

Dane County Conditional Use Permit Application

Application Date	C.U.P Number
12/20/2022	DCPCUP-2022-02583
Public Hearing Date	
02/28/2023	

OWNER INFORMATION		AGENT INFORMATION	
OWNER NAME ARIF M KHAN & SADIA ARIF	Phone with Area Code (608) 444-9441	AGENT NAME CELLUSITE LLC	Phone with Area Code (317) 507-4541
BILLING ADDRESS (Number, Street) 3486 COUNTY HIGHWAY MN		ADDRESS (Number, Street) 103 WILSHIRE COURT	
(City, State, Zip) MCFARLAND, WI 53558		(City, State, Zip) Noblesville, IN 46062	
E-MAIL ADDRESS		E-MAIL ADDRESS derek@cellusite.net	

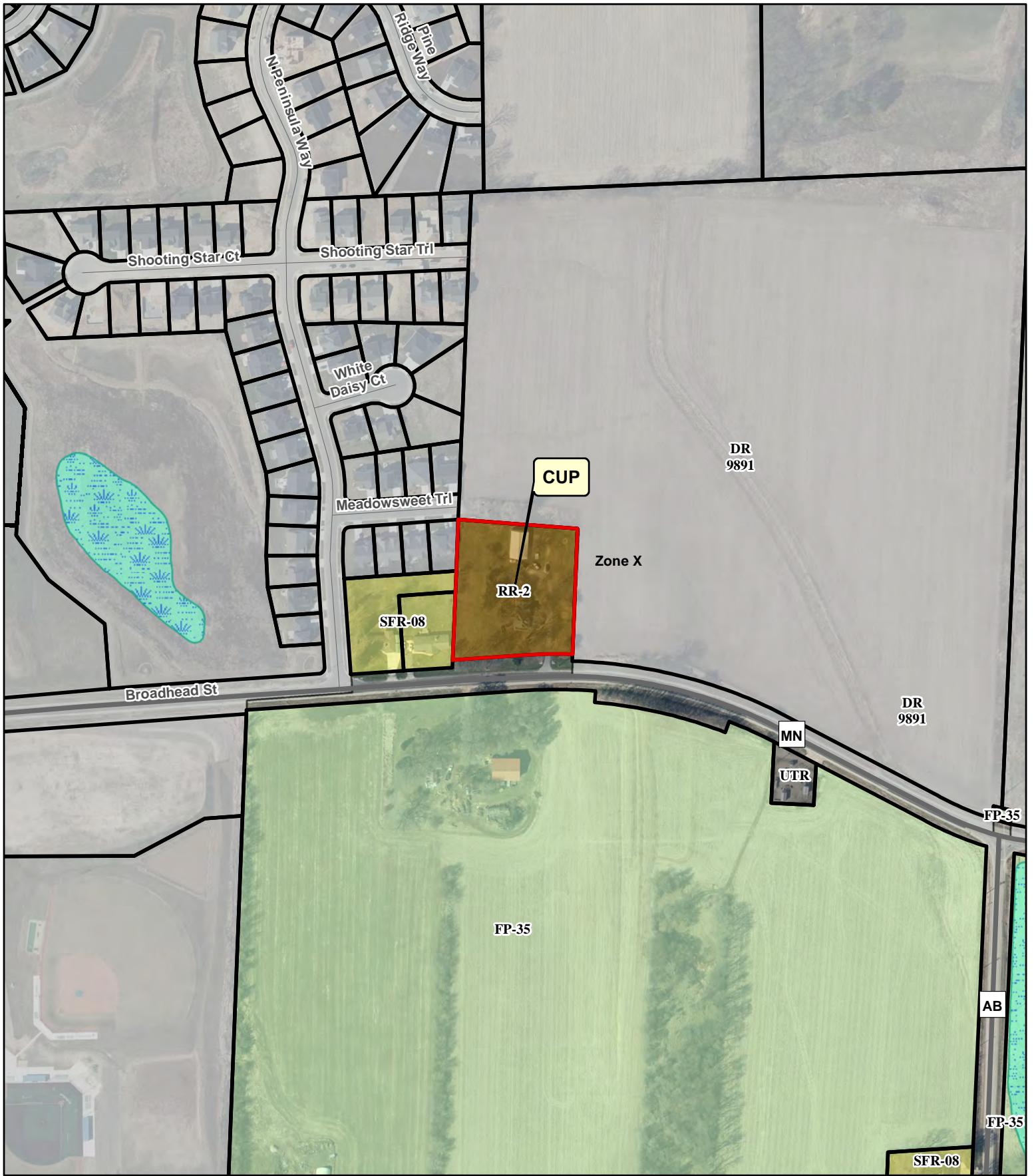
ADDRESS/LOCATION 1		ADDRESS/LOCATION 2		ADDRESS/LOCATION 3	
ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP		ADDRESS OR LOCATION OF CUP	
3486 County Road MN					
TOWNSHIP DUNN	SECTION 2	TOWNSHIP	SECTION	TOWNSHIP	SECTION
PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED		PARCEL NUMBERS INVOLVED	
0610-021-8245-0		---		---	

CUP DESCRIPTION
174' Monopole Communication Tower

DANE COUNTY CODE OF ORDINANCE SECTION	ACRES
10.103(9)	2.0

DEED RESTRICTION REQUIRED? <input type="checkbox"/> Yes <input type="checkbox"/> No Applicant Initials _____	Inspectors Initials	SIGNATURE:(Owner or Agent) _____ PRINT NAME: _____ DATE: _____
	RUH1	

COMMENTS: 174' MONOPOLE COMMUNICATION TOWER




Legend

-  Wetland
-  Floodplain



0 75 150 300 Feet



CUP 02583
 ARIF M KHAN & SADIA
 ARIF



Dane County
Department of Planning and Development
 Zoning Division
 Room 116, City-County Building
 210 Martin Luther King Jr. Blvd.
 Madison, Wisconsin 53703
 (608) 266-4266

Application Fees	
General:	\$495
Mineral Extraction:	\$1145
Communication Tower:	\$1145 (+\$3000 RF eng review fee)
PERMIT FEES DOUBLE FOR VIOLATIONS OR WHEN WORK HAS STARTED PRIOR TO ISSUANCE OF PERMIT	

CONDITIONAL USE PERMIT APPLICATION

APPLICANT INFORMATION

Property Owner Name:	Agent Name:
Address (Number & Street):	Address (Number & Street):
Address (City, State, Zip):	Address (City, State, Zip):
Email Address:	Email Address:
Phone#:	Phone#:

SITE INFORMATION

Township:	Parcel Number(s):	
Section:	Property Address or Location:	
Existing Zoning:	Proposed Zoning:	CUP Code Section(s):

DESCRIPTION OF PROPOSED CONDITIONAL USE

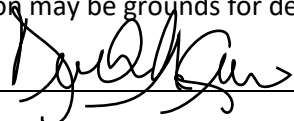
Type of conditional use permit (for example: limited family business, animal boarding, mineral extraction, or any other listed conditional use):	Is this application being submitted to correct a violation? Yes <input type="checkbox"/> No <input type="checkbox"/>
Provide a short but detailed description of the proposed conditional use:	

GENERAL APPLICATION REQUIREMENTS

Applications will not be accepted until the applicant has met with department staff to review the application and determined that all necessary information has been provided. Only complete applications will be accepted. All information from the checklist below must be included. Note that additional application submittal requirements apply for particular uses or as may be required by the Zoning Administrator. Applicants for significant and/or potentially controversial conditional uses are strongly encouraged to meet with staff prior to submittal.

<input type="checkbox"/> Complete attached information sheet for standards	<input type="checkbox"/> Site Plan drawn to scale	<input type="checkbox"/> Detailed operational plan	<input type="checkbox"/> Written legal description of boundaries	<input type="checkbox"/> Detailed written statement of intent	<input type="checkbox"/> Application fee (non-refundable), payable to Dane County Treasurer
----------------------------------------------------------------------------	---------------------------------------------------	----------------------------------------------------	------------------------------------------------------------------	---------------------------------------------------------------	------------------------------------------------------------------------------------------------------

I certify by my signature that all information presented herein is true and correct to the best of my knowledge. I hereby give permission for staff of the Dane County Department of Planning and Development to enter my property for the purpose of collecting information to be used as part of the review of this application. I acknowledge that submittal of false or incorrect information may be grounds for denial of this application.

Owner/Agent Signature: 

Date: _____

STANDARDS FOR CONDITIONAL USE PERMITS

Applicants must provide adequate evidence demonstrating to the Town and Dane County Zoning & Land Regulation Committee that the proposed conditional use satisfies the following 8 standards for approval, along with any additional standards specific to the applicable zoning district or particular use found in sections [10.220\(1\)](#) and [10.103](#) of the code.

Please explain how the proposed land use will meet the following standards (attach additional pages, if necessary):

- | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1. The establishment maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.</p> |
| <p>2. The uses, values, and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by establishment, maintenance or operation of the conditional use.</p> |
| <p>3. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.</p> |
| <p>4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the conditional use.</p> |
| <p>5. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.</p> |
| <p>6. That the conditional use shall conform to all applicable regulations of the district in which it is located.</p> |
| <p>7. The conditional use is consistent with the adopted town and county comprehensive plans.</p> |
| <p>8. If the conditional use is located in a Farmland Preservation (FP) Zoning district, the conditional use is subject to the following additional standards found in section 10.220(1). Attach additional pages, if necessary.</p> <ul style="list-style-type: none">• Explain how the use and its location in the Farmland Preservation Zoning District are consistent with the purposes of the district:
• Explain how the use and its location in the Farmland Preservation Zoning district are reasonable and appropriate, considering alternative locations:
• Explain how the use is reasonably designed to minimize the conversion of land from agricultural use or open space use:
• Explain how the use does not substantially impair or limit the current or future agricultural use of surrounding parcels zoned for agricultural use:
• Explain how construction damage to land remaining in agricultural use is minimized and repaired, to the extent feasible: |

WRITTEN STATEMENT OF INTENT AND OPERATIONS PLAN

Applicants must provide a detailed written statement of intent describing the proposed conditional use along with an operational plan that explains how the conditional use will be operated. Please use the form below and provide responses, as applicable, to your proposed conditional use. Attach additional pages, if necessary.

Describe in detail the proposed conditional use. Provide the specific location of the use(s), type of equipment used, planned property improvements, including description / size of existing or proposed new buildings to be used, and any other relevant information. For existing or proposed commercial operations, provide the name of the business and describe the nature and type of business activity.
List the proposed days and hours of operation.
List the number of employees, including both full-time equivalents and maximum number of personnel to be on the premises at any time.
List any anticipated noise, odors, dust, soot, runoff or pollution associated with the conditional use, along with any proposed measures that will be taken to mitigate impacts to neighboring properties.
Describe any materials proposed to be stored outside and any activities, processing or other operations taking place outside an enclosed building.
For proposals involving construction of new facilities and/or infrastructure, describe, as applicable, any measures being taken to ensure compliance with county stormwater and erosion control standards under Chapter 11 of Chapter 14 , Dane County Code.
List and describe existing or proposed sanitary facilities, including adequate private onsite wastewater treatment systems, associated with the proposed conditional use. For uses involving domestic pets or livestock, list and describe measures taken to address manure storage or management.
List and describe any existing or proposed facilities for managing and removal of trash, solid waste and recyclable materials.
Describe anticipated daily traffic, types and weights of vehicles, and any provisions, intersection or road improvements or other measures proposed to accommodate increased traffic.
Provide a listing of any hazardous, toxic or explosive materials to be stored on site, and any spill containment, safety or pollution prevention measures.
Describe any existing or proposed outdoor lighting along with any measures that will be taken to mitigate light-pollution impacts to neighboring properties. The Zoning Administrator may require submittal of a photometric plan for outdoor lighting if deemed necessary to determine potential impacts to neighbors.
Describe any existing or proposed signage, including size, location, and materials, consistent with the county's sign ordinance found in s. 10.800 .
Briefly describe the current use(s) of the property on which the conditional use is proposed.
Briefly describe the current uses of surrounding properties in the neighborhood.

APPLICATION CHECKLIST FOR A CONDITIONAL USE PERMIT

A scaled site plan and detailed operations plan must be submitted with your Conditional Use Permit application. Please use the checklist below to ensure you are submitting all required information applicable to your request. Please attach to your application form the required maps and plans listed below, along with any additional pages.

SCALED SITE PLAN. Show sufficient detail on 11" x 17" paper. Include the following information, as applicable:

- Scale and north arrow.
- Date the site plan was created.
- Existing subject property lot lines and dimensions.
- Existing and proposed wastewater treatment systems and wells.
- All buildings and all outdoor use and/or storage areas, existing and proposed, including provisions for water and sewer.
- All dimension and required setbacks, side yards and rear yards.
- Location and width of all existing and proposed driveway entrances onto public and private roadways, and of all interior roads or driveways.
- Location and dimensions of any existing utilities, easements or rights-of-way.
- Parking lot layout in compliance with s. [10.102\(8\)](#).
- Proposed loading/unloading areas.
- Zoning district boundaries in the immediate area. All districts on the property and on all neighboring properties must be clearly labeled.
- All relevant natural features, including navigable and non-navigable waters, floodplain boundaries, delineated wetland areas, natural drainage patterns, archeological features, and slopes over 12% grade.
- Location and type of proposed screening, landscaping, berms or buffer areas if adjacent to a residential area.
- Any lighting, signs, refuse dumpsters, and possible future expansion areas.

NEIGHBORHOOD CHARACTERISTICS. Describe existing land uses on the subject and surrounding properties:

- Provide a brief written statement describing the current use(s) of the property on which the conditional use is proposed.
- Provide a brief written statement documenting the current uses of surrounding properties in the neighborhood.

OPERATIONS PLAN AND NARRATIVE. Describe in detail the following characteristics of the operation, as applicable:

- Hours of operation.
- Number of employees, including both full-time equivalents and maximum number of personnel to be on the premises at any time.
- Anticipated noise, odors, dust, soot, runoff or pollution and measures taken to mitigate impacts to neighboring properties.
- Descriptions of any materials stored outside and any activities, processing or other operations taking place outside an enclosed building.
- Compliance with county stormwater and erosion control standards under [Chapter 11](#) of [Chapter 14](#), Dane County Code.
- Sanitary facilities, including adequate private onsite wastewater treatment systems and any manure storage or management plans approved by the Madison and Dane County Public Health Agency and/or the Dane County Land and Water Resources Department.
- Facilities for managing and removal of trash, solid waste and recyclable materials.
- Anticipated daily traffic, types and weights of vehicles, and any provisions, intersection or road improvements or other measures proposed to accommodate increased traffic.
- A listing of hazardous, toxic or explosive materials stored on site, and any spill containment, safety or pollution prevention measures taken.
- Outdoor lighting and measures taken to mitigate light-pollution impacts to neighboring properties.
- Signage, consistent with section [10.800](#).

ADDITIONAL MATERIALS. Additional information is required for certain conditional uses listed in s. [10.103](#):

- Agricultural entertainment, special events, or outdoor assembly activities anticipating over 200 attendees must file an [event plan](#).
- [Domestic pet](#) or [large animal boarding](#) must provide additional information in site and operations plans.
- Communication towers must submit additional information as required in s. [10.103\(9\)](#).
- Farm residences proposed in the FP-35 district must submit additional information as required in s. [10.103\(11\)](#).
- Mineral extraction proposals must submit additional information as required in s. [10.103\(15\)](#).

The logo for Cellusite, LLC is displayed in a dark red rectangular box. The text "Cellusite, LLC" is written in a white, sans-serif font.

December 6, 2022

Mr. Majid Allan
County of Dane
Department of Planning and Development
City-County Building, Room 116
210 Martin Luther King Jr. Blvd.
Madison, WI 53703

Re: Application for Conditional Use Permit – Telecommunication Tower
Property Address: 3486 County Highway MN, McFarland, WI 53589 (Town of
Dunn)
Applicants: CelluSite, LLC, agent for Iron Mountain Towers, LLC dba TowerKing
and DISH Wireless LLC
Parcel Owner: Arif M. Kahn and Sadia Arif

Dear Mr. Allan:

Enclosed for consideration please find Iron Mountain Towers, LLC dba TowerKing (“**TowerKing**”) and DISH Wireless LLC’s (“**DISH**”) (TowerKing and DISH, collectively, the “**Applicants**”) Conditional Use Permit Application (the “**Application**”) to construct a multi-carrier wireless telecommunication tower and associated facilities (the “**Wireless Communications Facility**”). I serve as agent for Applicants.

The Wireless Communications Facility has been designed to accommodate additional providers (carriers, wireless internet providers and E911) interested in improving service within the greater area of the Village of McFarland, the Town of Dunn, and along a portion of Interstate 90/39 in Dane County. TowerKing actively markets its tower sites for collocation to all communications users and offers competitive business terms, which are attractive to its customers. We have approached this project thoughtfully, with an emphasis on blending the needs of the local citizenry with the goals of the Applicants.

The proposed facility meets the guidelines in Wis. Stat. § 66.0404 (the “**Wireless Siting Law**”).¹ It includes a 170-foot galvanized steel monopole, with a 4-foot lightning rod, for an overall structure height of 174 feet (the “**Tower**”).

WIRELESS SITING LAW

The Wireless Siting Law sets forth six (6) requirements which must be included in an application to construct a new tower.² Those requirements, and the Applicants’ responses to those requirements, follow. It is my belief that this information and related enclosures fulfill the requirements of the Wireless Siting Law.

1. The name and business address of, and the contact individual of, the applicant.

Applicants:	Contact Individual:
Iron Mountain Towers, LLC dba TowerKing c/o Grant Phillips 23434 Elliot Road Defiance, OH 43512 (419) 438-7587	Derek McGrew / CelluSite, LLC 103 Wilshire Court Noblesville, IN 46062 (317) 507-4541 derek@cellusite.net
DISH Wireless LLC 8040 Excelsior Drive, Suite 400 Madison, WI 53717	Jennifer Dokos Sr. Site Acquisition Specialist – Wireless Nashville Market – SDF Office: (678) 988-1600 jennifer.dokos@dish.com

2. The location of the proposed or affected support structure.

¹ The Wireless Siting Law provides that a political subdivision may regulate the siting and construction of a new mobile service support structure and facilities only as provided in Wis. Stat. § 66.0404 and further provides that any ordinances in effect that are inconsistent with Wis. Stat. § 66.0404 may not be applied to, or enforced against, the activity. Wis. Stat. § 66.0404(h) & (i).

² The six requirements are found at Wis. Stat. § 66.0404(2)(b).

Applicants propose to construct a mobile service facility and related mobile support service structure, as defined by the Wireless Siting Law, at 3486 County Highway MN, which bears Parcel ID # 028/0610-021-8245-0 (the “**Property**”).

The Tower will be constructed by TowerKing and located within a 100’ x 100’ leased area (the “**Leased Premises**”), of which 50’ x 50’ will be fenced and located in the northeastern portion of the Property and as depicted in the enclosed survey and construction drawings (the “**Construction Drawings**”) marked as Exhibit A.

3. The location of the proposed mobile service facility.

The Wireless Siting Law defines “mobile service facility” as:

the set of equipment and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and associated equipment, that is necessary to provide mobile service to a discrete geographic area, but does not include the underlying support structure.³

The Construction Drawings depict where the mobile service facility will be located on the Property (the mobile service facility and the Tower, collectively, the “**Installation**”). As noted on the enclosed Construction Drawings, sheet C-1, DISH will attach its equipment on the Tower at the 160-foot centerline. DISH will route its coax/cabling through the interior of the Tower and install its equipment near the base of the Tower within a fenced compound within the Leased Premises. The Installation is designed to accommodate three (3) additional wireless providers besides DISH.

4. If the application is to substantially modify an existing support structure, a construction plan which describes the proposed modifications to the support structure and the equipment and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and related equipment associated with the proposed modifications.

The application proposes installation of a new Tower; therefore, the requirements of this section are not applicable.

³ Wis. Stat. § 66.0404(1)(L).

- 5. If the application is to construct a new mobile service support structure, a construction plan which describes the proposed mobile services support structure and the equipment and network components, including antennas, transmitters, receivers, base stations, power supplies, cabling, and related equipment to be placed on or around the new mobile service support structure.**

The Construction Drawings provide this information.

- 6. If an application is to construct a new mobile service support structure, an explanation as to why the applicant chose the proposed location and why the applicant did not choose collocation, including a sworn statement from an individual who has responsibility over the placement of the mobile service support structure attesting that collocation within the applicant's search ring would not result in the same mobile service functionality, coverage, and capacity; is technically infeasible; or is economically burdensome to the mobile service provider.**

Enclosed is a sworn statement prepared by a DISH radio frequency engineer (the “**DISH Sworn Statement**”) marked as Exhibit B. The DISH Sworn Statement includes the search ring which defines the precise geographic area where an additional cell site is needed to expand network coverage or capacity. Contributing factors for search ring placement and shape include the surrounding topography, the demographics and even whether the surrounding areas are urban, suburbs or open land.

The DISH Sworn Statement outlines why the proposed location was selected and attests there are no existing structures of sufficient height available for collocation within the search ring, making collocation technically infeasible. In fact, there are no available sites within the search ring, and the proposed site is the best candidate to meet DISH’s network design needs.

SETBACKS

The Tower meets the RR-2 Rural Residential Zoning District minimum front setback for structures of 63 feet from the town road center line; the minimum side yard setback of 10 feet from the lot line; and the minimum rear yard setback of 10 feet from the rear lot line (Section 10.242). There are no existing telecommunications towers within the search ring or close enough to the search ring to meet the coverage and capacity needs of DISH.

ADDITIONAL DISCUSSION

TowerKing is a national owner and operator of wireless communications infrastructure. TowerKing proposes to operate the Installation within the Leased Premises and will own the Tower. DISH will install its equipment on the Tower and place ground equipment within the Leased Premises. It is not uncommon for wireless telecommunications service providers to partner with companies like TowerKing to site development projects.

The proposed Installation results from the needs of DISH. In 2020, DISH became a nationwide U.S. wireless carrier through the acquisition of Boost Mobile and as part of the regulatory review process of the merger between Sprint and T-Mobile. DISH is building the nation's first virtualized, standalone 5G broadband network, and has also determined a need for coverage within the immediate area.

The Installation will include a 12-foot-wide access and utility easement from the existing driveway off of County Road MN. The access and utility easement will require only minimal improvement.

The Installation will provide a great benefit in providing high quality, technologically advanced wireless communication services to the area. The Installation will conform to all applicable laws and regulations, including the national standard's seventh revision for Steel Antenna Towers and Antenna Supporting Structures published by the Telecommunications Industry Association (ANSI/TIA 222-G), Federal Communications Commission, and Federal Aviation Administration ("FAA"). The FAA Determination of No Hazard, which further negates any risk posed by the Tower, is attached and marked as Exhibit C.

The Installation will fill the void for wireless coverage within the immediate geographic area of the site. Once constructed, the Installation will negate requests for additional towers in the area.

The Property is in the RR-2 Rural Residential (2 to 4 acres) Zoning District (the "**RR-2 District**"), which is described in Section 10.242 of the County's Zoning Ordinance. The Leased Premises has been positioned upon the Property in a location to best fit with the current uses of the Property, as well as the surrounding properties. Photo simulations are included at marked as Exhibit D. The Installation will require no public financial contribution or result in any additional expenses public facilities and services.

The communication services offered by DISH are expected to be used by the general public, providing an economic asset to the community. The Installation will enhance E-911 services, further protecting public health, safety, and welfare within the area. Besides strengthening coverage, the Tower will facilitate deployment of next generation technology.

The Installation will be unmanned and will not be lighted. No parking or employee facilities are required. DISH's technicians will visit the site periodically, typically a couple hours once per month, for the security monitoring, testing, monitoring, and maintenance of its equipment. TowerKing will also visit the site periodically to monitor the maintenance and security of the facility. The facility will not generate recognizable traffic. Noise level is limited to periodic generator operation.

