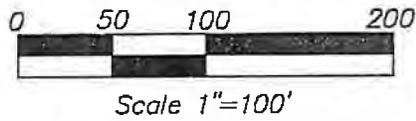
912'  
 911'  
 910'  
 909'

Approximate Extent  
 of Soil Stockpiles

908'  
 907'  
 906'  
 905'  
 904'



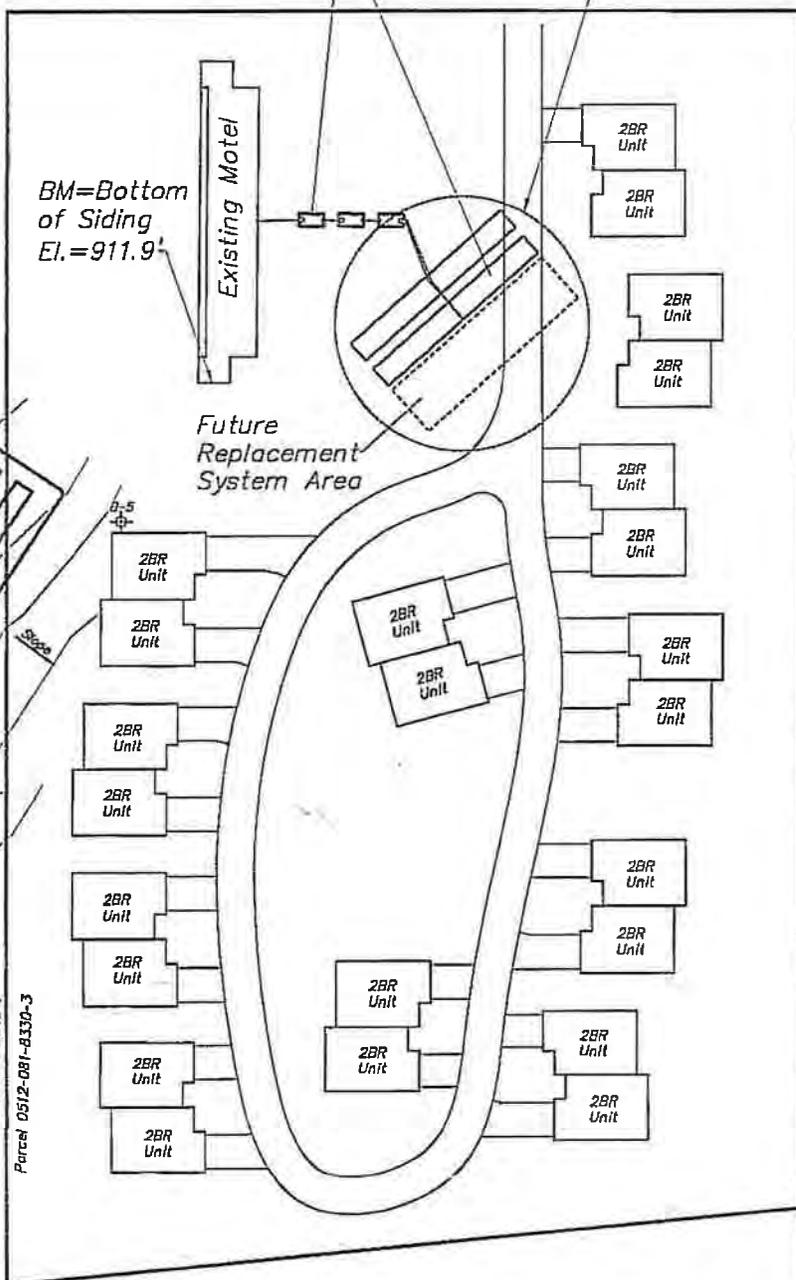
Coachman's Inn Enterprises Inc.  
 986 County Highway A  
 NE1/4, NE1/4, Section 8, T5N, R12E  
 Town of Albion, Dane County, Wisconsin



Location of Road And  
 Proposed Units on  
 Concept Plan 2 Will Need  
 To Be Adjusted To  
 Preserve Existing System  
 & Future Replacement  
 System Areas

