

Dane County Conditional Use Permit Application

Application Date	C.U.P Number
08/19/2025	DCPCUP-2025-02683
Public Hearing Date	
10/28/2025	

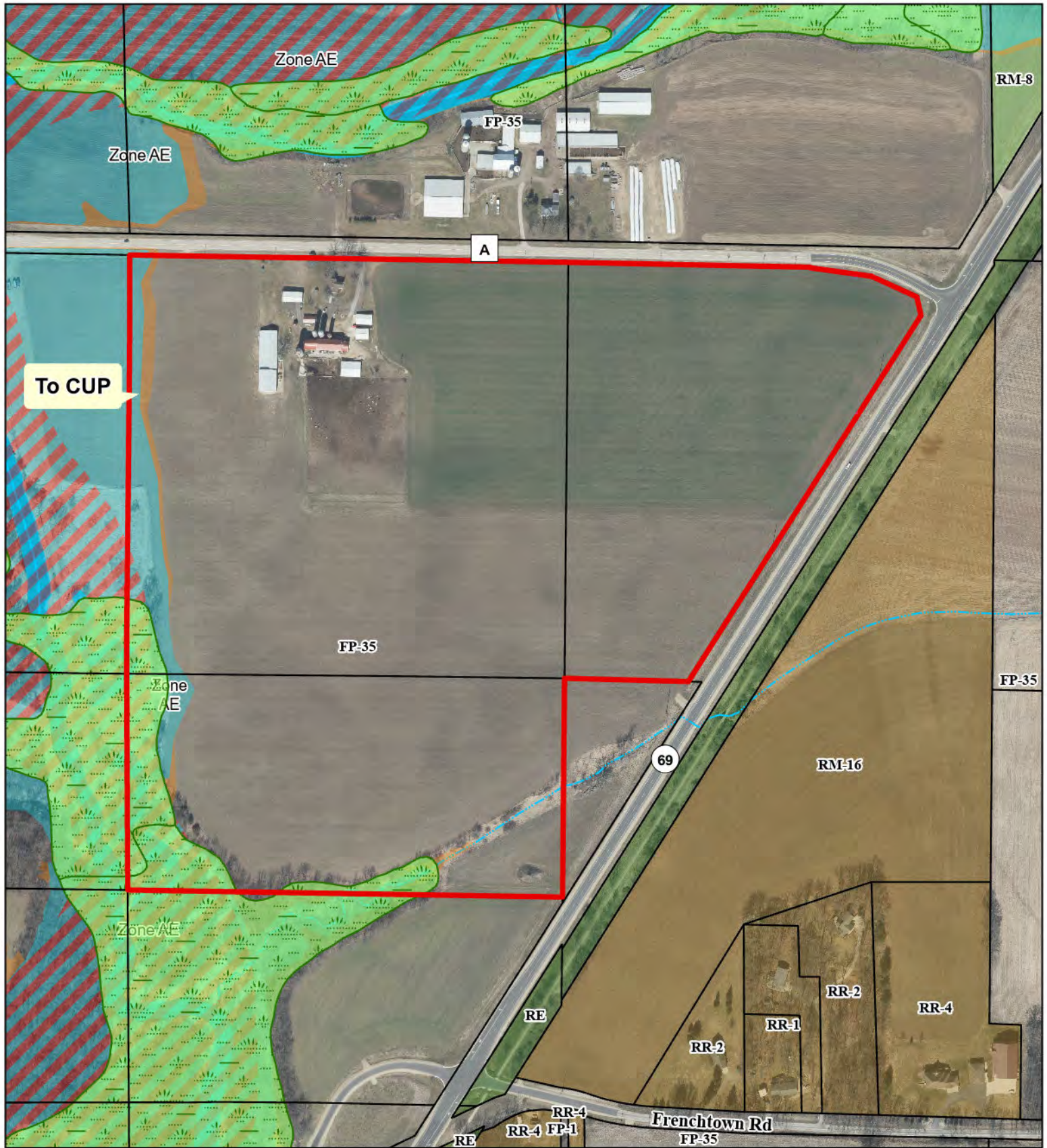
OWNER INFORMATION		AGENT INFORMATION	
OWNER NAME JOHN AND LINDA EVERSON	Phone with Area Code (608) 424-6070	AGENT NAME MIKE EVERSON	Phone with Area Code (608) 212-9809
BILLING ADDRESS (Number, Street) 6897 COUNTY HIGHWAY A		ADDRESS (Number, Street) 6836 FRENCHTOWN ROAD	
(City, State, Zip) BELLEVILLE, WI 53508		(City, State, Zip) Belleville, WI 53508	
E-MAIL ADDRESS		E-MAIL ADDRESS	