DANE COUNTY COMMUNICATION TOWER ORDINANCE

Dane County regulates wireless siting via Section 10.103(9) of its Code of Ordinances (the "**Dane County Communication Tower Ordinance**" or the "**County Ordinance**"). The Application meets the applicable provisions of the Ordinance, when read in conjunction with the Wireless Siting Law. The requirements of the County Ordinance, and the Applicants' responses to those requirements, follow. This information and related enclosures fulfill the applicable requirements of the County Ordinance.

- Section 10.103(9)(b)1.a.i.
 - Contact information for the Applicants is provided above. FCC license numbers are set forth in the FCC Radio Station Authorizations enclosed with this Application and marked as Exhibit E.
- Section 10.103(9)(b)1.a.ii.
 - See the Construction Drawings, sheet T-1.
- Section 10.103(9)(b)1.a.iii.
 - See FCC Radio Station Authorizations.
- Sections 10.103(9)(b)1.b.i. and 10.103(9)(b)1.b.ii.
 - See DISH Sworn Statement.
- Section 10.103(9)(b)1.c.

- See Search Ring, Tower Map & Existing Residences Map enclosed with this Application and marked as Exhibit F.
- Section 10.103(9)(b)1.d.
 - This information has been provided directly to the County's third-party engineering consultant.
- Sections 10.103(9)(b)1.e. & 10.101(6)
 - See the Construction Drawings and Search Ring, Tower Map & Existing Residences Map.
- Section 10.103(9)(b)1.f.
 - See the Construction Drawings.
 - The Tower will not be lighted per the FAA Determination of No Hazard.
 - See Photo Simulations.
 - Notification to other carriers has been provided via email. See Exhibit H attached.
 - Notification to nearby airports will have been provided per the FAA Determination of No Hazard.

TOWN OF DUNN COMMUNICATION TOWERS ORDINANCE

To the extent it is not inconsistent with, or preempted by, Wis. Stat. § 66.0404, the Town of Dunn also regulates the construction and operation of communication towers via Ordinance No. 12-5 (the "**Town of Dunn Communication Tower Ordinance**" or the "**Town Ordinance**"). The Application will meet the applicable provisions of the Town Ordinance. This Application provides much of what is required by the Town Ordinance, which overlaps with Wis. Stat. § 66.0404 and the County Ordinance. Applicants will subsequently furnish to the Town any information that is not addressed by this Application.

STANDARDS FOR CONDITIONAL USE PERMITS

1. The establishment maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The proposed Tower will not be detrimental to or endanger the public health, safety, comfort or general welfare. The Tower does not generate noise, traffic, sounds, odors, or any

nuisance that would be detrimental to the residents of the County or Town. At the same time, the Tower will increase telecommunication connectivity, Wi-Fi, and access to emergency services.

2. The uses, values, and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by establishment, maintenance or operation of the conditional use.

The proposed use will not foreseeably substantially impair or diminish the uses, values and enjoyment of other property in the area. The properties immediately to the north, east, and south of the Property are all open space/agriculturally-zoned parcels, the uses of which will not be affected by the Tower. The Tower is set back as far as possible from west property line (and abutting single-family residence uses), and the parcels to the north, east, and south are all agriculturally-zoned (A-1 (Agricultural Transition) and FP-35 (General Farmland Preservation)). The proposed Tower is a monopole, rather than a lattice tower, and will not require guy wires. It is minimally invasive from a visual standpoint as provided in the Photo Simulations. Further, the enclosure will be screened by a wood fence and vegetation.

3. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed use will not impede the normal and orderly development and improvement of the surrounding properties. The small footprint of the proposed site will allow the Property to be used as permitted and the proposed use will not impede the normal and orderly development and improvement of the surrounding agriculturally-zoned properties to the north, east, and south.

4. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being made to accommodate the conditional use.

All access and utilities are provided as indicated in the Construction Drawings. The Tower will not have an impact on water, septic, or storm water management, nor generate traffic requiring (one additional vehicle a month) infrastructure improvement. The approval of this Application will add an additional utility for the surrounding public to use.

5. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

As provided in the Construction Drawings, the Tower will be accessible via an extension of an existing driveway. The use will only generate additional traffic of one vehicle per month.

6. That the conditional use shall conform to all applicable regulations of the district in which it is located.

The Tower conforms to all applicable regulations in the district in which it will be located as provided in this letter. The Tower is designed to fail at a location that will result in a fall radius of less than 35 feet⁴ and the Installation will be screened by an eight-foot wooden fence and vegetation.

7. The conditional use is consistent with the adopted town and county comprehensive plans.

The Tower is consistent with the Comprehensive Plans of the Town and County. Specifically, the proposed use is consistent with the County's goal to ensure that its residents continue to enjoy high quality community services and facilities. Similarly, the proposed use further the goals of the Town, as its Plan recognizes that "[a]ccess to communication facilities is very important to the modern economy" and while "[s]everal communication companies provide services to the Town of Dunn ... the quality of these services depends upon the capacity of the ... towers serving the Town."⁵

It not only will provide the services identified as an existing need by at least one carrier but provides the infrastructure to provide for the County's and Town's future needs as telecommunications service (and wireless Internet service) have become a necessary and indispensable need for residents and businesses. Indeed, the proposed use is also consistent with the County's economic development goals as it allows residents to perform daily tasks and improves businesses opportunities. At the same time, the proposed Tower will be located on a portion of the Property that is set back from the nearest properties with residential use and will not interfere with the surrounding agricultural uses.

⁴ See attached Fall Zone Letter marked as Exhibit G.

⁵ Town of Dunn Comprehensive Plan at A-21.

Mr. Majid Allan
Planning & Development
December 6, 2022
Page 10

8. If the conditional use is located in a Farmland Preservation (FP) Zoning district, the conditional use is subject to the following additional standards found in section 10.220(1). Attach additional pages, if necessary.

Not applicable.

CONCLUSION

We look forward to working with you to help advance wireless communications to the residents, guests, and workforce in the area. Please contact me at (317) 507-4541 or by e-mail at derek@cellusite.net if you have questions or require additional information.

Very truly yours,

CELLUSITE, LLC

By: /s/ Derek McGrew

Derek McGrew

Agent for Iron Mountain Towers, LLC dba
TowerKing and DISH Wireless, LLC

Enclosures (Exhibits A-G)

cc: Attorney Jake Remington, Husch Blackwell LLP (legal counsel for Applicants)

NOTE:
FOR SITES WHERE A CRANE IS NECESSARY, THE CONTRACTOR SHALL CONFIRM AN UNOBSTRUCTED ROUTE FOR THE CRANE FROM PUBLIC ROAD TO TOWER SITE PRIOR TO CONSTRUCTION. NO AERIAL OBSTRUCTIONS UNDER FIFTEEN FEET ABOVE GRADE, INCLUDING AERIAL UTILITY LINES, ARE ALLOWED ALONG SAID CRANE ROUTE.

EXHIBIT A



MCFARLAND

DRAWING INDEX

- T-1 TITLE SHEET
- S-1 SURVEY PLAN
- S-2 ENLARGED SITE PLAN
- C-1 TOWER ELEVATION & DETAILS
- C-2 SHELTER ELEVATIONS
- C-3 FOUNDATION PLAN & DETAILS
- C-4 ICE BRIDGE & FENCE DETAILS
- C-5 GENERAL NOTES
- E-1 ELECTRICAL NOTES & DETAILS
- E-2 SINGLE LINE DIAGRAM & DETAILS
- E-3 GROUNDING DETAILS
- E-4 GROUNDING DETAILS
- E-5 GROUNDING NOTES & DETAILS

CIVIL ENGINEER
LANDTECH PROFESSIONAL
SURVEYING AND ENGINEERING
1275 MCGREGOR WAY
GRAWN, MI 49637
P.O. BOX 193
PHONE: (231) 943-0050

SURVEYOR
LANDTECH PROFESSIONAL
SURVEYING AND ENGINEERING
1275 MCGREGOR WAY
GRAWN, MI 49637
P.O. BOX 193
PHONE: (231) 943-0050

PROJECT INFORMATION

SCOPE OF WORK:
UNMANNED TELECOMMUNICATIONS FACILITY

TYPE OF CONSTRUCTION
PROJECT TYPE: PROPOSED 170' MONOPOLE

SITE ADDRESS:
3486 COUNTY HIGHWAY MN
MCFARLAND VILLAGE, WI 53558

TOWER INFORMATION:
(LATITUDE & LONGITUDE BASED ON NAD1983)
LATITUDE: 43° 01' 01.0"N
LONGITUDE: 89° 16' 15.4"W
PROPOSED RAD CENTER HEIGHT: 160' AGL.

SQUARE FOOTAGE:
PROPOSED LEASE AREA: 10,000 SQ. FT.

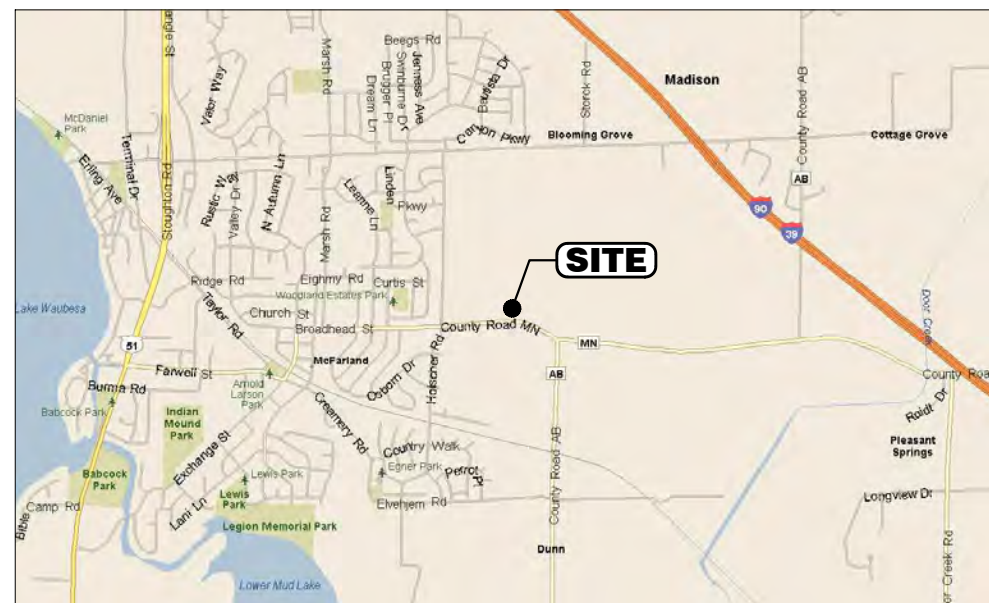
PROPERTY OWNERS:
KHAN M. & SADIA ARIF
3486 COUNTY HIGHWAY MN
MCFARLAND VILLAGE, WI 53558

PARCEL NUMBER (TAX I.D.):
061002182450

OCCUPANT LOAD:
UNOCCUPIED

PARKING REQUIREMENTS:
ADDITIONAL PARKING REQUIRED: NONE
EXISTING PARKING MODIFICATIONS: NONE REQUIRED

DIRECTIONS TO SITE:
FROM DANE COUNTY REGIONAL AIRPORT [4000 INTERNATIONAL LN, MADISON WI] ON INTERNATIONAL LN (NORTH), TURN LEFT (SOUTH-EAST) ONTO ANDERSON ST. TURN RIGHT (SOUTH) ONTO US-51 [N STOUGHTON RD]. KEEP RIGHT ONTO RAMP. TURN LEFT (EAST) ONTO SIGGELKOW RD. TURN RIGHT (SOUTH) ONTO HOLSCHER RD. TURN LEFT (EAST) ONTO CR-MN [COUNTY ROAD MN]. TURN LEFT (NORTH) ONTO ACCESS DRIVE



VICINITY MAP
NOT TO SCALE

NOTES

- CONCRETE AND REINFORCING STEEL NOTES (SEE PAGE C-5)
- APPLICABLE BUILDING CODES AND STANDARDS (SEE PAGE C-5)
- SITE WORK GENERAL NOTES (SEE PAGE C-5)
- STRUCTURAL STEEL NOTES (SEE PAGE C-5)
- GROUNDING NOTES (SEE PAGE E-5)
- ELECTRICAL INSTALLATION NOTES (SEE PAGE E-1)
- GENERAL NOTES (SEE PAGE C-5)



TOWER KING
23434 ELLIOTT ROAD,
DEFIANCE, OH 43512
PH: (419) 782-8591

MCFARLAND
3486 COUNTY HIGHWAY MN
MCFARLAND VILLAGE, WI 53558

3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM
2	09/15/22	REV'D PER CLIENT-ARBORVITAE, FENCING	TLR	MM	MM
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0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		

SHEET T-1

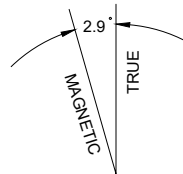
TITLE SHEET

DRAWING NUMBER

22359001

LATITUDE & LONGITUDE

LATITUDE AND LONGITUDE OF SITE ARE BASED ON NAD 83.
 LATITUDE: 43° 01' 01.0" N
 LONGITUDE: 89° 16' 15.4" W
 GROUND ELEVATION AT TOWER BASE: 889' AMSL
 ELEVATIONS ARE BASED ON NAVD88



SITE INFORMATION

SITE ADDRESS: 3486 COUNTY HIGHWAY MN, MCFARLAND VILLAGE, WI 53558
PROPERTY OWNER: KHAN M. & SADIA ARIF, 3486 COUNTY HIGHWAY MN, MCFARLAND VILLAGE, MN 53558

ZONING INFORMATION

SUBJECT SITE ZONING: RURAL RESIDENTIAL

ADJACENT ZONING:

NORTH: A1 AGRICULTURAL TRANSITION
SOUTH: FARMLAND PRESERVATION
EAST: A1 AGRICULTURAL TRANSITION
WEST: RESIDENTIAL

TOWER SETBACKS:

FRONT: 100% TOWER HEIGHT (170')
REAR: 100% TOWER HEIGHT (170')
SIDES: 100% TOWER HEIGHT (170')

GENERAL NOTES

NO PROPOSED MUNICIPAL SEWER OR WATER UTILITIES ARE REQUIRED FOR THIS SITE. FINISH GRADE WILL MATCH EXISTING CONTOUR. THERE WILL BE NO CHANGE IN DRAINAGE PATTERN DUE TO THE PROPOSED INSTALLATION. NO SIGNIFICANT RUNOFF IS GENERATED BY THE PROPOSED INSTALLATION. NO HAZARDOUS MATERIALS WILL BE USED, PROCESSED OR STORED AT THE SITE. TOWER LIGHTING SHALL CONFORM TO FAA STANDARDS AS REQUIRED. ALL WORK SHALL CONFORM TO FAA & FCC REGULATIONS.

PARENT PARCEL (PER DOCUMENT #: 4466976)

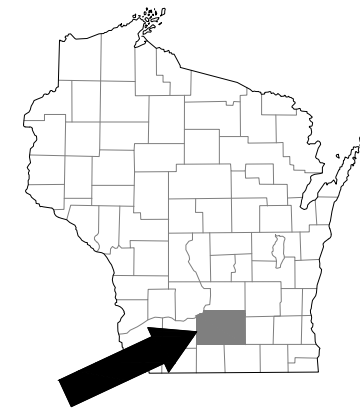
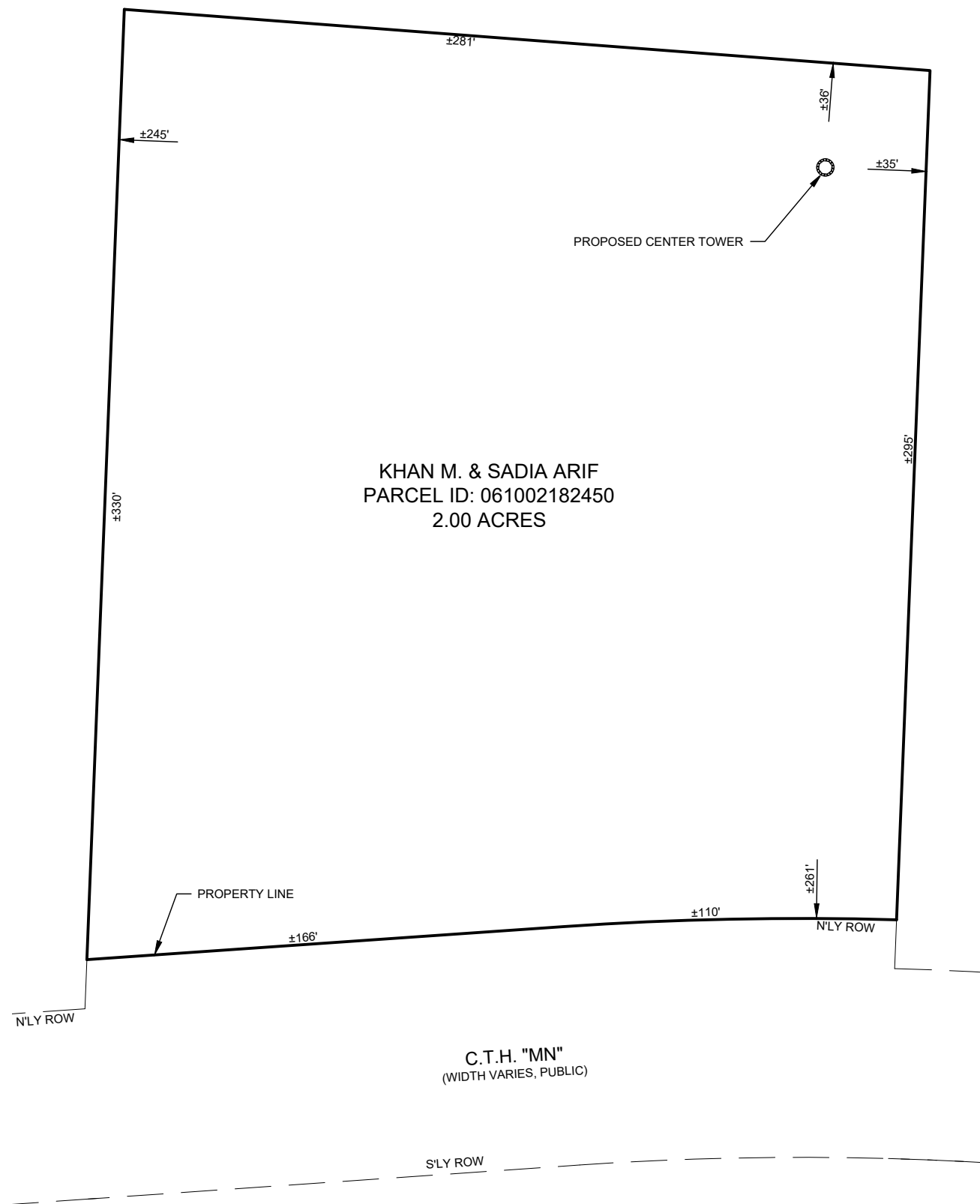
PART OF THE NE 1/4 OF THE NE 1/4 AND THE NW 1/4 OF THE NE 1/4, SECTION 2, TOWN 6 NORTH, RANGE 10 EAST, TOWN OF DUNN, DANE COUNTY, WISCONSIN, DESCRIBES AS FOLLOWS: COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 2; THENCE N87°31'06"E (RECORDED EAST), 1300.93 FEET ALONG THE NORTH LINE OF THE NE 1/4 OF SAID SECTION 2; THENCE S02°15'12"W (RECORDED AS S04°44'10"W), 380.63 FEET TO THE CENTERLINE OF C.T.H. "MN"; THENCE N86°02'15"E, 171.26 FEET ALONG THE CENTERLINE OF C.T.H. "MN" TO A POINT OF CURVATURE; THENCE CONTINUING ALONG SAID CENTERLINE OF SAID C.T.H. "MN" TO THE RIGHT WITH A CENTRAL ANGLE OF 05°31'18", A RADIUS OF 1195.92 FEET AND A LONG CORD OF N88°48'54"E, 110.36 FEET; THENCE N02°15'12"E, 339.88 FEET; THENCE N85°39'48"W, 280.63 FEET TO THE POINT OF BEGINNING; CONTAINING 101,230 SQUARE FEET (2.32 ACRES), 87,140 SQUARE FEET (2.00 ACRES) EXCLUDING C.T.H. "MN" RIGHT-OF-WAY. SUBJECT TO ALL EASEMENTS OF RECORD.

TOWER KING LEASE AREA DESCRIPTION

A PART OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 10 EAST, DUNN TOWNSHIP, DANE COUNTY, WISCONSIN, DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION; THENCE NORTH 87°31'27" EAST ALONG THE NORTH LINE OF SAID SECTION A DISTANCE OF 1,341.03 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 769.15 FEET TO THE NORTHWEST CORNER OF THE PARENT PARCEL; THENCE SOUTH 85°39'48" EAST ALONG THE NORTH LINE OF SAID PARCEL A DISTANCE OF 170.56 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 6.07 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 87°44'48" EAST A DISTANCE OF 100.00 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 100.00 FEET; THENCE NORTH 87°44'48" WEST A DISTANCE OF 100.00 FEET; THENCE NORTH 02°15'12" EAST A DISTANCE OF 100.00 FEET. CONTAINING 10,000.00 SQUARE FEET OR 0.23 ACRES.

TOWER KING ACCESS/UTILITY EASEMENT DESCRIPTION

A 20 FOOT WIDE EASEMENT OVER/UNDER AND ACROSS ALL THAT PART OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 10 EAST, DUNN TOWNSHIP, DANE COUNTY, WISCONSIN, DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION; THENCE NORTH 87°31'27" EAST ALONG THE NORTH LINE OF SAID SECTION A DISTANCE OF 1,341.03 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 769.15 FEET TO THE NORTHWEST CORNER OF THE PARENT PARCEL; THENCE SOUTH 85°39'48" EAST ALONG THE NORTH LINE OF SAID PARCEL A DISTANCE OF 170.56 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 6.07 FEET TO THE NORTHWEST CORNER OF THE TOWER KING LEASE; THENCE SOUTH 87°44'48" EAST ALONG THE NORTHERLY LINE OF SAID LEASE A DISTANCE OF 100.00 FEET TO THE NORTHEAST CORNER OF SAID LEASE; THENCE SOUTH 02°15'12" WEST ALONG THE EASTERLY LINE OF SAID LEASE A DISTANCE OF 100.00 FEET TO THE SOUTHEAST CORNER OF SAID LEASE; THENCE NORTH 87°44'48" WEST ALONG THE SOUTHERLY LINE OF SAID LEASE A DISTANCE OF 36.00 FEET AND THE POINT OF BEGINNING; THENCE SOUTH 03°00'44" WEST A DISTANCE OF 194.74 FEET TO THE NORTHERLY RIGHT-OF-WAY OF C.T.H. "MN" RD (WIDTH VARIES, PUBLIC); THENCE WESTERLY ALONG SAID RIGHT-OF-WAY A DISTANCE OF 20.06 FEET, ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 1,195.92 FEET, A CENTRAL ANGLE OF 00°57'41", AND CHORD BEARING SOUTH 88°46'43" WEST 20.06 FEET; THENCE NORTH 03°00'44" EAST A DISTANCE OF 194.74 FEET TO THE SOUTH LINE OF SAID LEASE; THENCE SOUTH 87°44'48" EAST ALONG SAID LEASE LINE A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING. CONTAINING 3,906.50 SQUARE FEET OR 0.09 ACRES.