Location of Septic Tanks, Pump  
 Chamber, Absorption Beds For  
 Existing Motel

*Handwritten:*  
 225394  
 2-22-18



County Highway A

Proposed 6" Sand  
 Fill Mounds With  
 Two 10' x 120'  
 Gravel Cells Each

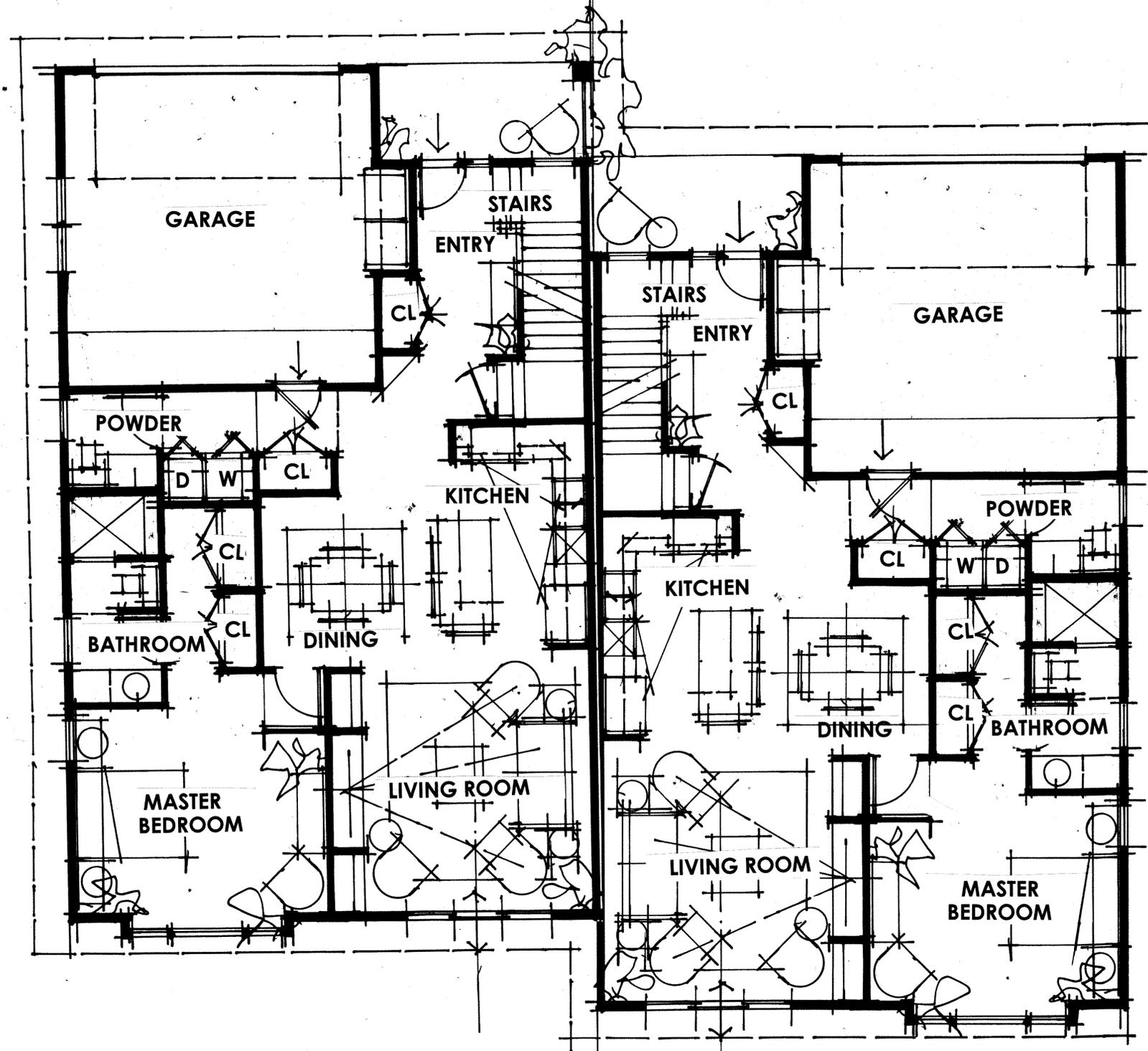
Parcel 0512-081-8041-3  
 Parcel 0512-081-9540-7