ADDRESS/LOCATION 1		ADDRESS/LOCATION 2		ADDRESS/LOCATION 3	
ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP	
6897 County Hwy A				-	
TOWNSHIP MONTROSE	SECTION 22	TOWNSHIP	SECTION	TOWNSHIP	SECTION
PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED	
0508-221-8000-1		---		0508-232-8502-0	

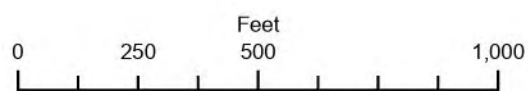
CUP DESCRIPTION
private landing airstrip

DANE COUNTY CODE OF ORDINANCE SECTION	ACRES
10.222(3)	85

DEED RESTRICTION REQUIRED? ☐ Yes ☐ No Applicant Initials _____	Inspectors Initials RWL1	SIGNATURE:(Owner or Agent) PRINT NAME: DATE:



- Proposed Zoning Boundary
- Tax Parcel Boundary
- Wetland Class Areas
- 1% Annual Chance Flood Hazard
- Regulatory Floodway
- 0.2% Annual Chance Flood Hazard



CUP 2683
JOHN AND LINDA
EVERSON



Dane County
Department of Planning and Development
Zoning Division
Room 116, City-County Building
210 Martin Luther King Jr. Blvd.
Madison, Wisconsin 53703
(608) 266-4266

Application Fees	
General:	\$495
Mineral Extraction:	\$1145
Communication Tower:	\$1145 (+\$3000 RF eng review fee)
PERMIT FEES DOUBLE FOR VIOLATIONS OR WHEN WORK HAS STARTED PRIOR TO ISSUANCE OF PERMIT	

CONDITIONAL USE PERMIT APPLICATION

APPLICANT INFORMATION

Property Owner Name:		Agent Name:	
Address (Number & Street):		Address (Number & Street):	
Address (City, State, Zip):		Address (City, State, Zip):	
Email Address:		Email Address:	
Phone#:		Phone#:	

SITE INFORMATION

Township:		Parcel Number(s):	
Section:		Property Address or Location:	
Existing Zoning:	Proposed Zoning:	CUP Code Section(s):	

DESCRIPTION OF PROPOSED CONDITIONAL USE

Type of conditional use permit (for example: limited family business, animal boarding, mineral extraction, or any other listed conditional use):	Is this application being submitted to correct a violation? Yes ☐ No ☐
Provide a short but detailed description of the proposed conditional use:	

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determined that all necessary information has been provided. Only complete applications will be accepted. All information from the checklist below must be included. Note that additional application submittal requirements apply for particular uses or as may be required by the Zoning Administrator. Applicants for significant and/or potentially controversial conditional uses are strongly encouraged to meet with staff prior to submittal.

☐ Complete attached information sheet for standards	☐ Site Plan drawn to scale	☐ Detailed operational plan	☐ Written legal description of boundaries	☐ Detailed written statement of intent	☐ Application fee (non-refundable), payable to Dane County Treasurer
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I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I hereby give permission for staff of the Dane County Department of Planning and Development to enter my property for the purpose of collecting information. I acknowledge that submittal of false or incorrect information is a violation of the Conditional Use Permit process.

Owner/Agent Signature

Mike Everson

Date: _____

CUP Application for Parcel 040/0508-221-8000-1 &
040/0508-232-8502-0
6897 County Road A, Belleville



The Everson family has farmed and lived in the Town of Montrose for decades. It is a tradition we are very proud of. It is personal dream to establish a small, grass runway with the ability to fly our single engine airplane on a approved landing facility.

This conditional use permit will accomplish the following on our FP35 zoned land:

1. Establish a FAA approved grass airstrip on the property.
2. Detail and convey the airstrip/property's function, use and overall activity.