- IRON FOUND
- IRON SET
- ▲ P.K. NAIL FOUND
- △ P.K. NAIL SET
- ⊙ GPS MONUMENT
- ⊖ MONUMENT BOX FOUND
- ⊕ MONUMENT FOUND
- ⊗ MONUMENT SET
- (R) RECORD
- (M) MEASURED
- STS STORM MANHOLE
- ⊕ CATCH BASIN
- ⊖ SQUARE CATCH BASIN
- SNS SANITARY MANHOLE
- ⊖ SANITARY CLEAN-OUT
- ⊕ MONITOR WELL
- TELCO. MANHOLE
- PP POWER POLE
- GUY GUY
- ⊙ LIGHT POLE
- ⊖ ELECTRIC TRANSFORMER
- EM ELECTRIC METER
- EHH ELECTRIC HANDHOLE
- WV WATER VALVE
- HYDRANT
- GAS METER
- GAS MARKER
- GV GAS VALVE
- TP TELEPHONE PEDESTAL
- SP SIGN POST
- FL FENCE LINE
- BM BENCHMARK
- POST

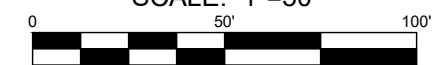
LEGEND

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.



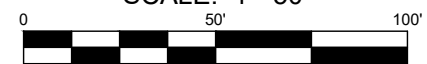
SURVEY PLAN

SCALE: 1"=50'



PARENT PARCEL DETAIL

SCALE: 1"=50'



CERTIFICATION :

I MATTHEW T. MOKANYK CERTIFY THAT I HAVE SURVEYED AND MARKED THE PROPOSED TOWER INSTALLATION AND EXISTING FEATURES AND THAT THIS MAP IS A TRUE REPRESENTATION OF SAID SURVEY.

Matthew T. Mokanyk
 Matthew T. Mokanyk, P.S., P.E.
 Wisconsin P.L.S. No. 3078-8

08/17/22
 Date

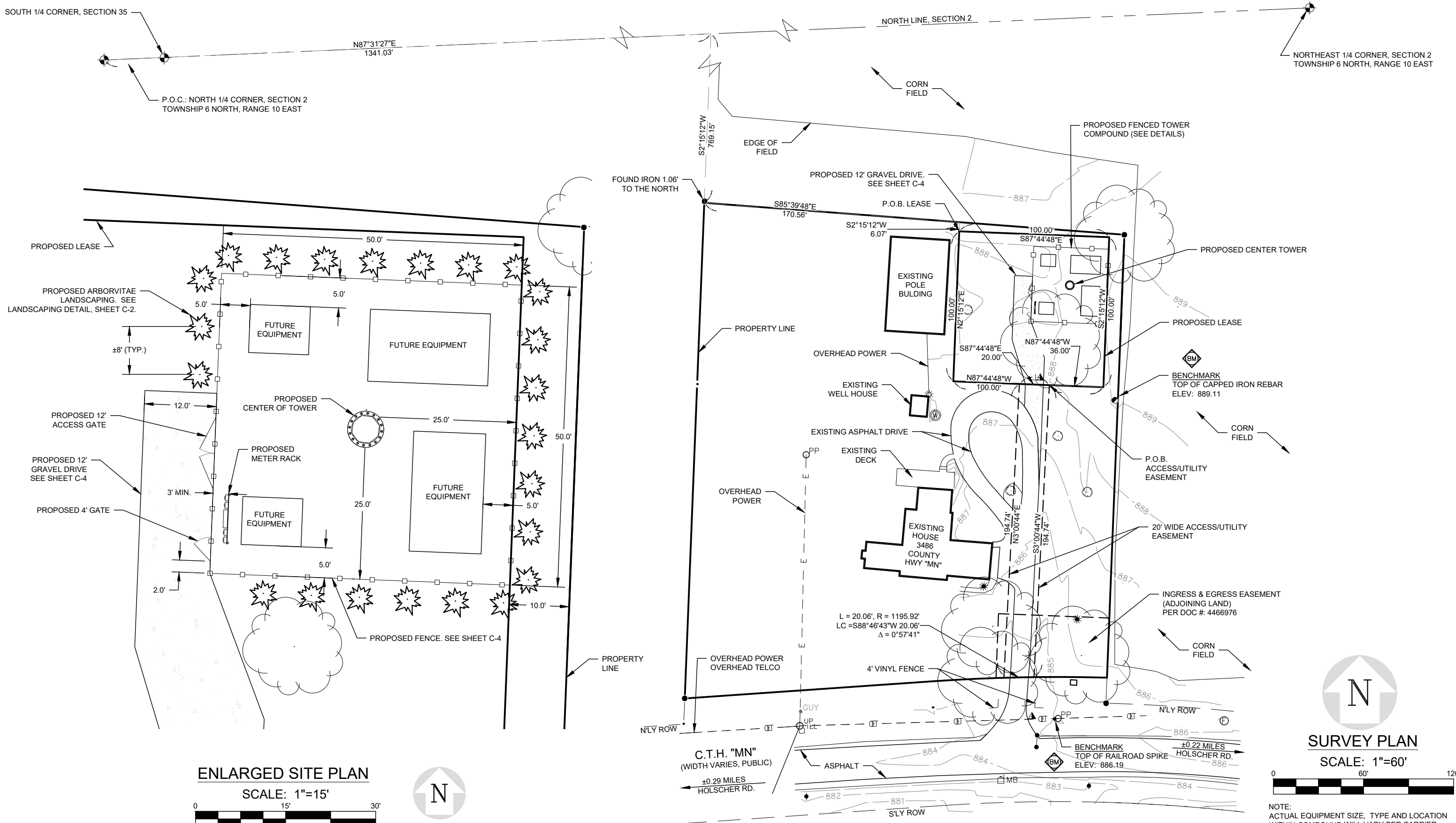
BEARING BASIS: WISCONSIN SOUTH ZONE STATE PLANE COORDINATES, NAD83

TOWER KING
 23434 ELLIOTT ROAD,
 DEFIANCE, OH 43512
 PH: (419) 782-8591

MCFARLAND
 3486 COUNTY HIGHWAY MN
 MCFARLAND VILLAGE, WI 53558

3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM
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1	09/07/22	REV'D TOWER-RAD CENTER HEIGHT	TLR	MM	MM
0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		

SHEET S-1
 SURVEY PLAN
 DRAWING NUMBER
 22359001



LANDTECH
PROFESSIONAL SURVEYING & ENGINEERING
AL, AR, AZ, CO, FL, GA, IL, IA, IN, KS, KY, MI, MN, MO, NE, NC, ND, NJ, NM, NY, OH, OK, PA, SC, SD, TN, TX, VA, WV, WI
231-943-0050 ph 231-943-0051 fax 877-520-LAND toll free
www.landtechps.com www.towersurveyors.com

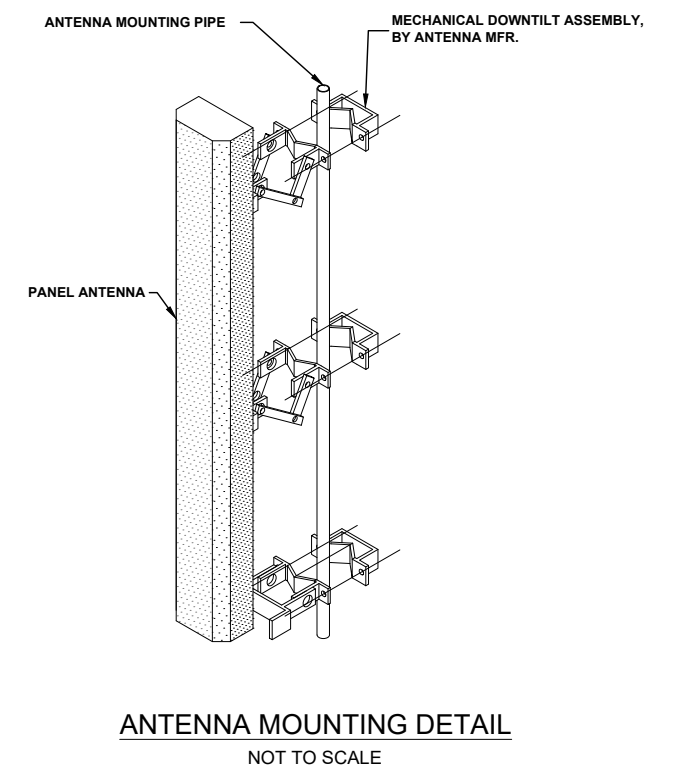
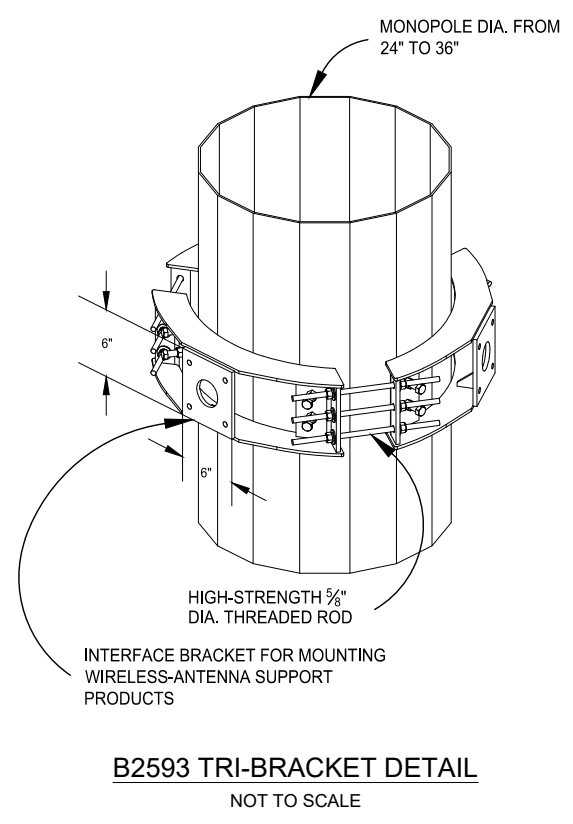
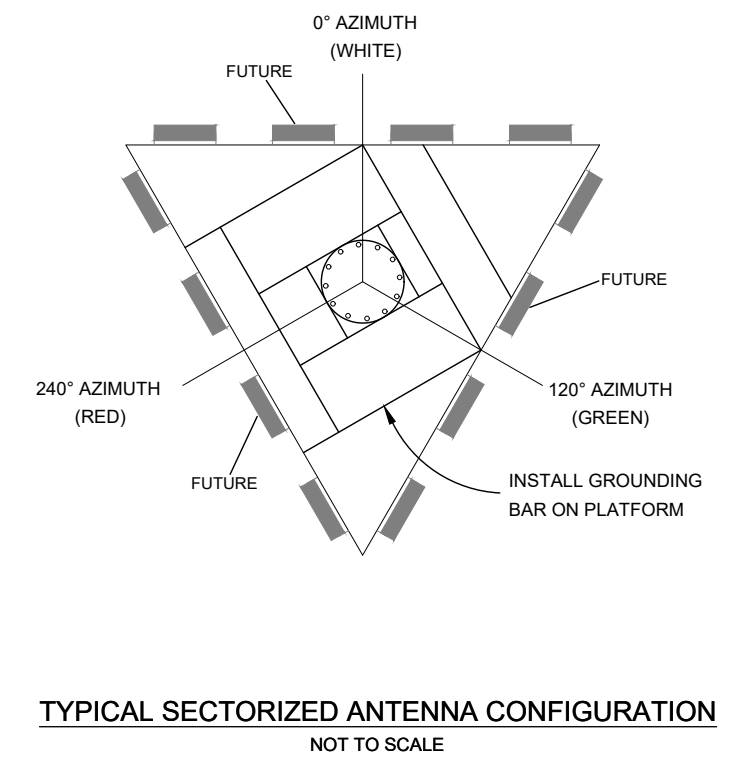
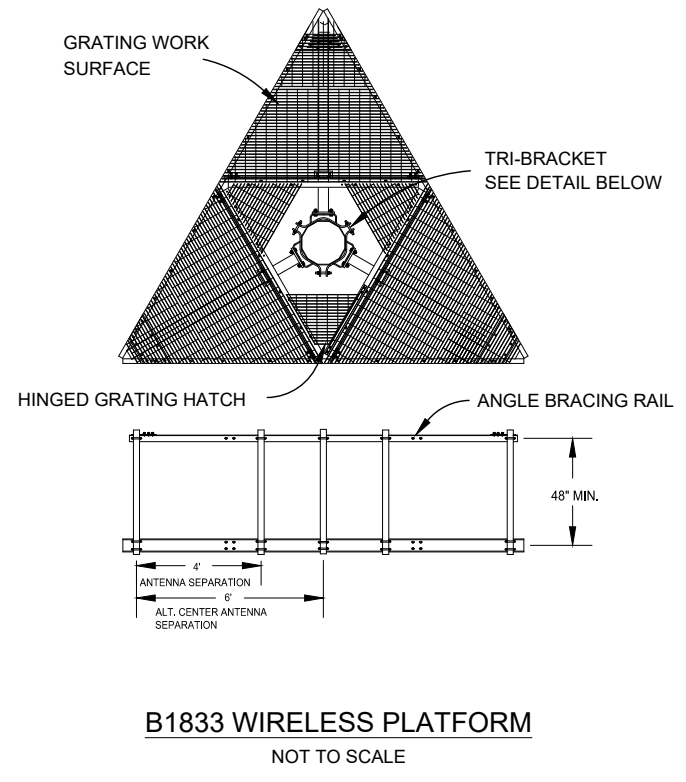
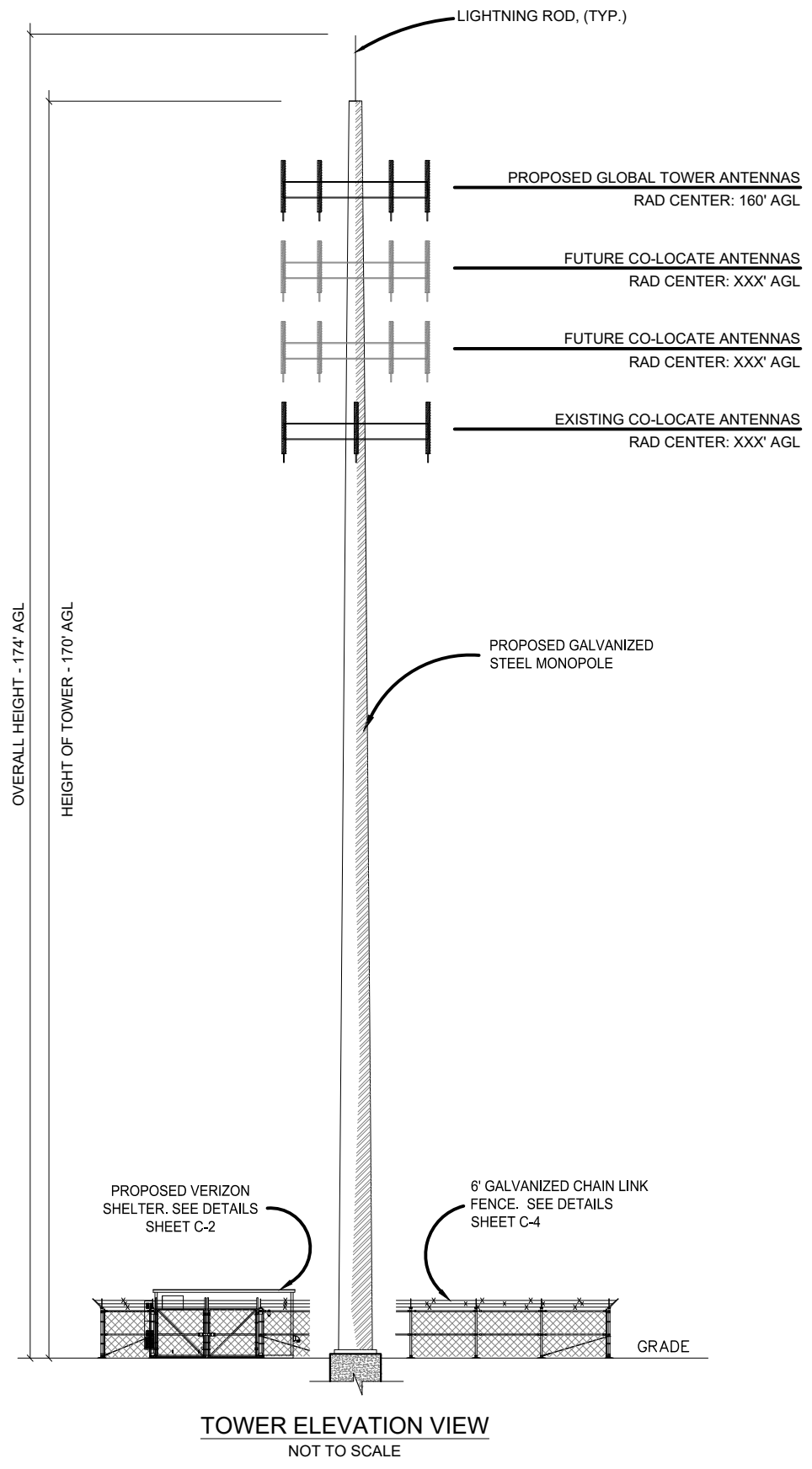
TOWER KING

TOWER KING
23434 ELLIOTT ROAD,
DEFIANCE, OH 43512
PH: (419) 782-8591

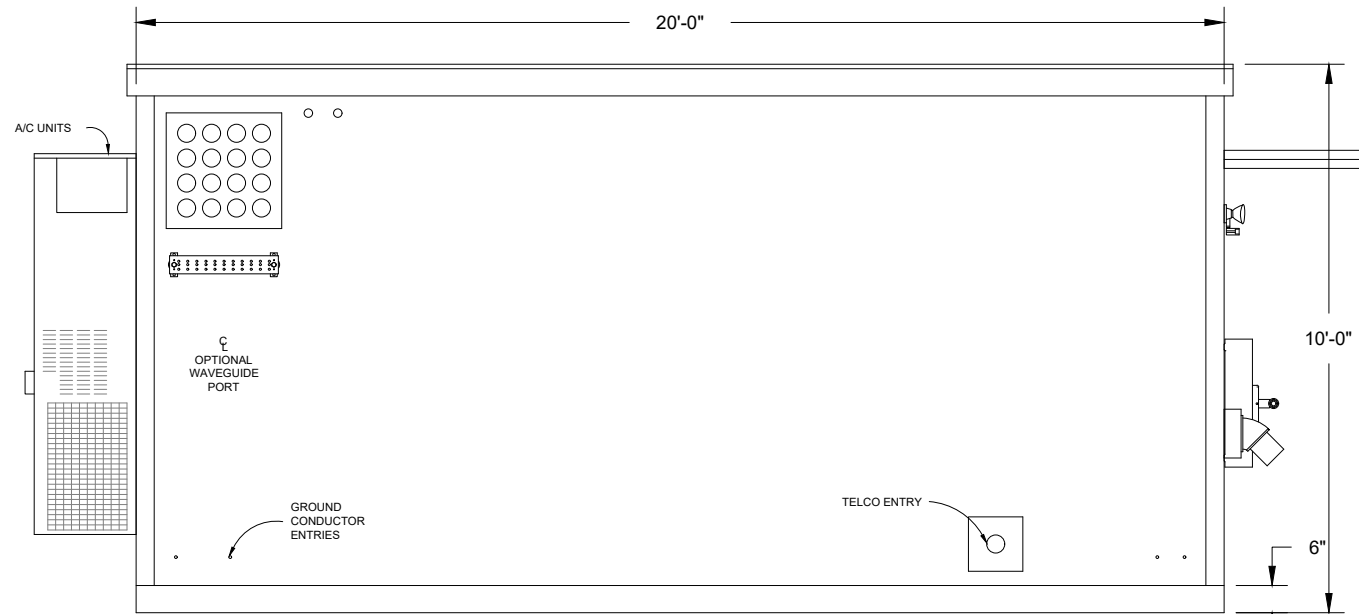
MCFARLAND
3486 COUNTY HIGHWAY MN
MCFARLAND VILLAGE, WI 53558

NO.	DATE	REVISIONS	BY	CHK	APP'D
3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM
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0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM
SCALE: AS SHOWN			DESIGNED BY: MM		DRAWN BY: TLR

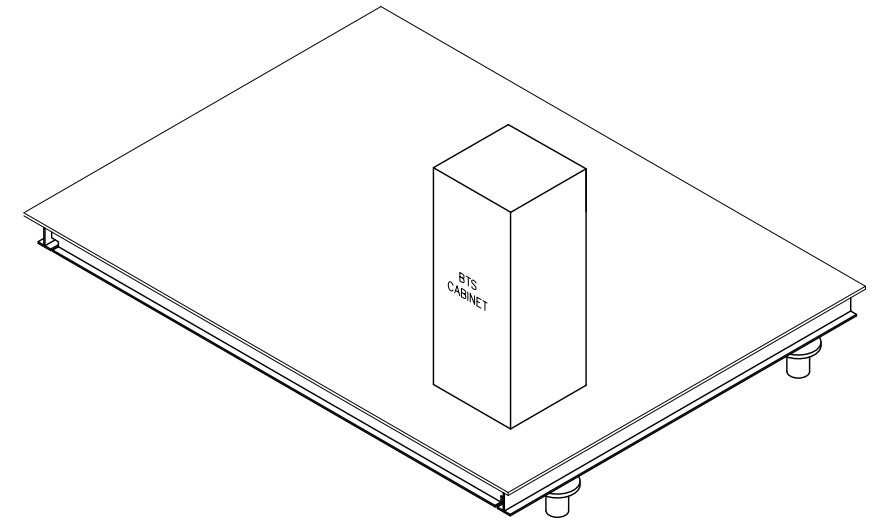
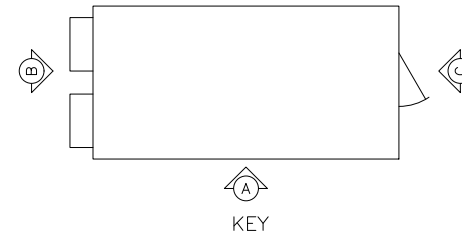
SHEET S-2
ENLARGED SITE PLAN
DRAWING NUMBER
22359001



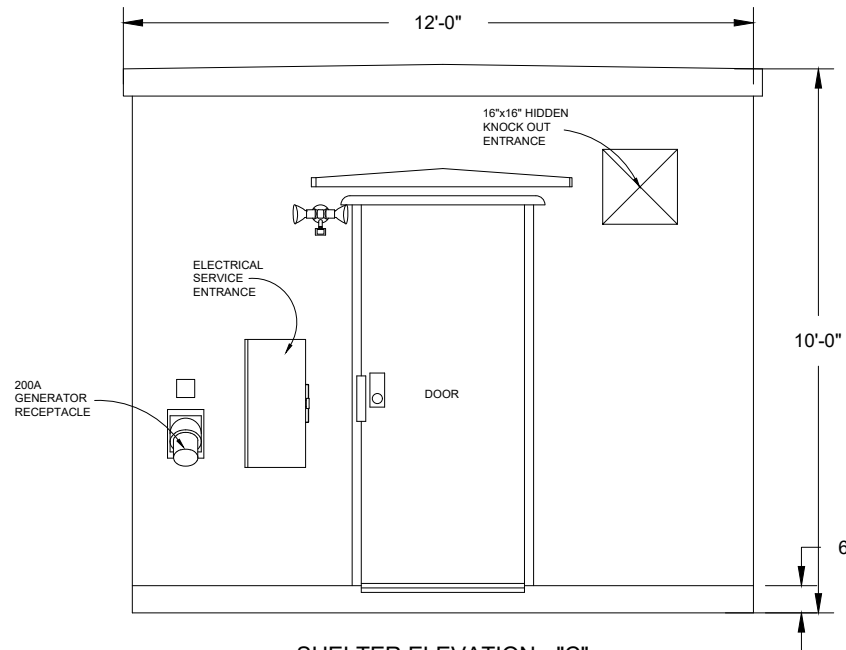
NOTE: SHELTER AND PLATFORM SHOWN ARE TYPICAL OF COMMUNICATION EQUIPMENT INSTALLATIONS AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. INDIVIDUAL EQUIPMENT PROVIDED BY CARRIERS MAY VARY FROM THESE DRAWINGS. DESIGN OF SUCH EQUIPMENT INSTALLATIONS AND THEIR FOUNDATIONS ARE BY OTHERS.