Approximate  
 Extent of  
 Burn Area

Parcel 0512-081-9540-7  
 Parcel 0512-081-8330-3

Approximate  
 Extent of Soil  
 Stockpiles

**FIRST FLOOR PLAN CONCEPT**  
TYPICAL UNIT 1,420 Sq Ft



**FIRST FLOOR PLAN CONCEPT**  
TYPICAL UNIT 1,420 Sq Ft



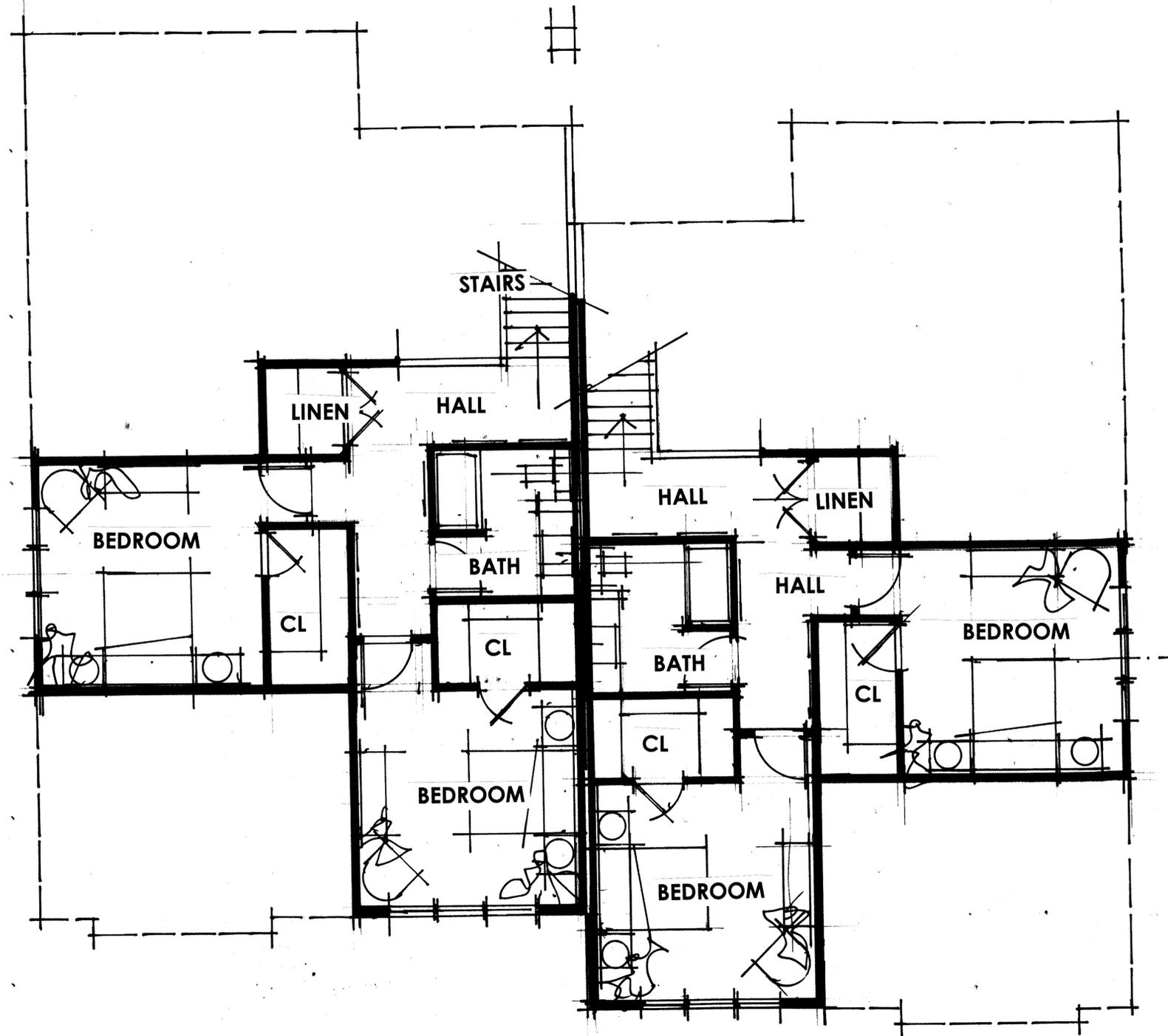