Identification of CUP Parcels per DCI:

040/0508-232-8502-0

040/0508-221-8000-1

Said CUP parcels contain a total of 2,722,500 sq. ft. or 62.5 acres

1. Runway Placement



The purple outlined below will indicate the proposed runway placement. It runs east and west and is approximately 1,500 feet in length. A 1000 foot crosswind runs north and south. All borders exceed the 100 foot from property edge setback required by county code. Its design has been preliminarily accepted by the WI State Bureau of Aeronautics as a viable placement.

2. Airstrip/Property Function & Overview

Farming- the current crop farming will stay exactly as has been in place for many years in terms of size, scope and nature. No farmland will be reutilized. We are very proud of the farming operations on our property.

Airstrip- Airstrip operations, size, scale, and frequency will be quite limited in nature. The grass and short length limit operations to small aircraft. This would be the Town of Montrose's only FAA approved landing site, making it valuable to med-flight, crop dusters and the recreational pilot community. This airstrip caters to a very small number of aircraft and is quite seasonal due to snow/winds etc. A single aircraft storage area will be in the existing barn/machine shed. A reasonable average may be 2-3 daily runway operations. No neighbor issues have been reported or observed in the preliminary establishment. The runway falls into the private category as we wish it to stay as outlined more completely by Hal Davis- WI Bureau of Aeronautics - Airport Compliance Director.:

Private

A private-use facility is a facility available for use by the owner and other persons authorized by the owner only. Therefore, the owners of private-use facilities do not have to reiterate in a remark that the facility is private use or that prior permission is required.

For **comparison** sake the description of a public use airport is:

Public

A public-use facility is a facility available for use by the general public without a requirement for prior approval from the owner or operator. The owners of public-use facilities cannot impose operational restrictions on the use of the facility. Restrictions such as "prior permission required" or "use at your own risk" or "contact the facility manager prior to landing" are not permissible at public-use facilities.

Standards for Conditional Use Permits – Question Responses

1. The establishment maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

Response.: The requested conditional use for Private Airstrip will not be detrimental to or endanger the public health, safety, comfort or general welfare of the local community. The limited use and very rural location make it ideal for a small grass airstrip. Additionally the location can enhance public welfare should it need to be used for any emergency responses.

2. The uses, values, and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by establishment, maintenance or operation of the conditional use.

Response:

As an FAA-approved airstrip that of limited scale, frequency and scope would not affect any neighboring uses and or properties. The rural character would be enhanced by the adoption of this CUP.

3. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Response:

Most immediate surrounding property is of agricultural, Farmland Preservation designation or legacy residences, many of which have been in existence for decades alongside Everson Farms and its traditional agricultural use. The conditional use request adheres to the requirements of the FP-35 Zoning and does not impede the normal and orderly development and improvement of the surrounding properties.

4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the conditional use.

Response:

The existing infrastructure is sufficient to serve the needs of this request.

5. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response:

With no traffic (air or road) increases being proposed, the current driveway access is perfectly adequate.

6. That the conditional use shall conform to all applicable regulations of the district in which it is located.

Response:

The conditional use approval being requested is a Conditional Accessory Use to the FP-35 Zoning.

7. The conditional use is consistent with the adopted town and county comprehensive plans.

Response: The conditional use approval being requested would enhance the Town Comprehensive Plan's designation of Agricultural Preservation. The plan allows for the continued farming operation to continue at exactly its current scale as well as establish the Town of Montrose's only FAA approved airstrip.

8. If the conditional use is located in a Farmland Preservation (FP) Zoning district, the conditional use is subject to the following additional standards found in section 10.220(1). Attach additional pages, if necessary.

- Explain how the use and its location in the Farmland Preservation Zoning District are consistent with the purposes of the district:

Response: Much like the response to #7, the proposed CUP aligns with the Town's comprehensive plan designation of an Agricultural Preservation Area. Our family will continue to farm and care for this amazing property, continuing its tradition of community engagement, preserving farmland.

- Explain how the use and its location in the Farmland Preservation Zoning district are reasonable and appropriate, considering alternative locations:

Response:

The proposed location within the Farmland Preservation Zoning district is reasonable and appropriate given the prior use, site layout and existing infrastructure, and traditions.

- Explain how the use is reasonably designed to minimize the conversion of land from agricultural use or open space use:

Response:

No farmland will be impacted by our request. Preserving the land and its current use is our priority.