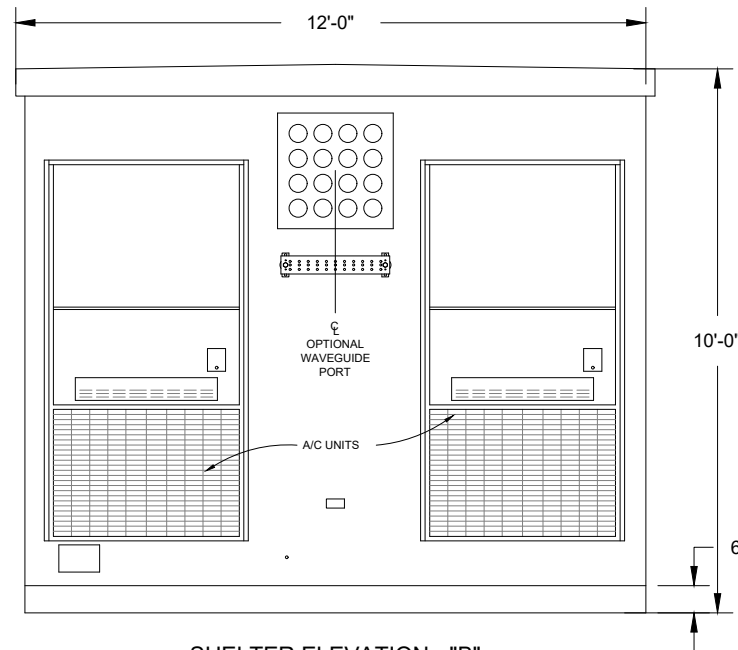
SHELTER ELEVATION - "A"
NOT TO SCALE



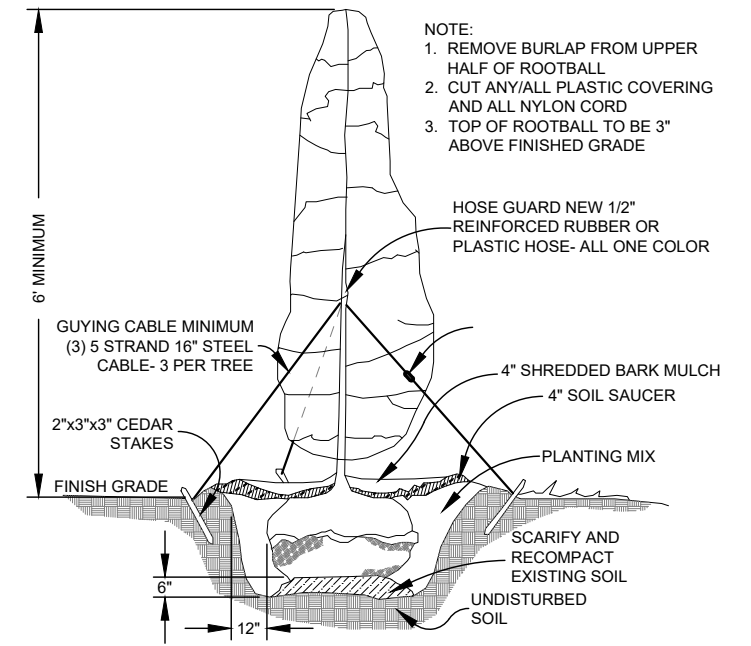
TYPICAL EQUIPMENT PLATFORM
NOT TO SCALE



SHELTER ELEVATION - "C"
NOT TO SCALE

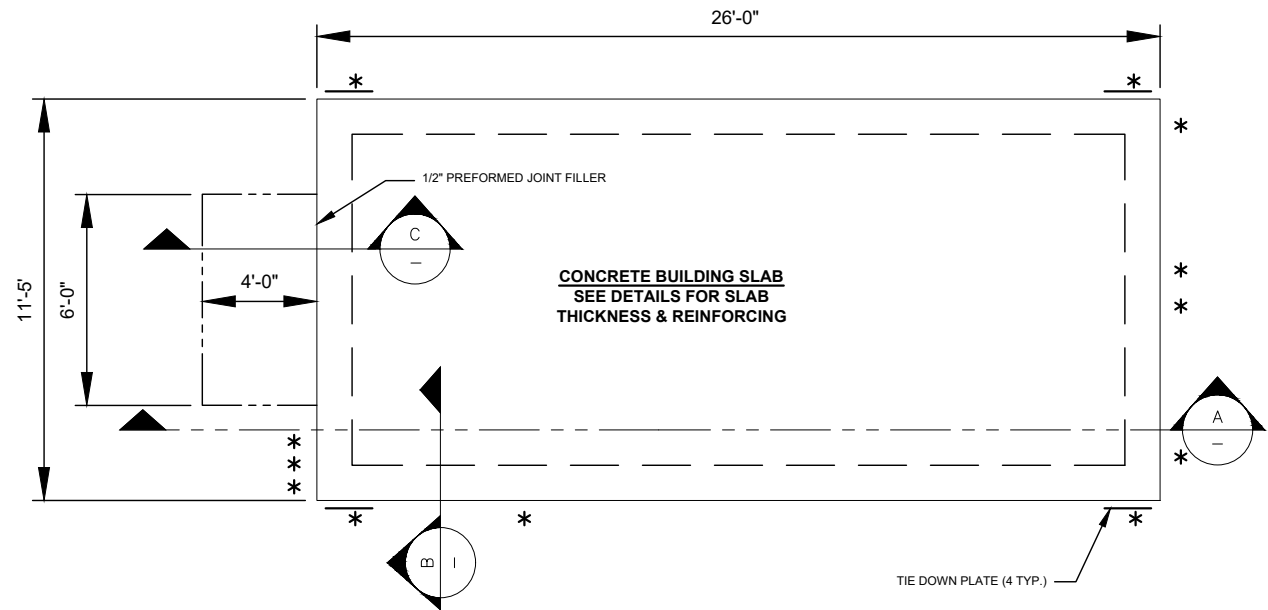


SHELTER ELEVATION - "B"
NOT TO SCALE



LANDSCAPING DETAIL
NOT TO SCALE

NO.	DATE	REVISIONS	BY	CHK	APP'D
3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM
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1	09/07/22	REV'D TOWER-RAD CENTER HEIGHT	TLR	MM	MM
0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM
SCALE: AS SHOWN			DESIGNED BY: MM		DRAWN BY: TLR

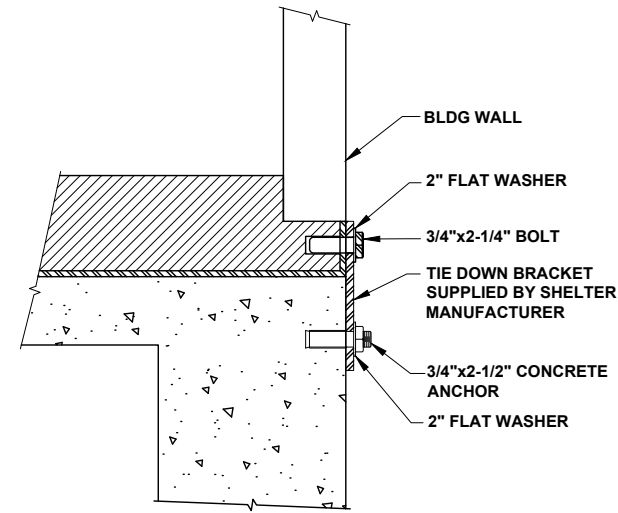


SHELTER FOUNDATION PLAN

NOT TO SCALE

NOTE:

- * #2 GROUND PIG TAIL LOCATIONS SEE GROUNDING PLAN

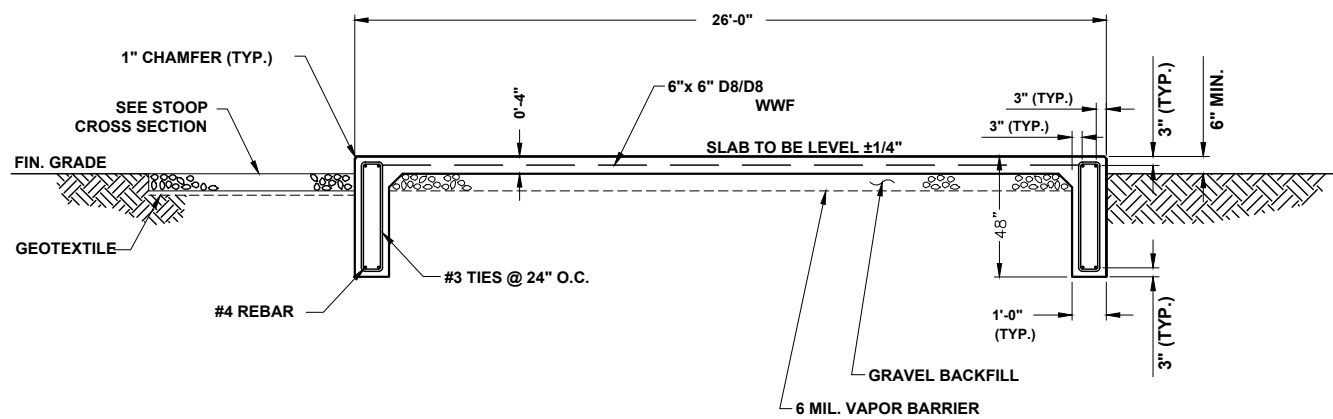


BLDG/FND ATTACHMENT DETAIL B-B

NOT TO SCALE

FOUNDATION GENERAL NOTES:

1. THE SITE SHALL BE STRIPPED OF ALL VEGETATION PRIOR TO FILL OR CONSTRUCTION OF THE FOUNDATION PAD.
2. ALL FILL SAND SHALL BE 0-15 P.I. WITH A COMPACTION TEST RUN ON EACH 6" LIFT - COMPACTED TO 90% MODIFIED PROCTOR.
3. ANY SOFT AREAS (TREE STUMP HOLES, ETC.) SHALL BE CUT OUT AND RECOMPACTED TO SAID PROCTOR.
4. THE SUBCONTRACTOR SHALL KEEP THE SITE SO IT WILL HAVE POSITIVE DRAINAGE AT ALL TIMES.
5. ALL EXCAVATIONS SHALL BE FREE OF WATER BEFORE POURING CONCRETE.
6. MINIMUM SOIL BEARING CAPACITY OF 2,000 PSF IN ALL FOUNDATION AND SLAB AREAS.

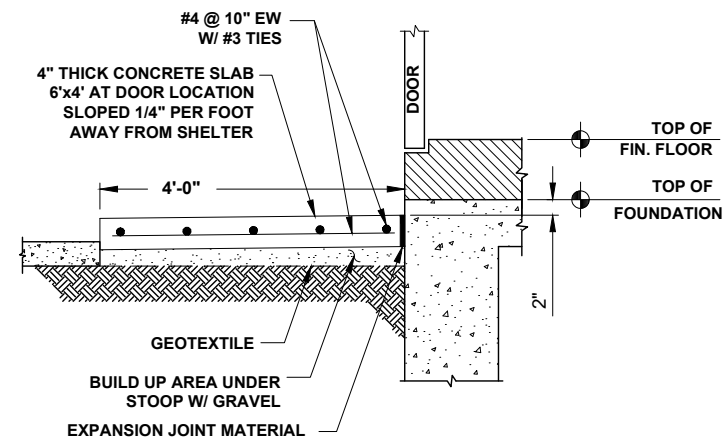


BLDG/FND ATTACHMENT SECTION A-A

NOT TO SCALE

NOTES:

1. CONCRETE FINISH TO BE CLASS A TOLERANCE.
2. TEST FOR 3000 PSI AT 7, 14, & 28 DAYS PER POUR BY INDEPENDENT LAB.
3. ALL CONCRETE TO BE SIX SACK MIX.
4. PERFORM CONCRETE SLUMP TEST (4" MAX). NO WATER TO BE ADDED TO CONCRETE MIX AFTER 4" SLUMP HAS BEEN ESTABLISHED.



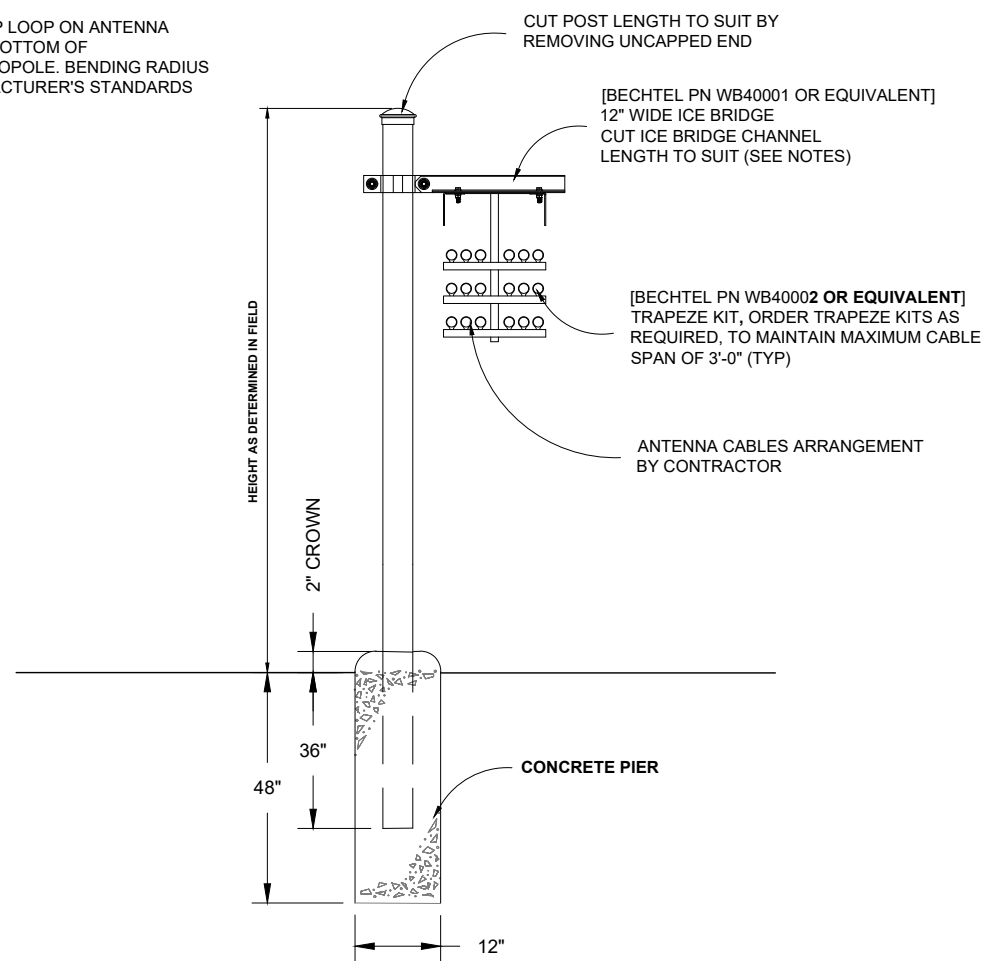
STOOP DETAIL C-C

NOT TO SCALE

NO.	DATE	REVISIONS	BY	CHK	APP'D
3	09/29/22	REVD ZONING PER CLIENT	TLR	MM	MM
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SCALE: AS SHOWN DESIGNED BY: MM DRAWN BY: TLR

* INSTALL DRIP LOOP ON ANTENNA CABLES AT BOTTOM OF TOWER/MONOPOLE. BENDING RADIUS PER MANUFACTURER'S STANDARDS

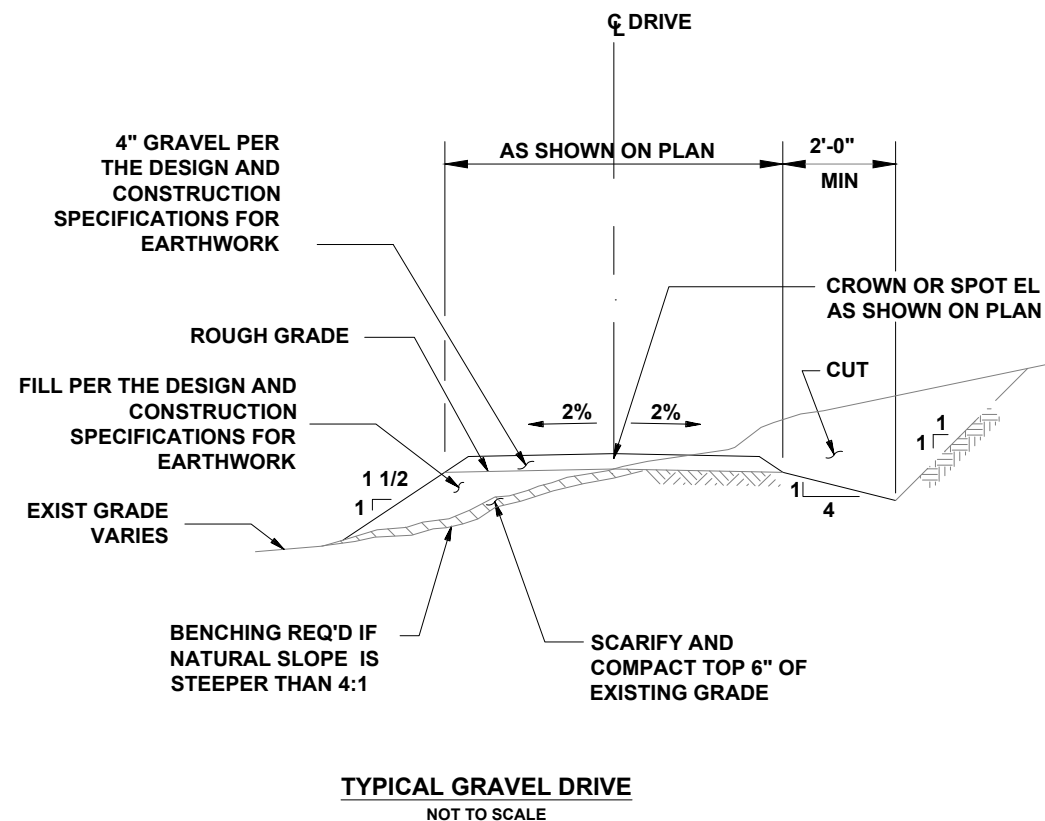


BECHTEL SC:	ROHN PN:	MTS PN:
WB40001		WB-K110-B
WB40002		WB-T12-3

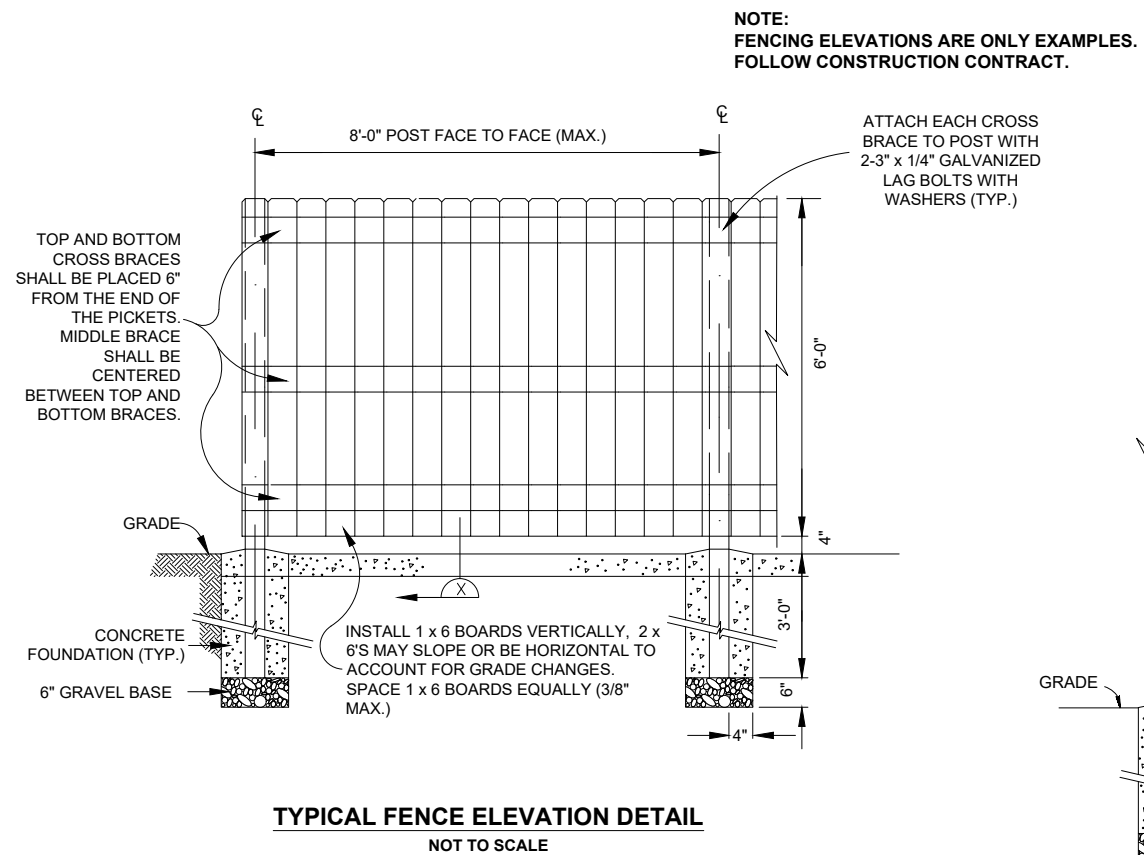
NOTES:

1. WHEN USING COMPONENTS AS SHOWN IN STANDARD DETAILS, MAXIMUM ALLOWABLE SPAN BETWEEN SUPPORTS ON A CONTINUOUS SINGLE SECTION OF BRIDGE CHANNEL SHALL BE 9 FEET FOR 10 FEET BRIDGE CHANNEL.
2. WHEN USING COMPONENTS FOR SPLICING BRIDGE CHANNEL SECTIONS, THE SPLICE SHOULD BE PROVIDED AT THE SUPPORT, IF POSSIBLE, OR AT A MAXIMUM OF 2 FEET FROM THE SUPPORT.
3. WHEN USING COMPONENTS, SUPPORT SHOULD BE PROVIDED AS CLOSE AS POSSIBLE TO THE ENDS OF ICE BRIDGES, WITH A MAXIMUM CANTILVER DISTANCE OF 2 FEET FROM THE SUPPORT TO THE FREE END OF THE ICE BRIDGE.
4. CUT BRIDGE CHANNEL SECTIONS SHALL HAVE RAW EDGES TREATED WITH A MATERIAL TO RESTORE THESE EDGES TO THE ORIGINAL CHANNEL, OR EQUIVALENT, FINISH.
5. ICE BRIDGES MAY BE CONSTRUCTED WITH COMPONENTS FROM OTHER MANUFACTURERS, PROVIDED THE MANUFACTURER'S INSTALLATION GUIDELINES ARE FOLLOWED.
6. DEVIATIONS FROM STANDARDS FOR COMPONENT INSTALLATIONS ARE PERMITTED WITH THE RESPECTIVE MANUFACTURER'S APPROVAL.
7. DEVIATIONS FROM ICE BRIDGE FOUNDATIONS REQUIRE ENGINEERING APPROVAL.