PRELIMINARY DESIGN CONCEPTS FOR

**COACHMAN'S INN**  
986 COUNTY HIGHWAY A  
TOWN OF ALBION, WISCONSIN

# SECOND FLOOR PLAN CONCEPT

TYPICAL UNIT

820 Sq Ft



PRELIMINARY DESIGN CONCEPTS FOR

## COACHMAN'S INN

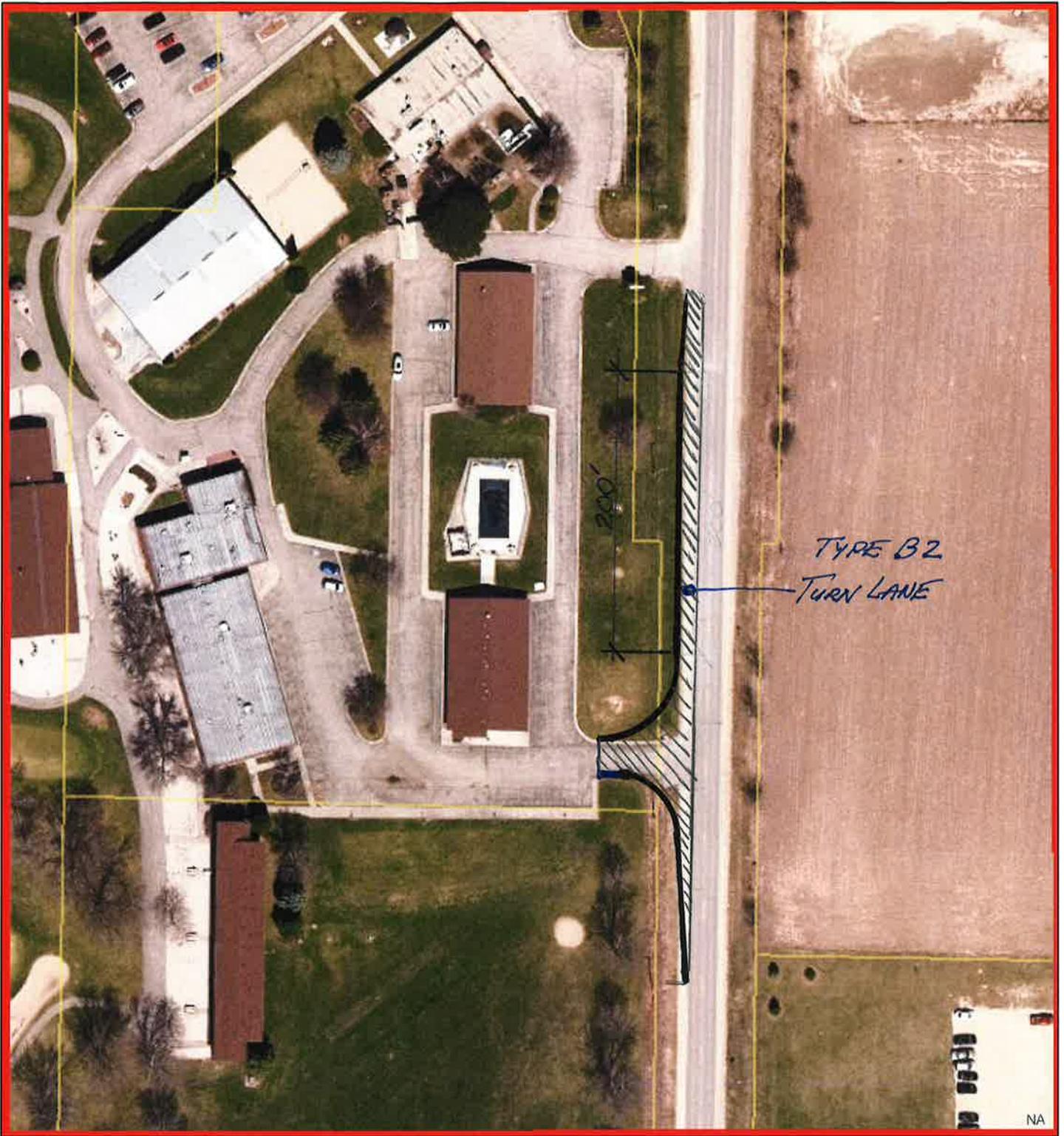
986 COUNTY HIGHWAY A  
TOWN OF ALBION, WISCONSIN