- Explain how the use does not substantially impair or limit the current or future agricultural use of surrounding parcels zoned for agricultural use:

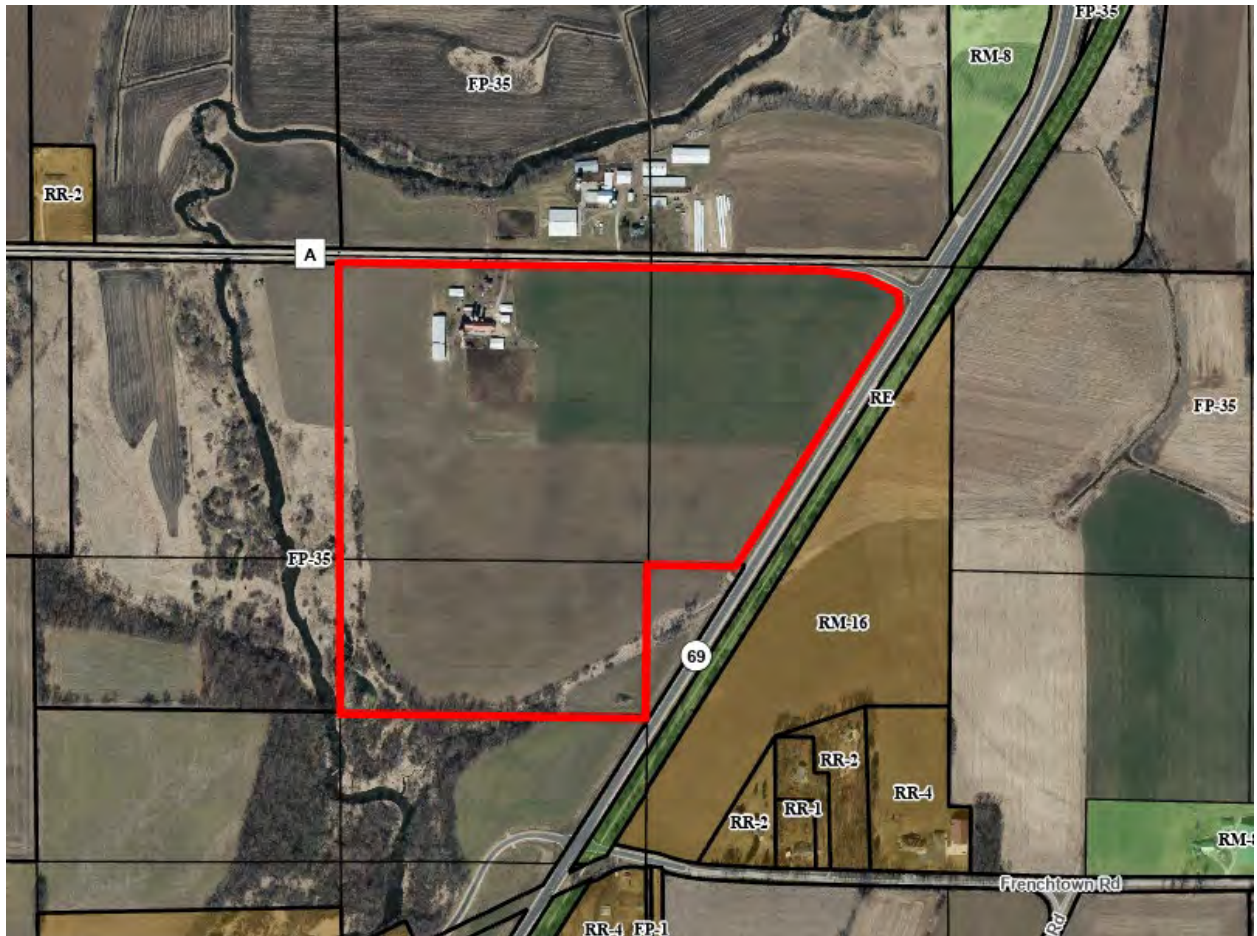
Response:

The proposed site plan does not change the existing layout of the parcel or affect any surrounding agricultural uses. Montrose's only approved airstrip has been used and may be used in the future to support aerial applicators that farm support operations.

- Explain how construction damage to land remaining in agricultural use is minimized and repaired, to the extent feasible:

Response: No proposed changes will in any way be on or affect the existing farmland.

Legal Description of proposed CUP



The Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 22 and the North $\frac{1}{2}$ of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 22 and the Northwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 23 lying south of County Highway A and west of State Highway 69, T05N, R08E, Town of Montrose, Dane County, Wisconsin.