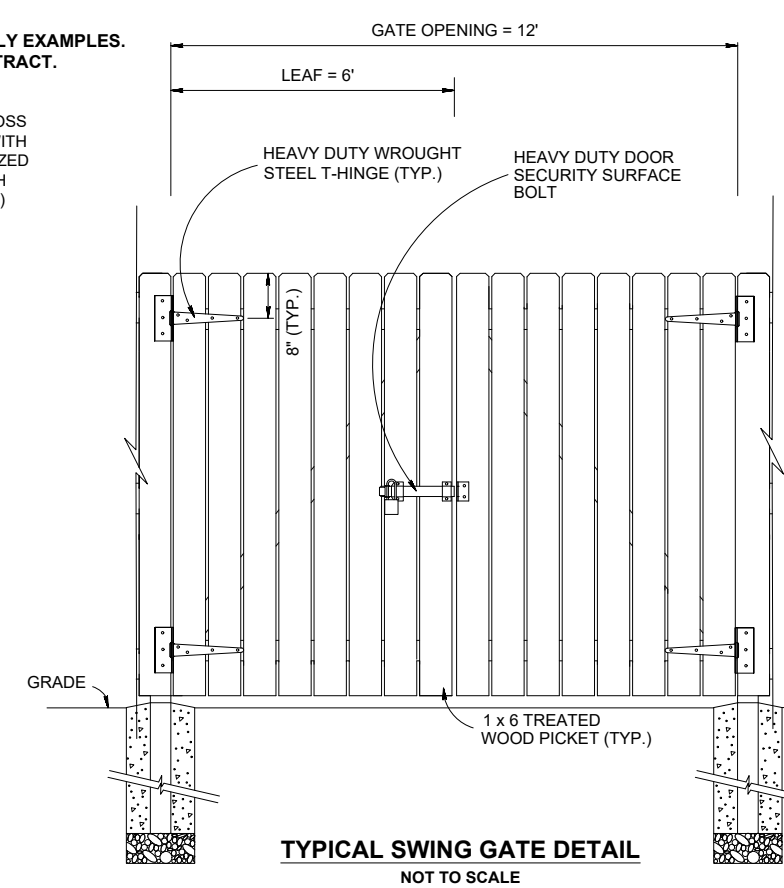
TYPICAL ICE BRIDGE DETAIL
NOT TO SCALE



TYPICAL GRAVEL DRIVE
NOT TO SCALE



TYPICAL FENCE ELEVATION DETAIL
NOT TO SCALE



TYPICAL SWING GATE DETAIL
NOT TO SCALE

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0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM

SCALE: AS SHOWN DESIGNED BY: MM DRAWN BY: TLR

SITE WORK GENERAL NOTES:

1. THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING & EXCAVATION.
3. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
4. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
5. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, OWNER AND/OR LOCAL UTILITIES.
6. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION.
7. THE SUBCONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE.
8. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BTS EQUIPMENT AND TOWER AREAS.
9. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
10. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
11. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED IN THE PROJECT SPECIFICATIONS.
12. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.

STRUCTURAL STEEL NOTES:

1. ALL STEEL WORK SHALL BE PAINTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH ASTM A36 UNLESS OTHERWISE NOTED.
2. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION". PAINTED SURFACES SHALL BE TOUCHED UP.
3. BOLTED CONNECTIONS SHALL BE ASTM A325 BEARING TYPE (3/4"Ø) CONNECTIONS AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
4. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
5. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS.

CONCRETE AND REINFORCING STEEL NOTES:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 - CONCRETE CAST AGAINST EARTH.....3 IN.
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - #6 AND LARGER2 IN.
 - #5 AND SMALLER & WWF1 1/2 IN.
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
 - SLAB AND WALL3/4 IN.
 - BEAMS AND COLUMNS1 1/2 IN.
5. A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
6. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD OR APPROVED EQUAL.

GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
 - CONTRACTOR -
 - SUBCONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)
 - OWNER -
 - OEM - ORIGINAL EQUIPMENT MANUFACTURE
2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE RFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
4. DRAWINGS PROVIDED HERE ARE NOT TO SCALE AND ARE INTENDED TO SHOW OUTLINE ONLY.
5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
6. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
7. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR.
8. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING.
9. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT UBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
10. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
11. SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.

APPLICABLE BUILDING CODES AND STANDARDS:

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES:

1. INTERNATIONAL BUILDING CODE	5. NATIONAL ELECTRICAL CODE
2. INTERNATIONAL MECHANICAL CODE	6. LOCAL BUILDING CODE
3. INTERNATIONAL RESIDENTIAL CODE	7. STATE BUILDING CODE
4. UNIFORM PLUMBING CODE	8. CITY/COUNTY ORDINANCES

UnderWriter Laboratories Approved Electrical Products
Life Safety Code NFPA - 101

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING

AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL

AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD,

TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) EIA-222-F, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES

INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM

IEEE 1100 (2005) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC

IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")

TIA 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR

TELCORDIA GR-1503 COAXIAL CABLE CONNECTIONS













FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

ABBREVIATIONS AND SYMBOLS

ABBREVIATIONS

- AGL ABOVE GRADE LEVEL
- BTS BASE TRANSCIEVER STATION
- (E) EXISTING
- MIN MINIMUM
- N.T.S. NOT TO SCALE
- REF REFERENCE
- RF RADIO FREQUENCY
- T.B.D. TO BE DETERMINED
- T.B.R. TO BE RESOLVED
- TYP TYPICAL
- REQ REQUIRED
- EGR EQUIPMENT GROUND RING
- AWG AMERICAN WIRE GAUGE
- MGB MASTER GROUND BUS
- EG EQUIPMENT GROUND
- BCW BARE COPPER WIRE
- SIAD SMART INTEGRATED ACCESS DEVICE
- GEN GENERATOR
- IGR INTERIOR GROUND RING (HALO)
- RBS RADIO BASE STATION

SYMBOLS

-  SOLID GROUND BUS BAR
-  SOLID NEUTRAL BUS BAR
-  SUPPLEMENTAL GROUND CONDUCTOR
-  2-POLE THERMAL-MAGNETIC CIRCUIT BREAKER
-  SINGLE-POLE THERMAL-MAGNETIC CIRCUIT BREAKER
-  CHEMICAL GROUND ROD
-  GROUND ROD
-  DISCONNECT SWITCH
-  METER
-  CADWELD TYPE CONNECTION
-  COMPRESSION TYPE CONNECTION
-  GROUNDING WIRE



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SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		

SHEET C-5

GENERAL NOTES

DRAWING NUMBER

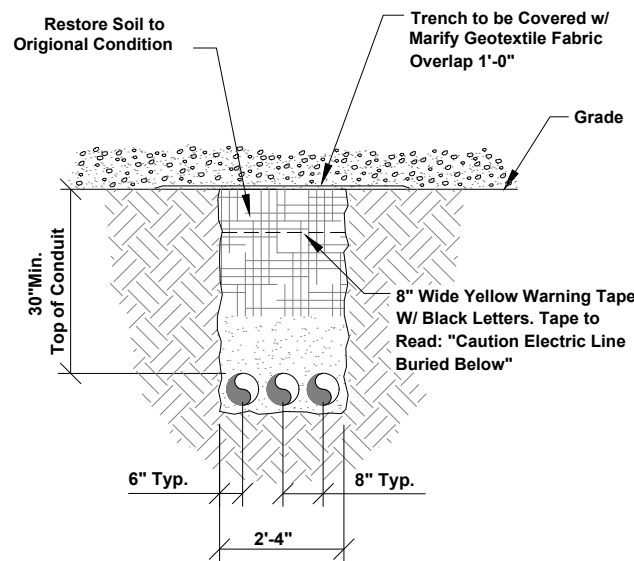
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ELECTRICAL INSTALLATION NOTES

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
2. CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
5. CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
6. EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.
7. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
8. PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
9. ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
10. POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
11. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; WITH OUTER JACKET; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
16. ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.
18. RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
19. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
20. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.
21. CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
22. WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.

ELECTRICAL INSTALLATION NOTES (cont.)

23. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS
24. METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
25. NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
26. THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
27. THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.



TYPICAL TRENCH DETAIL
NOT TO SCALE



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3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM
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SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		

SHEET E-1

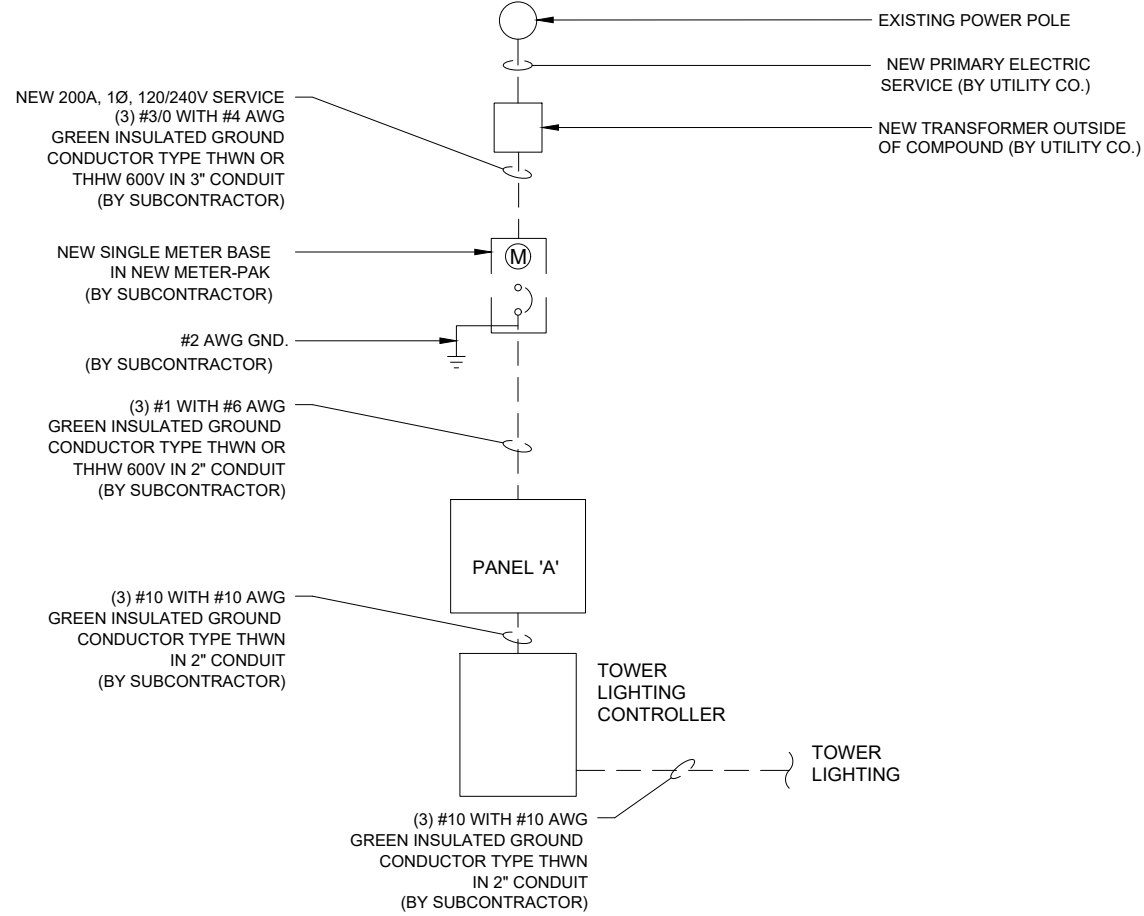
ELECTRICAL NOTES & DETAILS

DRAWING NUMBER

22359001

ELECTRICAL NOTES:

1. SUBCONTRACTOR SHALL PROVIDE 200AMP, SINGLE PHASE, 120/240 VAC, 60HZ SERVICE FOR SITE.
2. SUBCONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY BEFORE THE START OF CONSTRUCTION. POWER AND TELEPHONE CONDUIT SHALL BE PROVIDED AND INSTALLED PER UTILITY REQUIREMENTS.
3. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO DRAWINGS PROVIDED BY PANEL MANUFACTURER.
4. SUBCONTRACTOR SHALL INSTALL SUFFICIENT LENGTHS OF LFMC INCLUDING ALL CONDUIT FITTINGS (NUTS, REDUCING BUSHINGS, ELBOWS, COUPLINGS, ETC) NECESSARY FOR CONNECTION FROM IMC CONDUIT TO THE INTERIOR OF THE BTS CABINET.
5. SUBCONTRACTOR SHALL PROVIDE ELECTRICAL SERVICE EQUIPMENT WITH FAULT CURRENT RATINGS GREATER THAN THE AVAILABLE FAULT CURRENT FROM THE POWER UTILITY.
6. CUT, COIL AND TAPE A 3 FOOT PIGTAIL FROM END OF LFMC FOR TERMINATING BY BTS EQUIPMENT MANUFACTURER.
7. SUBCONTRACTOR SHALL VERIFY THAT THE MAIN BONDING JUMPER AND GROUNDING ELECTRODE CONDUCTOR IS INSTALLED PROPERLY WHEN PANEL IS SERVICE ENTRANCE EQUIPMENT.

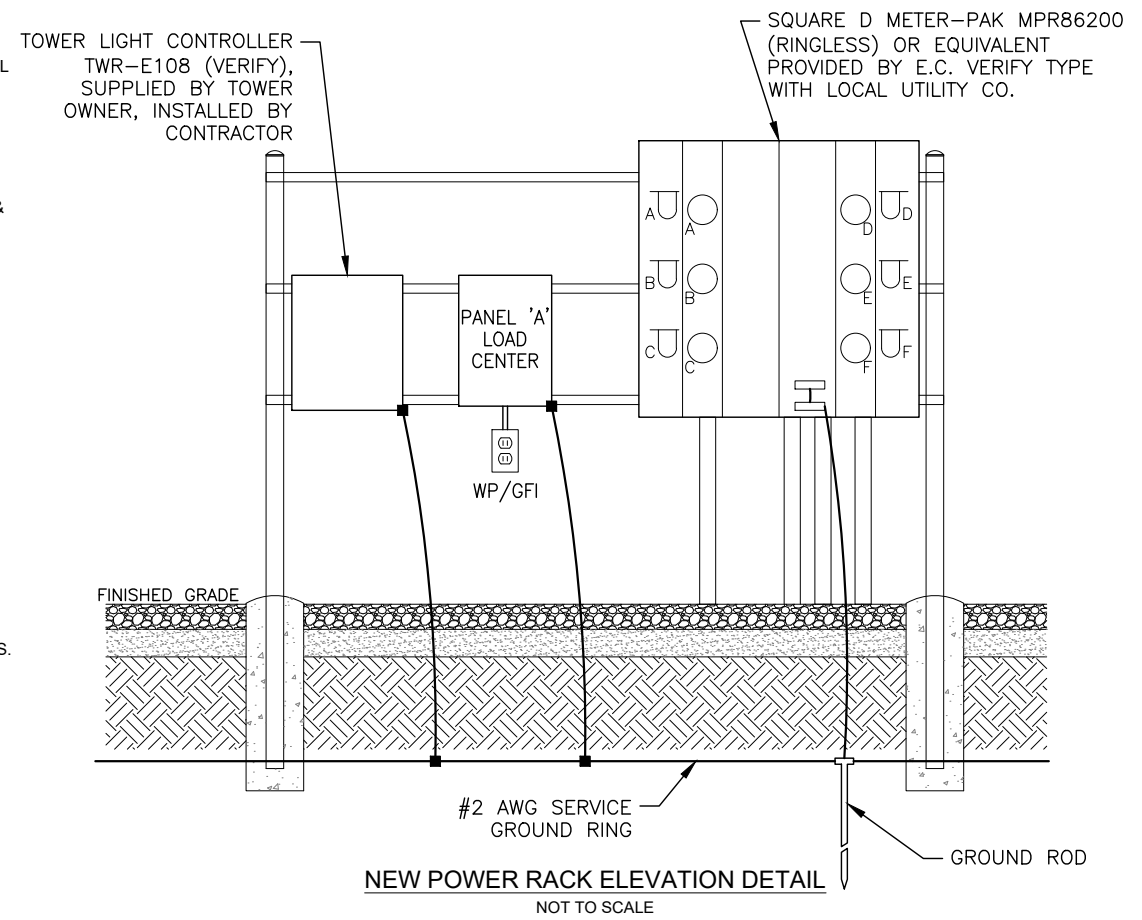


100 AMP SINGLE LINE DIAGRAM
NOT TO SCALE

PANEL 'A' SCHEDULE

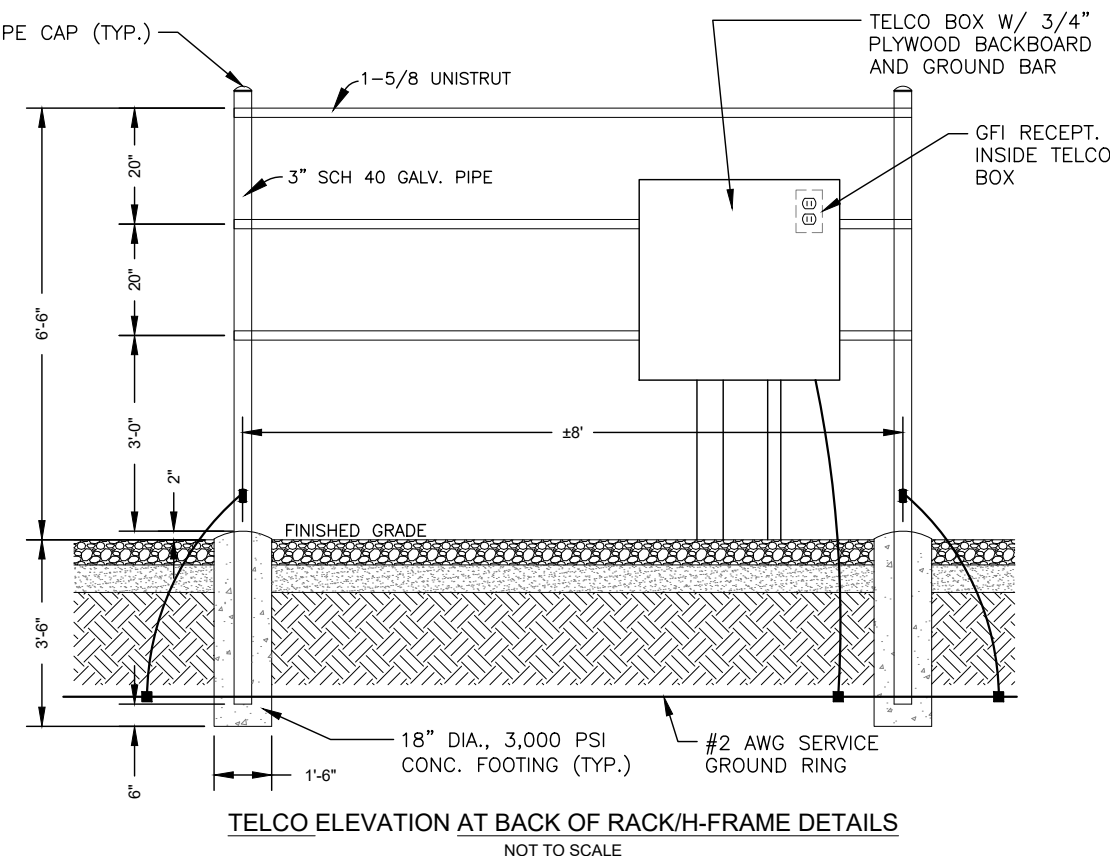
POS.	SERVING	BREAKER	WIRE SIZE AND TYPE	LOAD		POS.	SERVING	BREAKER	WIRE SIZE AND TYPE	LOAD	
				A	B					A	B
1	TOWER LIGHTING CONTROLLER	30A/2P	2-#10 / #10 GND, 2" C.		2400	2	EQUIP. RACK RECEPT.	15A/1P	2-#10 / #10 GND, 3/4" C.	180	
3						4					
5	TELCO BOX RECEPT.	15A/1P	2-#10 / #10 GND, 3/4" C.	180		6					
7						8					
9						10					
11	BLANK					12					
				TOTAL	360	2400					
				TOTAL AMPS							11.5

1. FROM TAP BOX: THE TWO (2) FOUR-INCH (4") CONDUIT WILL RETURN TO THE LOCATION DETERMINED BY "DETROIT EDISON" AND EXTEND OUT OF THE FINISHED GRADE 12" AND 36" RESPECTIVELY (SEE DETAIL). BOTH CONDUITS SHALL BE INSTALLED WITH PULL-STRINGS AND WATERPROOF CAPS.
2. CABINET AND CONDUCTORS FURNISHED & INSTALLED BY CUSTOMER. 350 KCMIL SERVICE CONDUCTORS FURNISHED & INSTALLED BY UTILITY.
3. EQUIPMENT ASSEMBLY DRAWINGS AND RISER DIAGRAMS MUST BE SUBMITTED TO A UTILITY PLANNER FOR ACCEPTANCE PRIOR TO INSTALLATION.
4. CABINETS AND CONDUITS SHOWN SHALL CONTAIN ONLY UNMETERED LINE CONDUCTORS. CABINET SHALL BE SEALABLE WITH ACCEPTABLE SEALING HASP.
5. TRANSMISSION TOWER SERVICES WILL UTILIZE A STANDARD 200 AMP SERVICE W/ CONTINUOUS CONDUIT TO THE SOURCE.
6. SUBSTATION CELLULAR SERVICES WILL BE A SINGLE 200-AMP SERVICE OR BUILT TO THIS SPECIFICATION. NO SERVICE SHALL BE TAKEN OUT OF THE SUBSTATION HOUSE SERVICE.
7. ALL CONDUIT AND NIPPLE ENTRIES TO CABINET AND METER BOXES WILL BE MADE WITH WEATHERPROOF HUBS, CONNECTORS OR LOCKNUTS LISTED FOR THE APPLICATIONS. NON-METALLIC BUSHINGS.
8. FOR INACCESSIBLE LOCATIONS CONSULT WITH METER ENGINEERING FOR POSSIBLE ERT METER INSTALLATION.
9. ONLY ONE SERVICE ALLOWED PER LUG. ALL GROUNDING AND BONDING MUST COMPLY WITH NEC 250 REQUIRED.



- NOTES:
1. COORDINATE WITH LOCAL TELCO UTILITY PRIOR TO PROCURING AND INSTALLATION OF BOX AND COMPONENTS.
 2. ALL MATERIAL SHALL MEET REQUIREMENTS OF LOCAL TELCO UTILITY.
 3. ITEM #4 SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR. BOND SURGE PROTECTION UNIT TO GROUND BAR WITH #6 AWG INSULATED WIRE.
 4. COORDINATE SIZE, TYPE AND QUANTITY OF ITEM(S) #5 WITH LOCAL UTILITY.
- INSTALL ITEM #6 ONLY IF REQUIRED BY UTILITY. RECEPTACLE POWERED FROM SPARE BREAKER IN DISTRIBUTION PANEL.