# SECOND FLOOR PLAN CONCEPT

TYPICAL UNIT

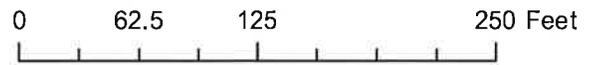
820 Sq Ft

# Coachman's



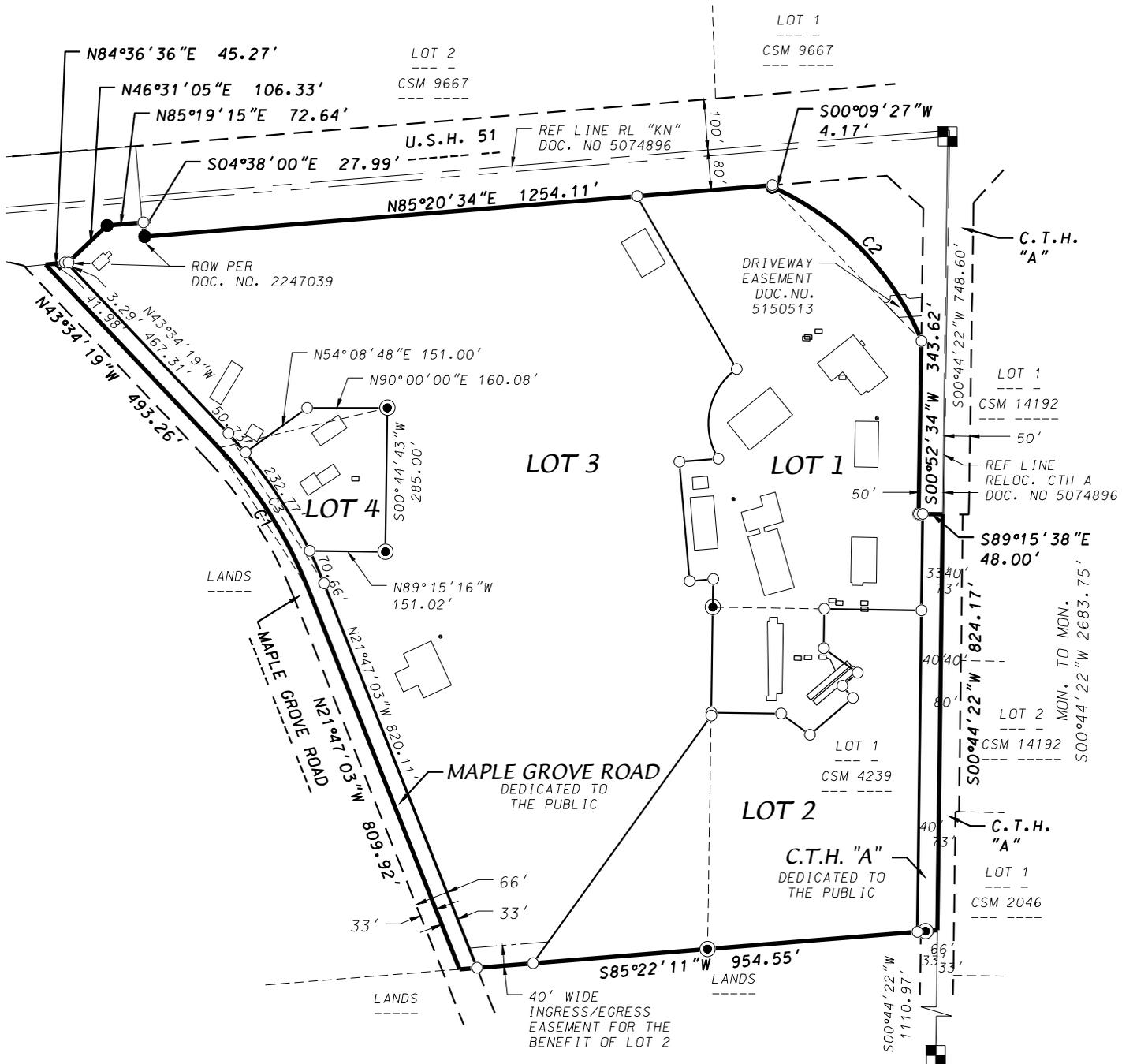
April 26, 2019

 Tax Parcels



# CERTIFIED SURVEY MAP

LOT 1, CERTIFIED SURVEY MAP NO. 4239 AND LANDS  
 LOCATED IN THE NE1/4 OF THE NE1/4 AND IN THE SE1/4 OF THE NE1/4 OF  
 SECTION 8 T5N, R12E, TOWN OF ALBION, DANE COUNTY, WISCONSIN

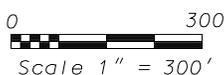


CURVE TABLE

CURVE NUMBER	RADIUS (FEET)	CHORD (FEET)	ARC (FEET)	CHORD BEARING	CENTRAL ANGLE	TANGENT BEARING
1	850.00	254.93	255.89	N08°39'50"E	021°20'22"	IN-N17°17'18"E
2	250.00	137.77	139.58	S74°29'35"W	031°59'20"	
3	350.00	192.19	194.69	S74°26'03"W	031°52'16"	
4	284.00	155.95	157.98	S74°26'03"W	031°52'16"	
5	316.00	174.14	176.43	S74°29'35"W	031°59'20"	



THE EAST LINE OF THE  
 NE1/4 OF SECTION 5, T5N,  
 R12E IS ASSUMED TO BEAR  
 S00°44'31"W



DATE: April 2, 2019  
 F.N.: 18-05-122  
 C.S.M. NO. \_\_\_\_\_  
 DOC. NO. \_\_\_\_\_  
 VOL. \_\_\_\_\_ SHEET \_\_\_\_\_

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**

7530 Westward Way, Madison, WI 53717  
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