MATERIAL LIST:
① 36" X 36" X 10" NEMA 3R ENCLOSURE (HOFFMAN A36R3610HCR OR SIMILAR)



LANDTECH
PROFESSIONAL SURVEYING & ENGINEERING
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TOWER KING

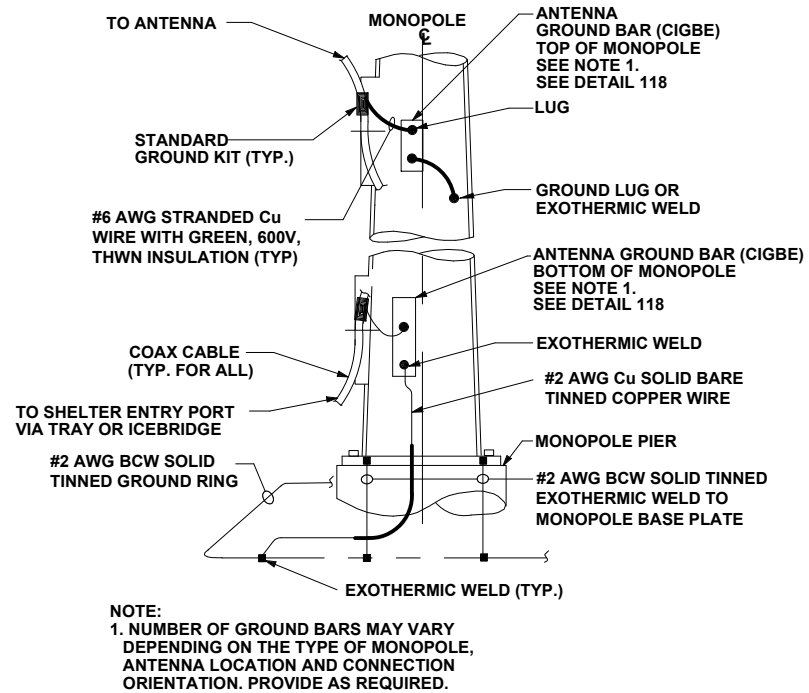
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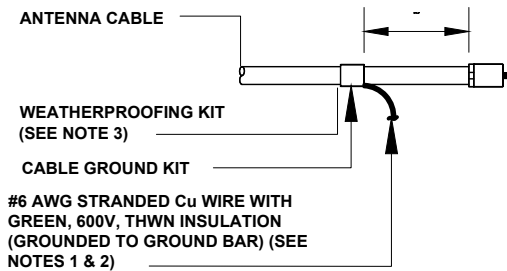
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SCALE: AS SHOWN DESIGNED BY: MM DRAWN BY: TLR

SHEET E-2
SINGLE LINE DIAGRAM & DETAILS
DRAWING NUMBER
22359001



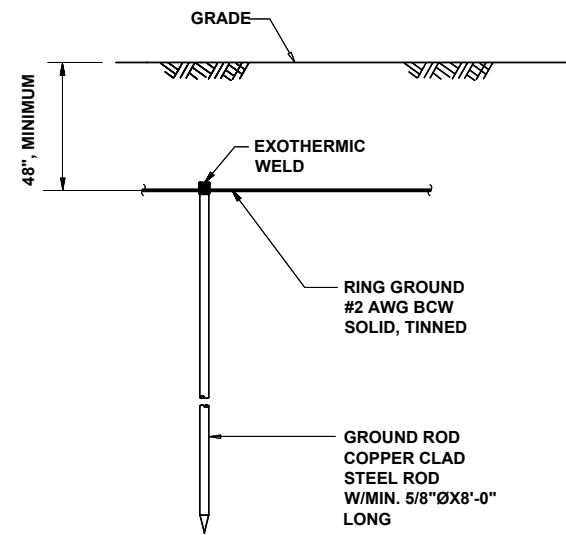
ANTENNA CABLE GROUNDING DETAIL - MONOPOLE
NOT TO SCALE



NOTES:

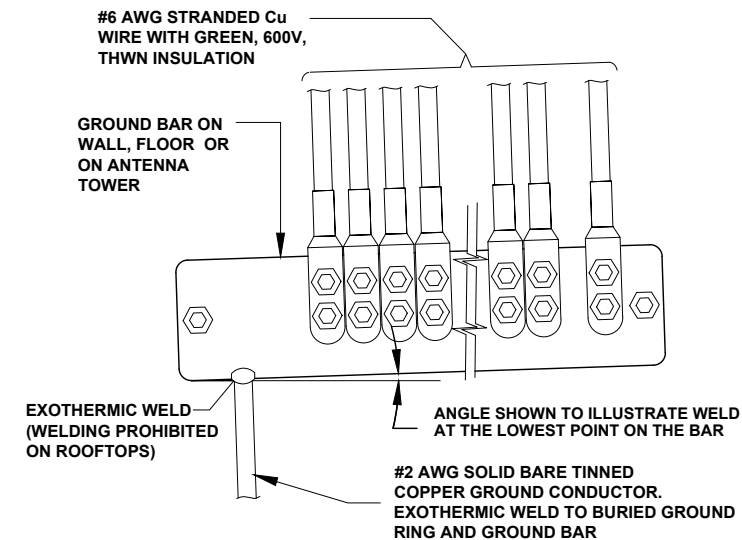
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
- GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
- WEATHER PROOFING SHALL BE (TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.)

CONNECTION OF CABLE GROUND KIT TO ANTENNA CABLE DETAIL
NOT TO SCALE



- GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL.

GROUND ROD DETAIL
NOT TO SCALE



INSTALLATION OF GROUND WIRE TO COAX CABLE GROUND BAR DETAIL
NOT TO SCALE

NEWTON INSTRUMENT COMPANY, INC. BUTNER, N.C.			
NO.	REQ.	PART NO.	DESCRIPTION
①	1	1/4"x4"x30"	SOLID GND. BAR
②	2	A-6056	WALL MTG. BRKT.
③	2	3061-4	INSULATORS
④	4	3012-1	5/8"-11x1" H.H.C.S.
⑤	4	3015-8	5/8 LOCKWASHER

EACH GROUND CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN IDENTIFICATION TAG ATTACHED AT EACH END THAT WILL IDENTIFY ITS ORIGIN AND DESTINATION.

SECTION "P" - SURGE PROTECTORS

CABLE ENTRY PORTS (HATCH PLATES) (#2)
GENERATOR FRAMEWORK (IF AVAILABLE) (#2)
TELCO GROUND BAR (#2)
COMMERCIAL POWER COMMON NEUTRAL/GROUND BOND (#2)
+24V POWER SUPPLY RETURN BAR (#2)
-48V POWER SUPPLY RETURN BAR (#2)
RECTIFIER FRAMES.
COAX SUPPRESSION

SECTION "A" - SURGE ABSORBERS

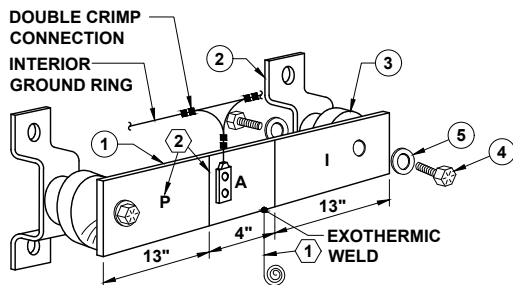
INTERIOR GROUND RING (#2)
EXTERNAL EARTH GROUND FIELD (BURIED GROUND RING) (#2)
METALLIC COLD WATER PIPE (IF AVAILABLE) (#2)
BUILDING STEEL (IF AVAILABLE) (#2)

SECTION "I" - ISOLATED GROUND ZONE

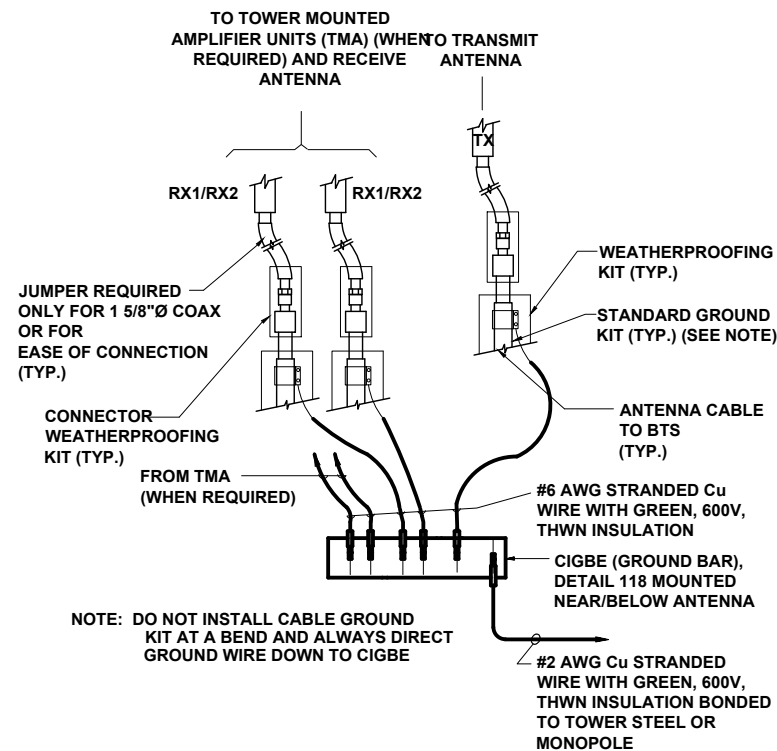
ALL COMMUNICATIONS EQUIPMENT FRAMES.
ISOLATED GROUND BAR - IGB (#2)

DETAIL NOTES:

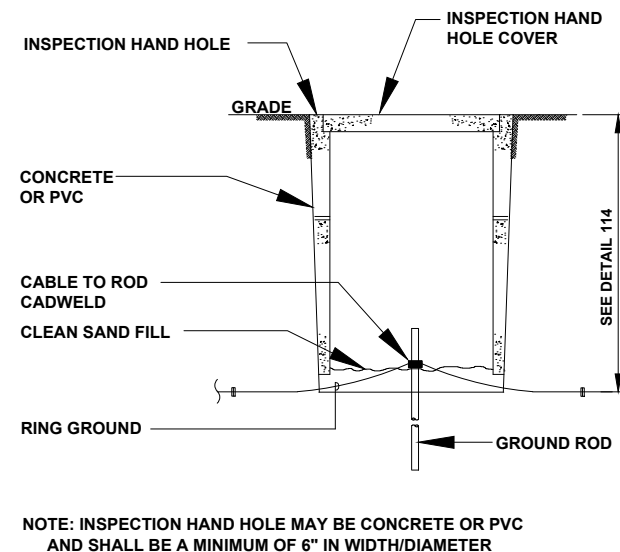
- EXOTHERMICALLY WELD #2 AWG BARE TINNED SOLID COPPER CONDUCTOR TO GROUND BAR. ROUTE CONDUCTOR TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
- USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "A", "I") WITH 1" HIGH LETTERS.



(RGB) REFERENCE GROUND BAR DETAIL
NOT TO SCALE

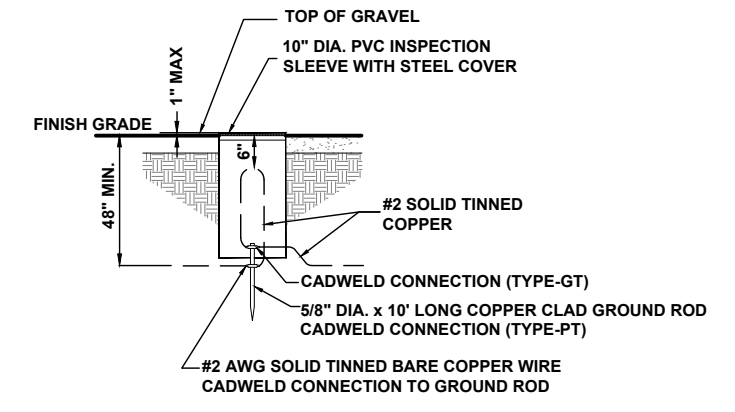
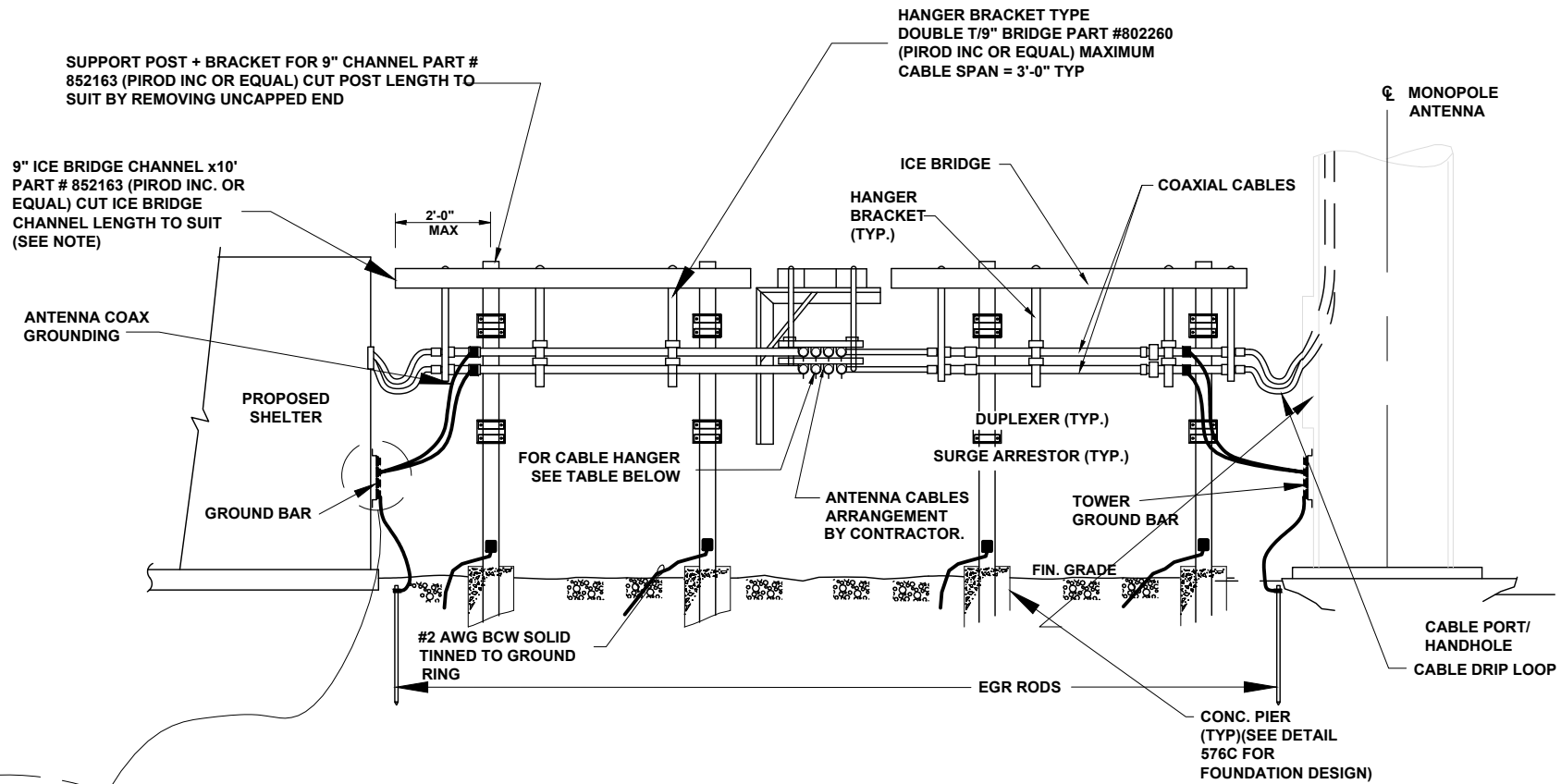


CONNECTION OF GROUND WIRE TO GROUNDING BAR (CIGBE) TOWER / MONOPOLE / ROOFTOP
NOT TO SCALE

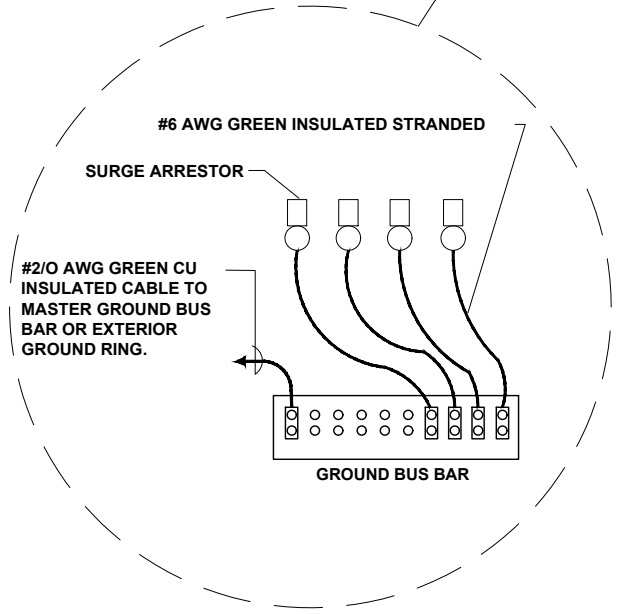


GROUND ROD WITH ACCESS AREA DETAIL
NOT TO SCALE

3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM
2	09/15/22	REV'D PER CLIENT-ARBORVITAE, FENCING	TLR	MM	MM
1	09/07/22	REV'D TOWER-RAD CENTER HEIGHT	TLR	MM	MM
0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		

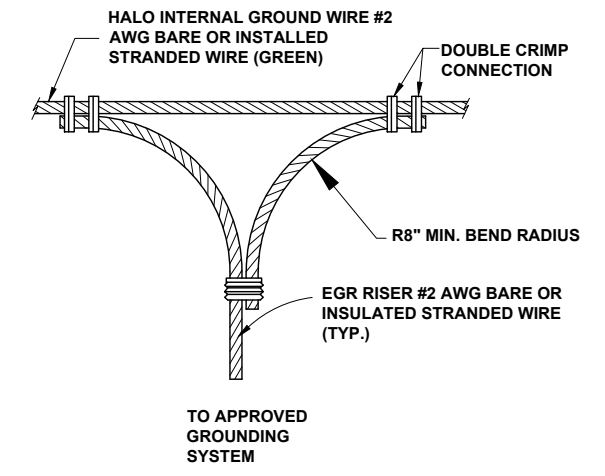


INSPECTION SLEEVE DETAIL
NOT TO SCALE

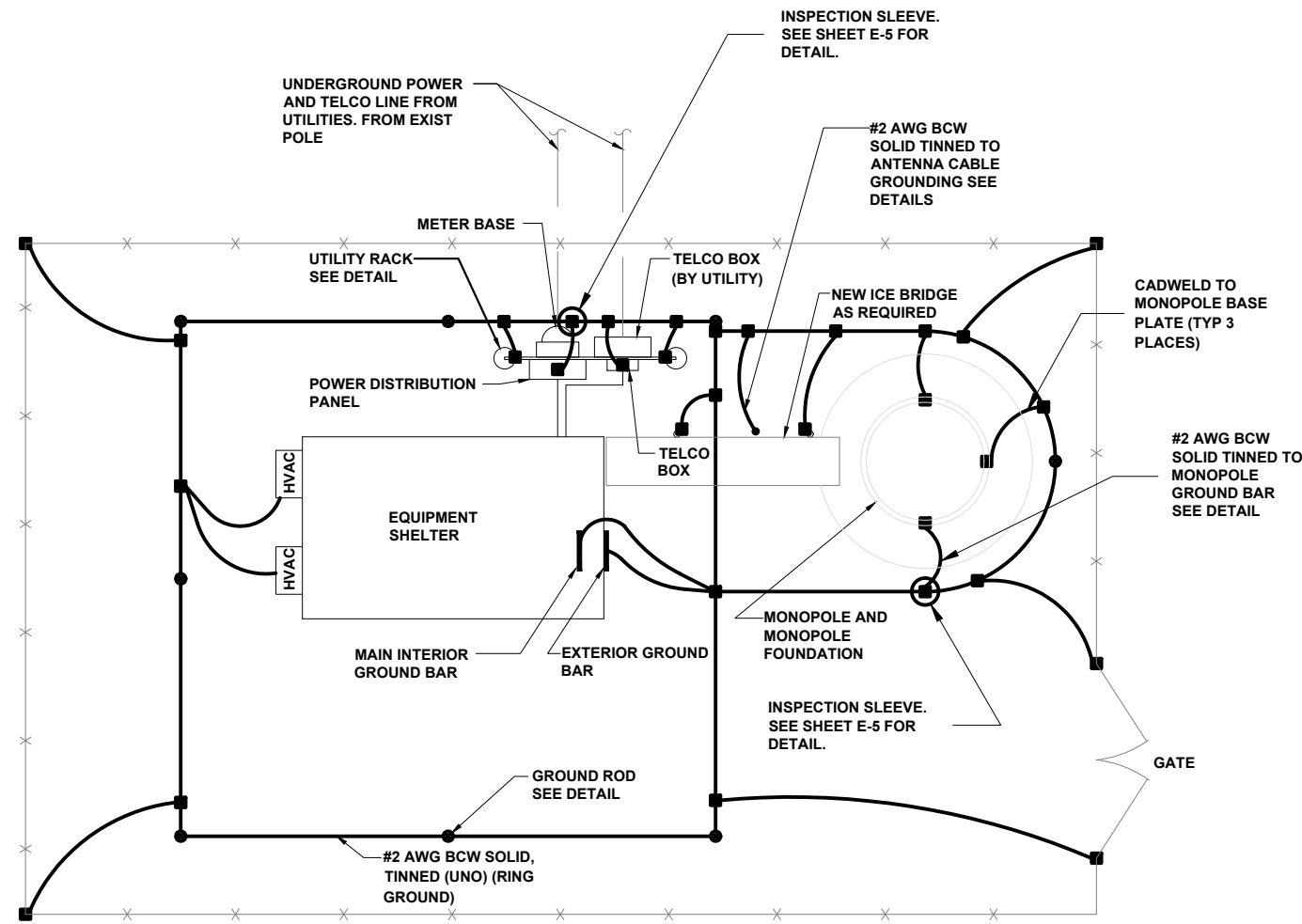


NOMINAL CABLE SIZE	CABLE TYPE NUMBER	CABLE HANGER TYPE NUMBER	MANUF. MIN. BEND RADIUS	MAX NO. OF CABLES/CND
1/2"	LDF4-50A	206706-1	5"	9
1/2"	FSJ4-50B	206706-1	1.25"	9
7/8"	LDF5-50A	206706-2	10"	3
1 1/4"	LDF6-50	206706-3	15"	1
1 5/8"	LDF7-50A	206706-4	20"	1

ICE BRIDGE W/ SHELTER DETAIL
NOT TO SCALE



HALO NON-DIRECTIONAL GROUND RING SPLICE DETAIL
NOT TO SCALE



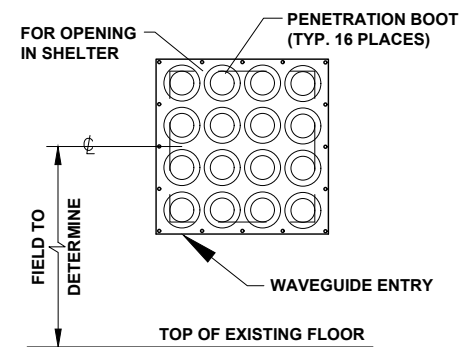
GROUNDING NOTES

- ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
- THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
- THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
- METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 AWG COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
- METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
- EACH BTS CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, 6 AWG STRANDED COPPER OR LARGER FOR INDOOR BTS; 2 AWG STRANDED COPPER FOR OUTDOOR BTS.
- CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED.
- ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING, SHALL BE #2 AWG SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
- ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
- USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
- EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
- ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR & EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
- COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
- ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
- APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
- ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
- MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
- BOND ALL METALLIC OBJECTS WITHIN 6 FT OF MAIN GROUND WIRES WITH 1-#2 AWG TIN-PLATED COPPER GROUND CONDUCTOR.
- GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G., NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
- INSTALL GROUND RODS FOR THE NEW GROUND RING. SEPARATION BETWEEN GROUND RODS SHOULD NOT BE LESS THAN THE LENGTH OF THE RODS NOR BE MORE THAN ONE AND ONE-HALF TIMES THE LENGTH OF THE RODS. CONNECT THE NEW RING TO EXISTING GROUND RING IN AT LEAST TWO SEPARATE PLACES.

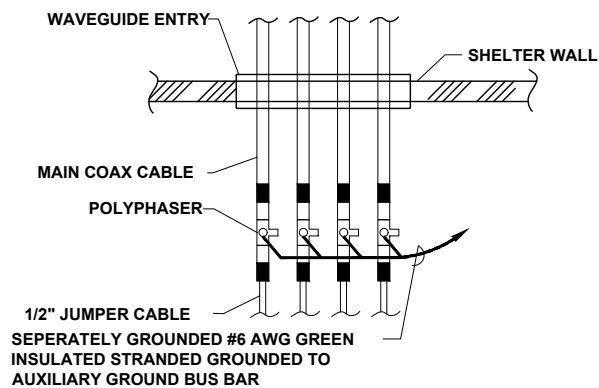
NOTE:
THIS GROUNDING PLAN IS TYPICAL. SEE SHEET S-2 FOR ACTUAL EQUIPMENT LAYOUT.

TYPICAL MONOPOLE SITE GROUNDING PLAN

NOT TO SCALE



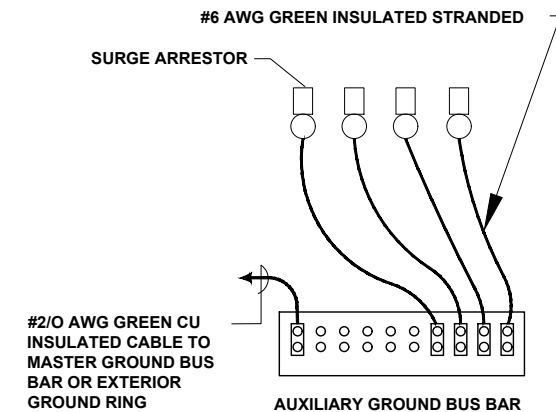
ELEVATION



PLAN

POLYPHASER GROUNDING INSIDE SHELTER

NOT TO SCALE



3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM
2	09/15/22	REV'D PER CLIENT-ARBORVITAE, FENCING	TLR	MM	MM
1	09/07/22	REV'D TOWER-RAD CENTER HEIGHT	TLR	MM	MM
0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		

EXHIBIT B

**Sworn Statement of INGA BRAUNEIS
in Support of New Tower Construction Pursuant to Wis. Stat. §66.0404**

State of Wisconsin)
County of Dane) ss.

INGA BRAUNEIS, being first duly sworn on oath, deposes and says that:

1. I am an adult resident of the State of Wisconsin and serve as a Radio Frequency Engineer at DISH Wireless, LLC ("DISH").
2. My job duties at DISH include design and optimization of new and existing wireless facilities to meet DISH's network needs. I have ongoing oversight duties related to DISH's mobile service support structures in the State of Wisconsin, including the proposed mobile service support structure being proposed by DISH and Iron Mountain Towers, LLC dba TowerKing at 3486 County Highway MN, McFarland, WI which bears Parcel ID # 028/0610-021-8245-0 (the "Proposed Communications Facility").
3. This sworn statement is made pursuant to Wis. Stat. §66.0404(2)(b)6.
4. DISH identified a genuine need for the Proposed Communications Facility, and thereafter, DISH's engineering department issued a "search ring" defining the precise geographic area where the Proposed Communications Facility was needed to address the identified need (the "Search Ring").
5. The Proposed Communications Facility is being proposed because collocation within the Search Ring is infeasible, as no existing structures of any kind are available for collocation.
6. Because no structures exist to support collocation within the Search Ring, we are requesting permission to construct the Proposed Communications Facility.
7. The minimum height needed for this site is One Hundred Sixty Feet (160') antenna centerline.

8. DISH evaluated two existing tall structures within 1.5 miles from the Proposed Communications Facility and the findings are as follows:

- a. The US Cellular Tower located at coordinates 43.02054, -89.24793 is not viable because using that tower would also create a gap in coverage in McFarland which would require an additional tower to provide adequate service. This tower is also too short, 140' with only 110' available on the tower.
- b. The water tower located at coordinates 43.02542, -89.27587 is not viable because it is too short. The top of the water tower is already encumbered with many antennas which would require the antennas to be installed on the neck of the water tower, resulting in an installation at approximately 60', propagating very little coverage at all.

[Handwritten Signature]

INGA BRAUNEIS

State of Wisconsin)
County of Dane) ss.

This instrument was acknowledged, subscribed and sworn to before me on

12/01/2022, by INGA BRAUNEIS

STEVEN ABRAHAM
Notary Public
State of Wisconsin

[Handwritten Signature]
NOTARY PUBLIC FOR WI
My Commission Expires: 04/01/2026



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2022-AGL-19183-OE

EXHIBIT C

Issued Date: 11/15/2022

Andrew Smith
 RESCOM Environmental Corp
 PO Box 361
 Petoskey, MI 49770

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Tower McFarland TK
Location:	McFarland, WI
Latitude:	43-01-01.00N NAD 83
Longitude:	89-16-15.40W
Heights:	889 feet site elevation (SE)
	199 feet above ground level (AGL)
	1088 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination of No Hazard is granted provided the following conditional statement is included in the proponent's construction permit or license to radiate:

Upon receipt of notification from the Federal Communications Commission that harmful interference is being caused by the licensee's (permittee's) transmitter, the licensee (permittee) shall either immediately reduce the power to the point of no interference, cease operation, or take such immediate corrective action as is necessary to eliminate the harmful interference. This condition expires after 1 year of interference-free operation.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (816) 329-2525, or natalie.schmalbeck@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2022-AGL-19183-OE.

Signature Control No: 551792028-561447439

(DNE)

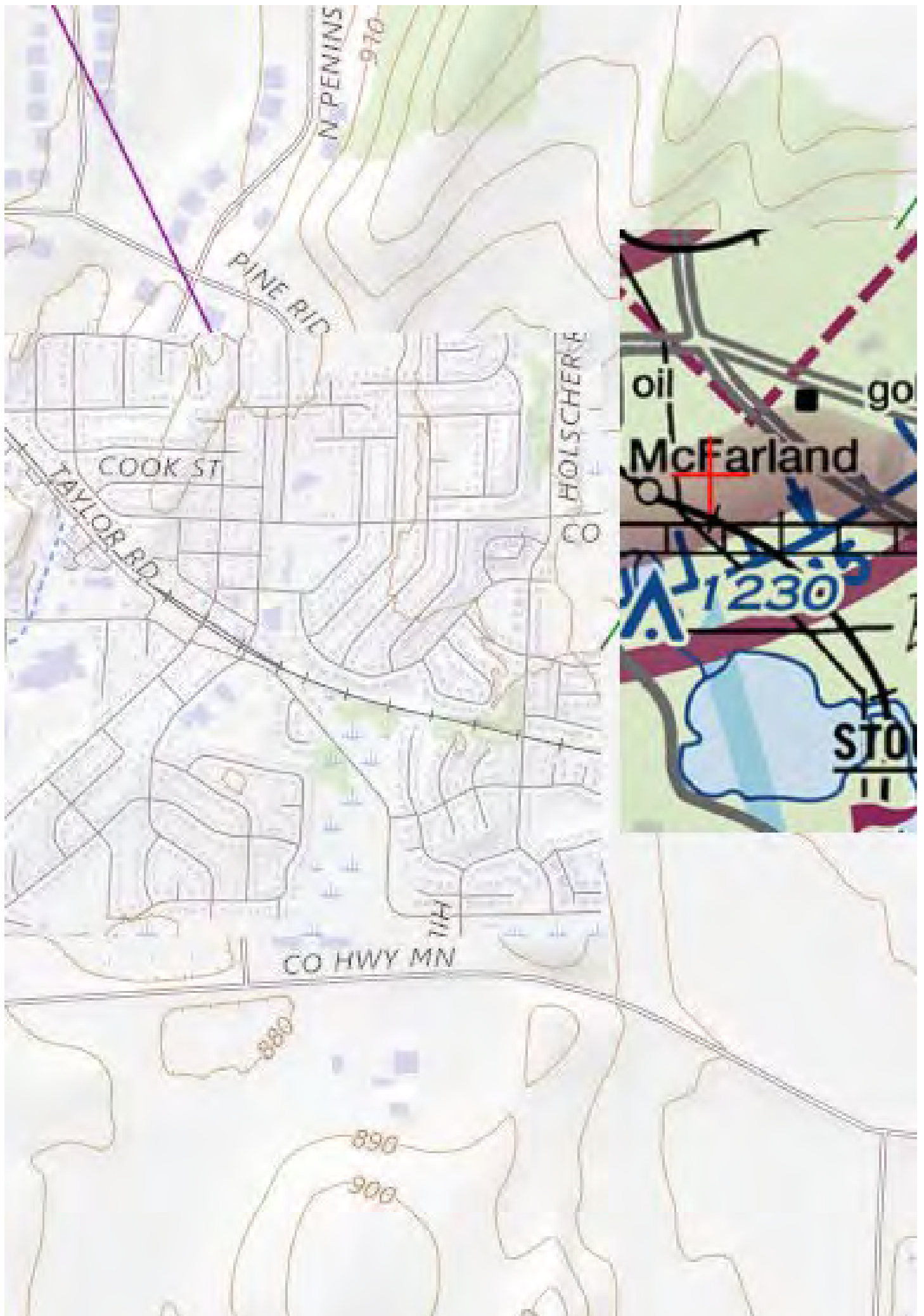
Natalie Schmalbeck
Technician

Attachment(s)
Frequency Data
Map(s)

cc: FCC

Frequency Data for ASN 2022-AGL-19183-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W



McFarland

Towerking Proposed Monopole Tower – Photo Location Map



Photo Location East – {Before}

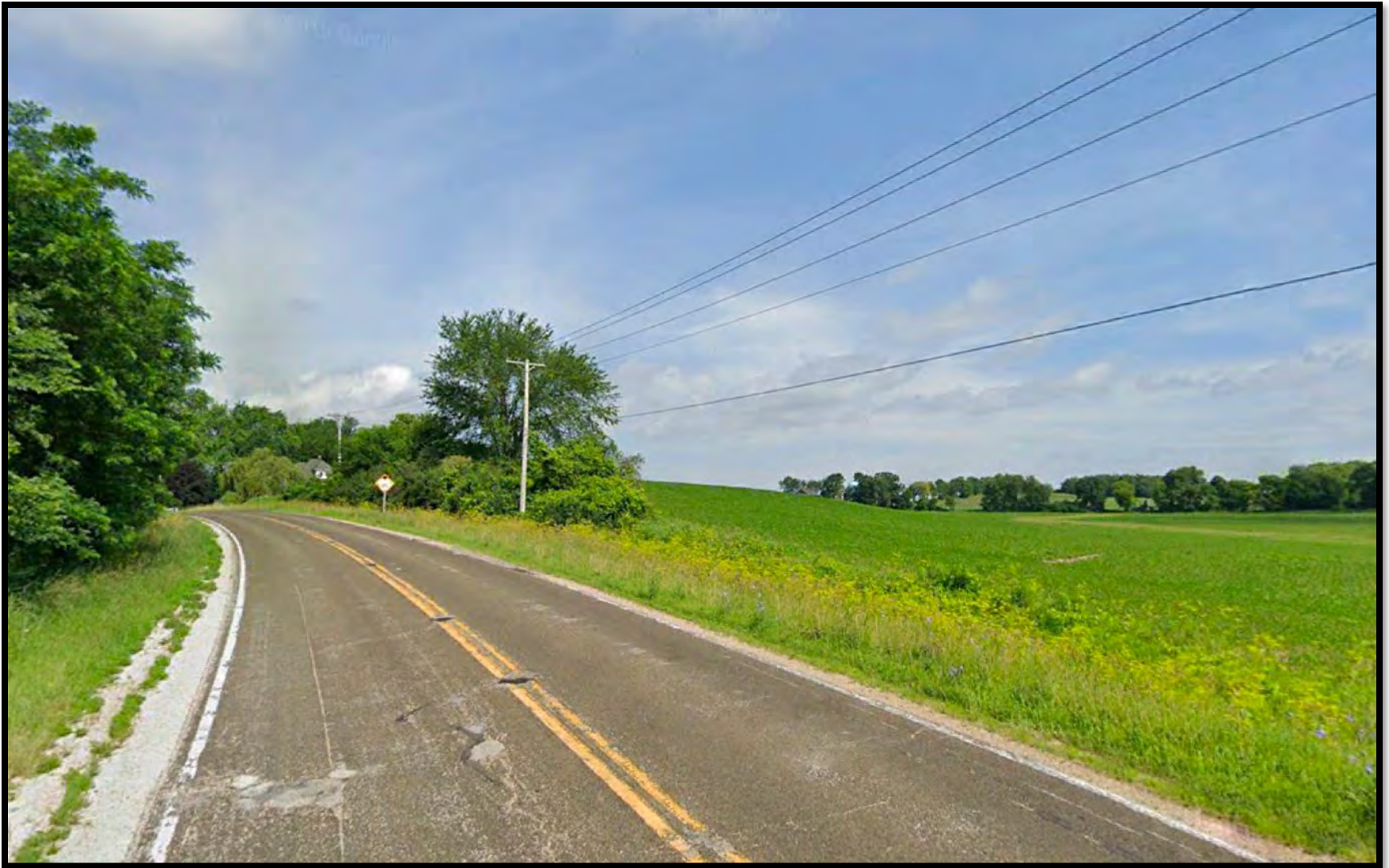


Photo Location East – {After}

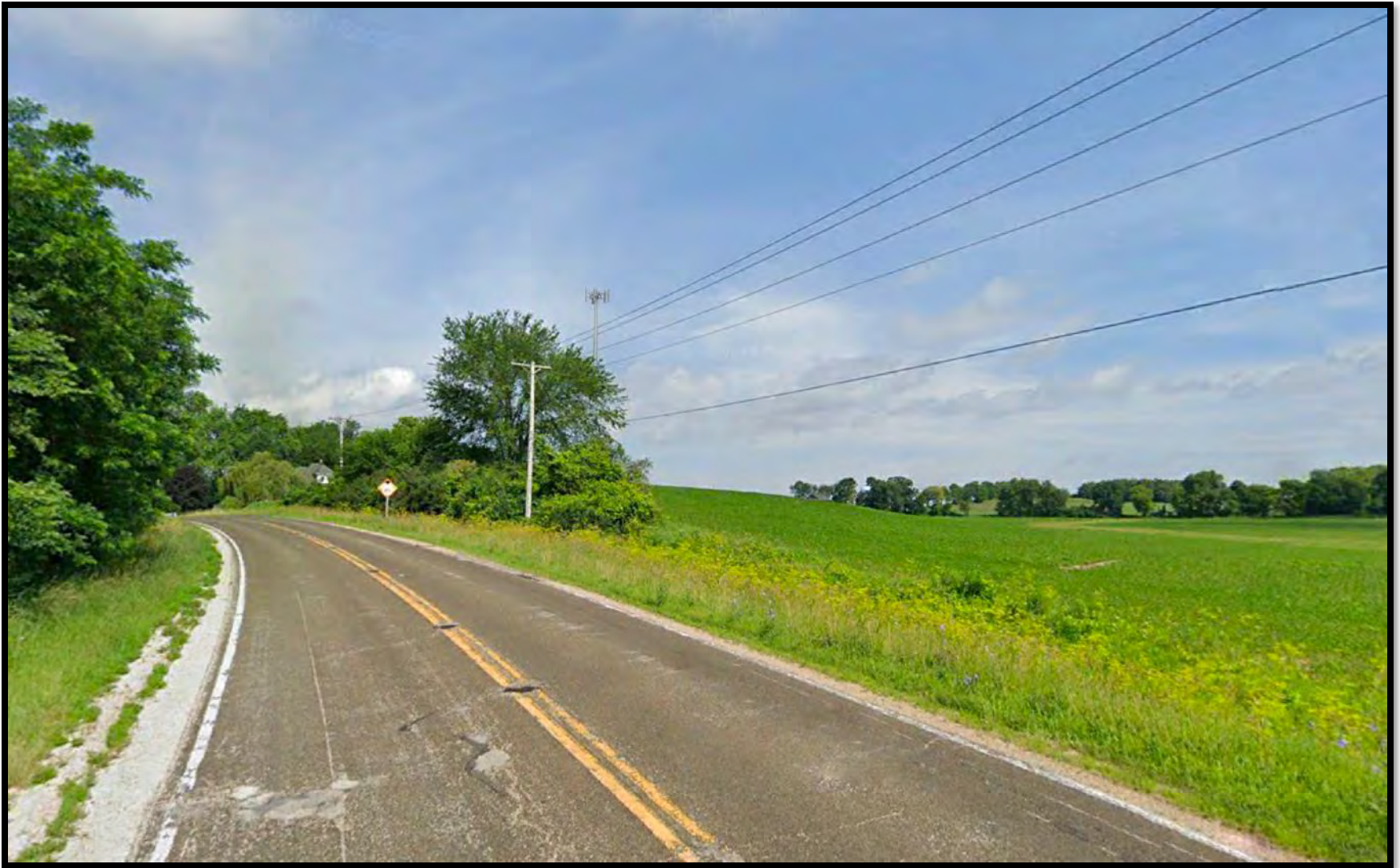


Photo Location North {Before}



Photo Location North {After}



Photo Location Directly West – {Before}



Photo Location Directly West – {After}



Photo Location South – {Before}

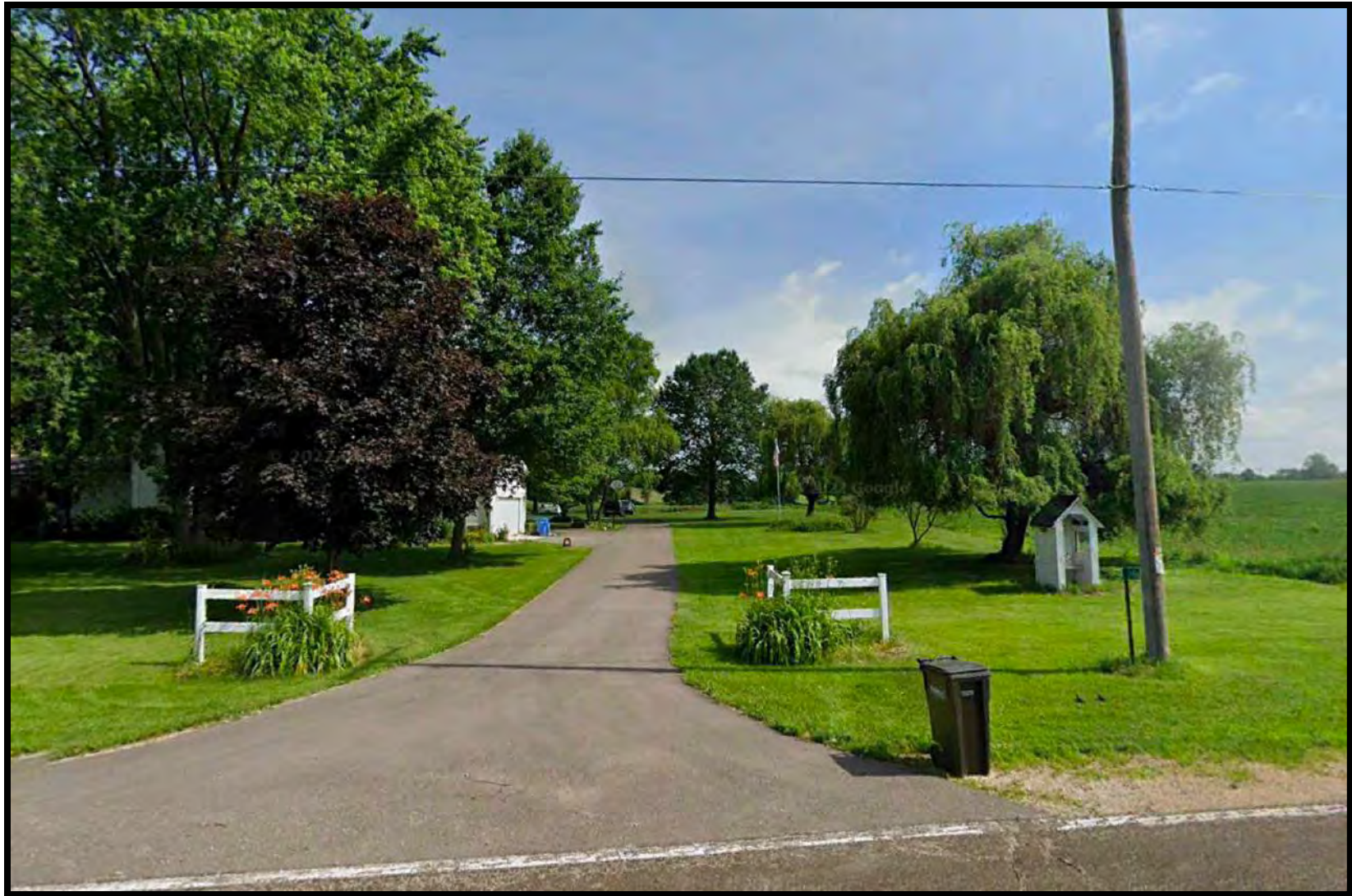


Photo Location South - {After}



CelluSite, LLC ~ 103 Wilshire Court, Noblesville, IN 46062

EXHIBIT E

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



Federal Communications Commission Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: GAMMA ACQUISITION L.L.C.

ATTN: ALISON MINEA
GAMMA ACQUISITION L.L.C.
1110 VERMONT AVENUE NW SUITE 750
WASHINGTON, DC 20005

Call Sign T060430104	File Number
Radio Service AD - AWS-4 (2000-2020 MHz and 2180-2200 MHz)	

FCC Registration Number (FRN): 0021004817

Grant Date 03-07-2013	Effective Date 09-11-2020	Expiration Date 06-14-2023	Print Date
Market Number BEA104	Channel Block A	Sub-Market Designator 0	
Market Name Madison, WI-IA-IL			
1st Build-out Date 03-07-2017	2nd Build-out Date 06-14-2023	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: GAMMA ACQUISITION L.L.C.

Call Sign: T060430104

File Number:

Print Date:

Special Condition 1: This license document as first issued on March 7, 2013, reflects the Order of Modification and Authorization (DA 13-231) to existing Mobile Satellite Service ("MSS") call sign E060430 to add Part 27 rights and obligations for Advanced Wireless Service-4 ("AWS-4") terrestrial operating authority with all of the attendant rights, limitations, and obligations associated with the AWS-4 service rules adopted in WT Docket No. 12-70 (FCC 12-151), and any subsequent orders. The license document issued on March 7, 2013, is not a separate authorization in and of itself. The parameters reflected in the International Bureau Filing System for the MSS authorization of the license (call sign E060430) together with the parameters reflected in the Universal Licensing System for the standalone terrestrial authorization of the license (call sign T060430001 - T060430176 derivatives) as of March 7, 2013 constitute the whole of the modified license. Except as otherwise ordered, a licensee of AWS-4 operating authority is permitted to partition, disaggregate, and lease AWS-4 spectrum as provided under the FCC's rules. See, e.g., FCC 19-103; 47 CFR Parts 1, 27. The partition, disaggregation, or lease of AWS-4 spectrum does not encompass the MSS authorization.

Special Condition 2: A licensee of AWS-4 operating authority shall comply with the specific Global Positioning System ("GPS") protection limits set forth in the September 27, 2012 letter agreement between DISH Network Corporation (parent corp. of the AWS-4 licensee under this license as issued on March 7, 2013) and the U.S. GPS Industry Council, as detailed in FCC Order 12-151. See Service Rules for Advanced Wireless Services in the 2000-2020 MHz and 2180-2200 MHz Bands, WT Docket Nos. 12-70, 04-356, ET Docket No. 10-142, Report and Order and Order of Proposed Modification, 27 FCC Rcd 16102, 16151-53, at Paras. 118-122 (2012) (AWS-4 Report and Order), citing Letter from Jeffrey H. Blum, Deputy General Counsel, DISH Network Corporation, and F. Michael Swiek, Executive Director, The U.S. GPS Industry Council, to Marlene H. Dortch, Sec'y, Federal Communications Commission, WT Docket Nos. 12-70, 04-356, ET Docket No. 10-142 (filed Sept. 27, 2012) (a copy of this letter is attached). Further, as detailed in the AWS-4 Report and Order, an AWS-4 license shall remain subject to this Special Condition 2 in the event that the licensee assigns or otherwise transfers the license to a successor-in-interest or assignee. Id. at 16152-53, Para. 121.

Special Condition 3A: A licensee of AWS-4 operating authority shall protect Federal operations in the 2200-2290 MHz band as specified in Section 27.1134(e) of the Commission's rules and in FCC Order 12-151. 47 C.F.R. § 27.1134(e); Service Rules for Advanced Wireless Services in the 2000-2020 MHz and 2180-2200 MHz Bands, WT Docket Nos. 12-70, 04-356, ET Docket No. 10-142, Report and Order and Order of Proposed Modification, 27 FCC Rcd 16102, 16148-51, at Paras. 107-117 (2012) (AWS-4 Report and Order).

Licensee Name: GAMMA ACQUISITION L.L.C.

Call Sign: T060430104

File Number:

Print Date:

Special Condition 3B: In December 2012, DISH Network Corporation (parent corp. of the AWS-4 licensee under this license as issued on March 7, 2013) and federal users of the 2200-2290 MHz band entered into an operator-to-operator agreement. Letter from Karl B. Nebbia, Associate Administrator, Office of Spectrum Management, National Telecommunications and Information Administration, to Julius Knapp, Chief, Office of Engineering and Technology, Federal Communications Commission, WT Docket Nos. 12-70, 04-356, ET Docket No. 10-142, at Attachment ("Operator-to-Operator Agreement between New DBSD Satellite Services G.P. and Gamma Acquisition L.L.C. and United States Federal Government Agencies Operating Earth Stations and/or Aeronautical Mobile Telemetry (AMT) Stations in the 2200-2290 MHz Band") (Dec. 11, 2012) (a copy of this letter is attached). As detailed in FCC Order 12-151, a licensee of AWS-4 operating authority shall comply with this agreement with regard to the permissible AWS-4 emissions into the 2200-2290 MHz band and/or the maximum actual AWS-4 emissions to be received at the specified sites of Federal operations in the 2200-2290 MHz band. AWS-4 Report and Order, 27 FCC Rcd at 16148-51, Paras. 107-117.

Special Condition 3C: As detailed in Section 27.1134(e)(2) of the Commission's rules and in FCC Order 12-151, a licensee of AWS-4 operating authority who is a party to a private contractual agreement between it and a Federal government entity(ies) operating in the 2200-2290 MHz band must maintain a copy of the agreement in its station files and disclose it, upon request, to prospective AWS-4 assignees, transferees, or spectrum lessees, to Federal operators, and to the Commission. 47 C.F.R. § 27.1134(e)(2); AWS-4 Report and Order, 27 FCC Rcd at 16149-50, at Para. 112.

Special Condition 4A: This license is subject to the terms of the Memorandum Opinion and Order, DA 13-2409, in WT Docket No. 13-225.

Special Condition for AU/name change (6/4/2016): Grant of the request to update licensee name is conditioned on it not reflecting an assignment or transfer of control (see Rule 1.948); if an assignment or transfer occurred without proper notification or FCC approval, the grant is void and the station is licensed under the prior name.

Special Condition 4B: On June 1, 2016, DISH Network Corporation, parent corp. of the AWS-4 licensee under this license (as issued on March 7, 2013, and to date), stated unequivocally its election applicable to all AWS-4 licenses of terrestrial downlink-not terrestrial uplink-operations at 2000-2020 MHz. See WT Docket No. 13-225, Letter from Jeffrey H. Blum, Senior Vice President & Deputy General Counsel, DISH Network Corporation, to Marlene H. Dortch, Secretary, FCC (filed Jun. 1, 2016). See also modification applications granted 6/7/2016 (Lead Call Sign T060430001/File No# 0007289841). This one-time election is binding on all AWS-4 licensees and licenses including any AWS-4 licenses issued subsequently. Use of the Lower AWS-4 Band for terrestrial downlink operations is subject to any rules that are generally applicable to AWS downlink operations except to the extent expressly waived by Memorandum Opinion and Order, DA 13-2409, in WT Docket No. 13-225. By way of reference and not limitation, see Memorandum Opinion and Order, DA 13-2409, at para. 25 for list of rules waived for downlink operations, and id. at para. 47 for list of requirements for downlink operations.

Licensee Name: GAMMA ACQUISITION L.L.C.

Call Sign: T060430104

File Number:

Print Date:

Special Condition 5 (9/11/2020): Licensee is an indirect, wholly owned subsidiary of DISH Network Corporation (DISH). This license is subject to licensee's compliance with the conditions and restrictions imposed by the Commission in MO&O, Declaratory Ruling and Order of Proposed Modification, FCC 19-103 and the commitments made by DISH in its July 26, 2019 Commitments Letter including Attachment A thereto (see, e.g., FCC 19-103 at App. H), as modified by the Commission, both of which are incorporated by reference into and made operative by Order of Modification and Extension of Time to Construct, DA 20-1072 (WTB Sept. 11, 2020). These conditions, restrictions and commitments include, but are not limited to, the following (see FCC 19-103 and DA 20-1072 for further information):

Special Condition 5a (9/11/2020): DISH is obligated to provide 5G Broadband Service over this license. DISH has waived its rights to use this license under the Commission's flexible-use policies and this license is expressly conditioned on DISH building, deploying, and offering 5G Broadband Service, which means at least 3GPP Release 15 capable of providing Enhanced Mobile Broadband (eMBB) functionality. 5G is defined as the 5G New Radio interface standard as described in 3GPP Release 15, available at <https://www.3gpp.org/release-15>, or 3GPP Release 16 within 3 years of 3GPP final approval. This condition does not preclude DISH from providing IoT as a service in addition to the 5G Broadband Service, but DISH is precluded from relying on IoT (or any other non-5G Broadband Service) operations to satisfy its buildout requirements and commitments.

Special Condition 5b (9/11/2020): Final Buildout Requirement. Licensee shall provide terrestrial 5G Broadband Service coverage and offer terrestrial 5G Broadband Service by 6/14/2023 to at least seventy (70) percent of the population in the license area in the 2000-2020 MHz and 2180-2200 MHz bands. If licensee fails to establish that it meets this Final Buildout Requirement in the license area in the 2000-2020 MHz and 2180-2200 MHz bands, its authorization for this license area shall terminate automatically without Commission action. Failure to meet this Final Buildout Requirement in an EA shall also result in the MSS protection rule in 47 CFR § 27.1136 no longer applying in this license area. See generally 47 CFR § 27.14(q)(2),(4)-(6).

Special Condition 5c (9/11/2020): Contingent extension: The Final Buildout Requirement in special condition 5b shall be extended to 6/14/2025 if licensee establishes that it is offering 5G Broadband Service with respect to its AWS-4 licenses in the 2000-2020 MHz and 2180-2200 MHz bands to 50% or more of the U.S. population by 6/14/2023.

Special condition 5d (9/11/2020): DISH has committed to make significant payments to the U.S. Treasury if it does not meet its deployment commitments and that commitment is a condition of the waiver/extension grant and modification of this license in DA 20-1072. These commitments include, but are not limited to, mandatory monetary payments for failure to meet deployment commitments (that are separate from the final buildout requirements), status reports, and verification metrics. If DISH fails to meet the conditions of these grants, it must make the payments required. In addition to mandatory monetary payments (and license cancellations), DISH continues to be subject to all of the Commission's other enforcement and regulatory powers for failing to meet an y condition of the grants and modifications made on 9/11/2020.

Licensee Name: GAMMA ACQUISITION L.L.C.

Call Sign: T060430104

File Number:

Print Date:

Special Condition 5e (9/11/2020): Until September 11, 2026, licensee shall not (1) sell this license without the advance approval of both the FCC and the U.S. Department of Justice or (2) in any 12-month period provide in the Economic Area of this license more than 35% of the capacity of its 5G network to any of the three largest wireless facilities-based providers (alone or in combination) without prior FCC approval. Sell means (i) to transfer, assign, or dispose of this license in any manner either directly or indirectly; or (ii) to transfer control of an entity holding this license; or (iii) to enter into a lease arrangement or any other arrangement that results in the transfer of de jure or de facto control of this license.

Reference Copy

Licensee Name: GAMMA ACQUISITION L.L.C.

Call Sign: T060430104

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: MANIFEST WIRELESS L.L.C.

ATTN: ALISON MINEA
MANIFEST WIRELESS L.L.C.
1110 VERMONT AVENUE, NW, SUITE 750
WASHINGTON, DC 20005

Call Sign WQJZ246	File Number
Radio Service WY - 700 MHz Lower Band (Blocks A, B & E)	

FCC Registration Number (FRN): 0017173121

Grant Date 02-20-2009	Effective Date 09-11-2020	Expiration Date 06-14-2023	Print Date
Market Number BEA104	Channel Block E	Sub-Market Designator 0	
Market Name Madison, WI-IA-IL			
1st Build-out Date 03-07-2017	2nd Build-out Date 06-14-2023	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

Special Condition for AU/name change (6/4/2016): Grant of the request to update licensee name is conditioned on it not reflecting an assignment or transfer of control (see Rule 1.948); if an assignment or transfer occurred without proper notification or FCC approval, the grant is void and the station is licensed under the prior name.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: MANIFEST WIRELESS L.L.C.

Call Sign: WQJZ246

File Number:

Print Date:

Special Condition 1 (9/11/2020): Licensee is an indirect, wholly owned subsidiary of DISH Network Corporation (DISH). This license is subject to licensee's compliance with the conditions and restrictions imposed by the Commission in MO&O, Declaratory Ruling and Order of Proposed Modification, FCC 19-103 and the commitments made by DISH in its July 26, 2019 Commitments Letter including Attachment A thereto (see, e.g., FCC 19-103 at App. H), as modified by the Commission, both of which are incorporated by reference into and made operative by Order of Modification and Extension of Time to Construct, DA 20-1072 (WTB Sept. 11, 2020). These conditions, restrictions and commitments include, but are not limited to, the following (see FCC 19-103 and DA 20-1072 for further information):

Special Condition 1a (9/11/2020): DISH is obligated to provide 5G Broadband Service over this license. DISH has waived its rights to use this license under the Commission's flexible-use policies and this license is expressly conditioned on DISH building, deploying, and offering 5G Broadband Service, which means at least 3GPP Release 15 capable of providing Enhanced Mobile Broadband (eMBB) functionality. 5G is defined as the 5G New Radio interface standard as described in 3GPP Release 15, available at <https://www.3gpp.org/release-15>, or 3GPP Release 16 within 3 years of 3GPP final approval. This condition does not preclude DISH from providing IoT as a service in addition to the 5G Broadband Service, but DISH is precluded from relying on IoT (or any other non-5G Broadband Service) operations to satisfy its buildout requirements and commitments.

Special Condition 1b (9/11/2020): Final Buildout Requirement. Licensee shall provide 5G Broadband Service coverage and offer 5G Broadband Service by 6/14/2023 to at least seventy (70) percent of the population in the license area of this license. If licensee fails to establish that it meets this Final Buildout Requirement in the license area of this license, its authorization for unserved areas shall terminate automatically without Commission action. See Public Notice, DA 19-77 (licensee keeps the areas of the license that it serves and the remaining unserved areas are returned to FCC's inventory for relicensing).

Special Condition 1c (9/11/2020): Contingent extension: The Final Buildout Requirement in Special Condition 1b shall be extended to 6/14/2025 if licensee establishes that it is offering 5G Broadband Service with respect to its Lower 700 MHz E Block licenses to 50% or more of the U.S. population covered by DISH's Lower 700 MHz E Block licenses by 6/14/2023.

Special Condition 1d (9/11/2020): DISH has committed to make significant payments to the U.S. Treasury if it does not meet its deployment commitments and that commitment is a condition of the waiver/extension grant and modification of this license in DA 20-1072. These commitments include, but are not limited to, mandatory monetary payments for failure to meet deployment commitments (that are separate from the final buildout requirements), status reports, and verification metrics. If DISH fails to meet the conditions of these grants, it must make the payments required. In addition to mandatory monetary payments (and automatic license terminations), DISH continues to be subject to all of the Commission's other enforcement and regulatory powers for failing to meet any condition of the grants and modifications made on 9/11/2020.

Licensee Name: MANIFEST WIRELESS L.L.C.

Call Sign: WQJZ246

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: AMERICAN H BLOCK WIRELESS L.L.C.

ATTN: OFFICE GEN. COUNSEL, LEGAL DEPT.
AMERICAN H BLOCK WIRELESS L.L.C.
PO BOX 6663
ENGLEWOOD, CO 80155-6663

Call Sign WQTX303	File Number
Radio Service AH - AWS-H Block (at 1915-1920 MHz and 1995-2000 MHz)	

FCC Registration Number (FRN): 0023125057

Grant Date 04-29-2014	Effective Date 09-11-2020	Expiration Date 06-14-2023	Print Date
Market Number BEA104	Channel Block H	Sub-Market Designator 0	
Market Name Madison, WI-IA-IL			
1st Build-out Date 04-29-2018	2nd Build-out Date 06-14-2023	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

Special Condition 1 (9/11/2020): Licensee is an indirect, wholly owned subsidiary of DISH Network Corporation (DISH). This license is subject to licensee's compliance with the conditions and restrictions imposed by the Commission in MO&O, Declaratory Ruling and Order of Proposed Modification, FCC 19-103 and the commitments made by DISH in its July 26, 2019 Commitments Letter including Attachment A thereto (see, e.g., FCC 19-103 at App. H), as modified by the Commission, both of which are incorporated by reference into and made operative by Order of Modification and Extension of Time to Construct, DA 20-1072 (WTB Sept. 11, 2020). These conditions, restrictions and commitments include, but are not limited to, the following (see FCC 19-103 and DA 20-1072 for further information):

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: AMERICAN H BLOCK WIRELESS L.L.C.

Call Sign: WQTX303

File Number:

Print Date:

Special Condition 1a (9/11/2020): DISH is obligated to provide 5G Broadband Service over this license. DISH has waived its rights to use this license under the Commission's flexible-use policies and this license is expressly conditioned on DISH building, deploying, and offering 5G Broadband Service, which means at least 3GPP Release 15 capable of providing Enhanced Mobile Broadband (eMBB) functionality. 5G is defined as the 5G New Radio interface standard as described in 3GPP Release 15, available at <https://www.3gpp.org/release-15>, or 3GPP Release 16 within 3 years of 3GPP final approval. This condition does not preclude DISH from providing IoT as a service in addition to the 5G Broadband Service, but DISH is precluded from relying on IoT (or any other non-5G Broadband Service) operations to satisfy its buildout requirements and commitments.

Special Condition 1b (9/11/2020): Final Buildout Requirement. With respect to this H Block license, licensee shall provide 5G Broadband Service coverage and offer 5G Broadband Service by 6/14/2023 to at least seventy (75) percent of the population in the license area. If licensee fails to establish that it meets this Final Buildout Requirement with respect to this H Block license, this authorization shall terminate automatically without Commission action. See § 27.14(r)(3).

Special Condition 1c (9/11/2020): Contingent extension: The Final Buildout Requirement in special condition 1b shall be extended to 6/14/2025 if licensee establishes that it is offering 5G Broadband Service with respect to its AWS H Block licenses to 50% or more of the U.S. population by 6/14/2023.

Special Condition 1d (9/11/2020): DISH has committed to make significant payments to the U.S. Treasury if it does not meet its deployment commitments and that commitment is a condition of the waiver/extension grant and modification of this license in DA 20-1072. These commitments include, but are not limited to, mandatory monetary payments for failure to meet deployment commitments (that are separate from the final buildout requirements), status reports, and verification metrics. If DISH fails to meet the conditions of these grants, it must make the payments required. In addition to mandatory monetary payments (and license cancellations), DISH continues to be subject to all of the Commission's other enforcement and regulatory powers for failing to meet any condition of the grants and modifications made on 9/11/2020.

Licensee Name: AMERICAN H BLOCK WIRELESS L.L.C.

Call Sign: WQTX303

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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**Federal Communications Commission
Wireless Telecommunications Bureau
RADIO STATION AUTHORIZATION**

LICENSEE: PARKERB.COM WIRELESS L.L.C.

ATTN: JEFFREY BLUM
PARKERB.COM WIRELESS L.L.C.
PO BOX 6663
ENGELWOOD, CO 80155

Call Sign WQZM344	File Number
Radio Service WT - 600 MHz Band	

FCC Registration Number (FRN): 0025268459

Grant Date 06-14-2017	Effective Date 09-11-2020	Expiration Date 06-14-2029	Print Date
Market Number PEA122	Channel Block A	Sub-Market Designator 0	
Market Name Madison, WI			
1st Build-out Date	2nd Build-out Date 06-14-2025	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

Special Condition 1 (9/11/2020): Licensee is an indirect, wholly owned subsidiary of DISH Network Corporation (DISH). This license is subject to licensee's compliance with the conditions and restrictions imposed by the Commission in MO&O, Declaratory Ruling and Order of Proposed Modification, FCC 19-103 and the commitments made by DISH in its July 26, 2019 Commitments Letter including Attachment A thereto (see, e.g., FCC 19-103 at App. H), as modified by the Commission, both of which are incorporated by reference into and made operative by Order of Modification and Extension of Time to Construct, DA 20-1072 (WTB Sept. 11, 2020). These conditions, restrictions and commitments include, but are not limited to, the following (see FCC 19-103 and DA 20-1072 for further information):

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: PARKERB.COM WIRELESS L.L.C.

Call Sign: WQZM344

File Number:

Print Date:

Special Condition 1a (9/11/2020): DISH is obligated to provide 5G Broadband Service over this license. DISH has waived its rights to use this license under the Commission's flexible-use policies and this license is expressly conditioned on DISH building, deploying, and offering 5G Broadband Service, which means at least 3GPP Release 15 capable of providing Enhanced Mobile Broadband (eMBB) functionality. 5G is defined as the 5G New Radio interface standard as described in 3GPP Release 15, available at <https://www.3gpp.org/release-15>, or 3GPP Release 16 within 3 years of 3GPP final approval. This condition does not preclude DISH from providing IoT as a service in addition to the 5G Broadband Service, but DISH is precluded from relying on IoT (or any other non-5G Broadband Service) operations to satisfy its buildout requirements and commitments.

Special Condition 1b (9/11/2020): Final Buildout Requirement. With respect to this 600 MHz Band license, licensee shall provide 5G Broadband Service coverage and offer 5G Broadband Service by 6/14/2025 to at least seventy (75) percent of the population in the license area. If licensee fails to establish that it meets this Final Buildout Requirement with respect to this 600 MHz Band license, this authorization shall terminate automatically without Commission action. See § 27.14(t)(4).

Special Condition 1c (9/11/2020): DISH has committed to make significant payments to the U.S. Treasury if it does not meet its deployment commitments and that commitment is a condition of the waiver/extension grant and modification of this license in DA 20-1072. These commitments include, but are not limited to, mandatory monetary payments for failure to meet deployment commitments (that are separate from the final buildout requirements), status reports, and verification metrics. If DISH fails to meet the conditions of these grants, it must make the payments required. In addition to mandatory monetary payments (and license cancellations), DISH continues to be subject to all of the Commission's other enforcement and regulatory powers for failing to meet any condition of the grants and modifications made on 9/11/2020.

Special Condition 1d (9/11/2020): Until September 11, 2026, licensee shall not (1) sell this license without the advance approval of both the FCC and the U.S. Department of Justice or (2) in any 12-month period provide in the Partial Economic Area of this license more than 35% of the capacity of its 5G network to any of the three largest wireless facilities-based providers (alone or in combination) without prior FCC approval. Sell means (i) to transfer, assign, or dispose of this license in any manner either directly or indirectly; or (ii) to transfer control of an entity holding this license; or (iii) to enter into a lease arrangement or any other arrangement that results in the transfer of de jure or de facto control of this license.

Licensee Name: PARKERB.COM WIRELESS L.L.C.

Call Sign: WQZM344

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Reference Copy



September 6, 2022

To whom it may concern:

The proposed DISH Wireless LLC wireless equipment (see attached specification sheets) with a centerline radiation point of 160' to be located at on the parcel 028/0610-021-8245-0 in the town of Dunn (more specifically at latitude: 43 01 01N and longitude: 89 16 15.4W) will operate below the maximum permissible exposures for both Occupational/Controlled and General Population/Uncontrolled thresholds mandated by the FCC.

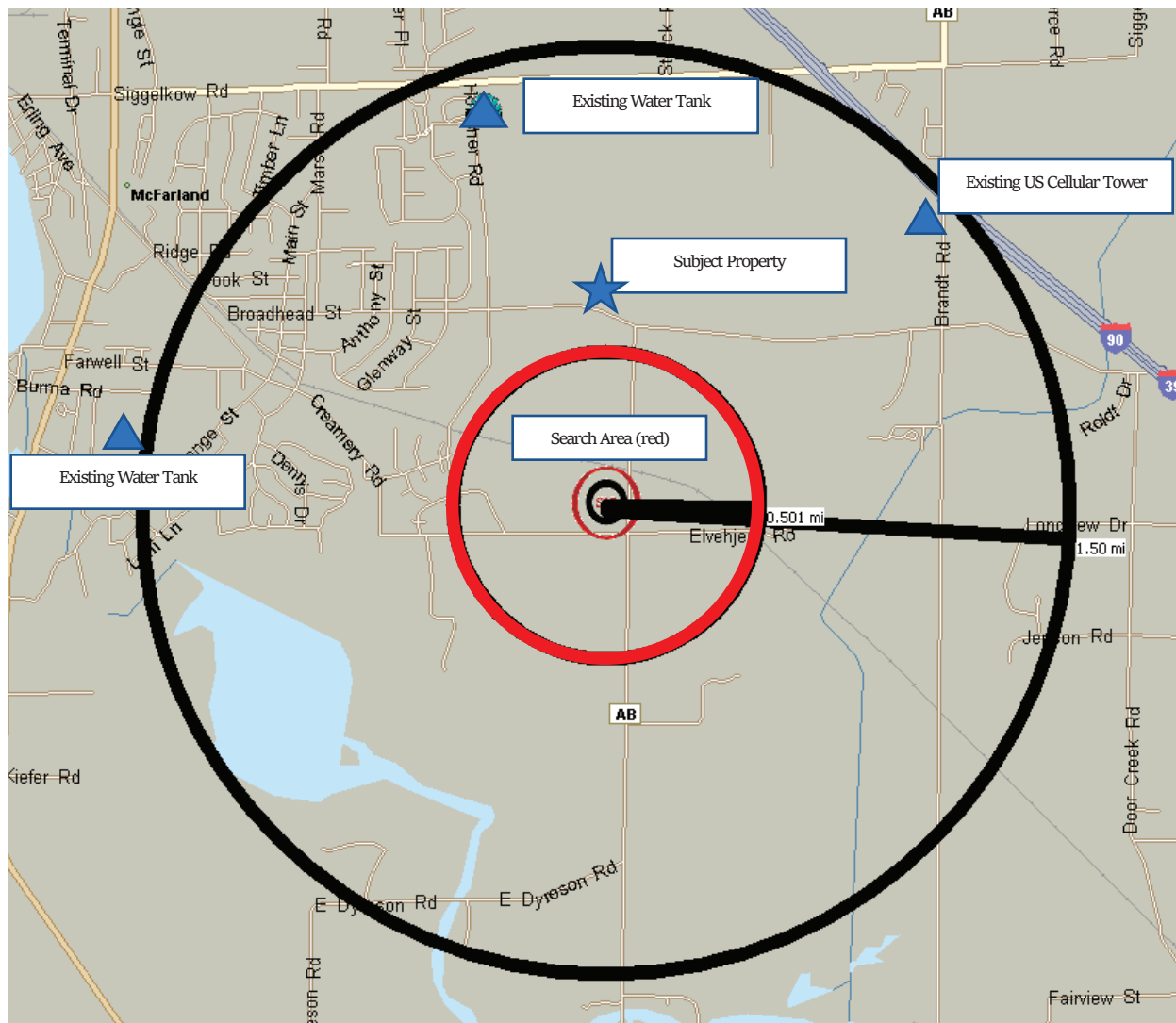
If any additional information is required, please contact myself or our primary site acquisition vendor, Derek McGrew of CelluSite, LLC (derek@cellusite.net).

Sincerely,

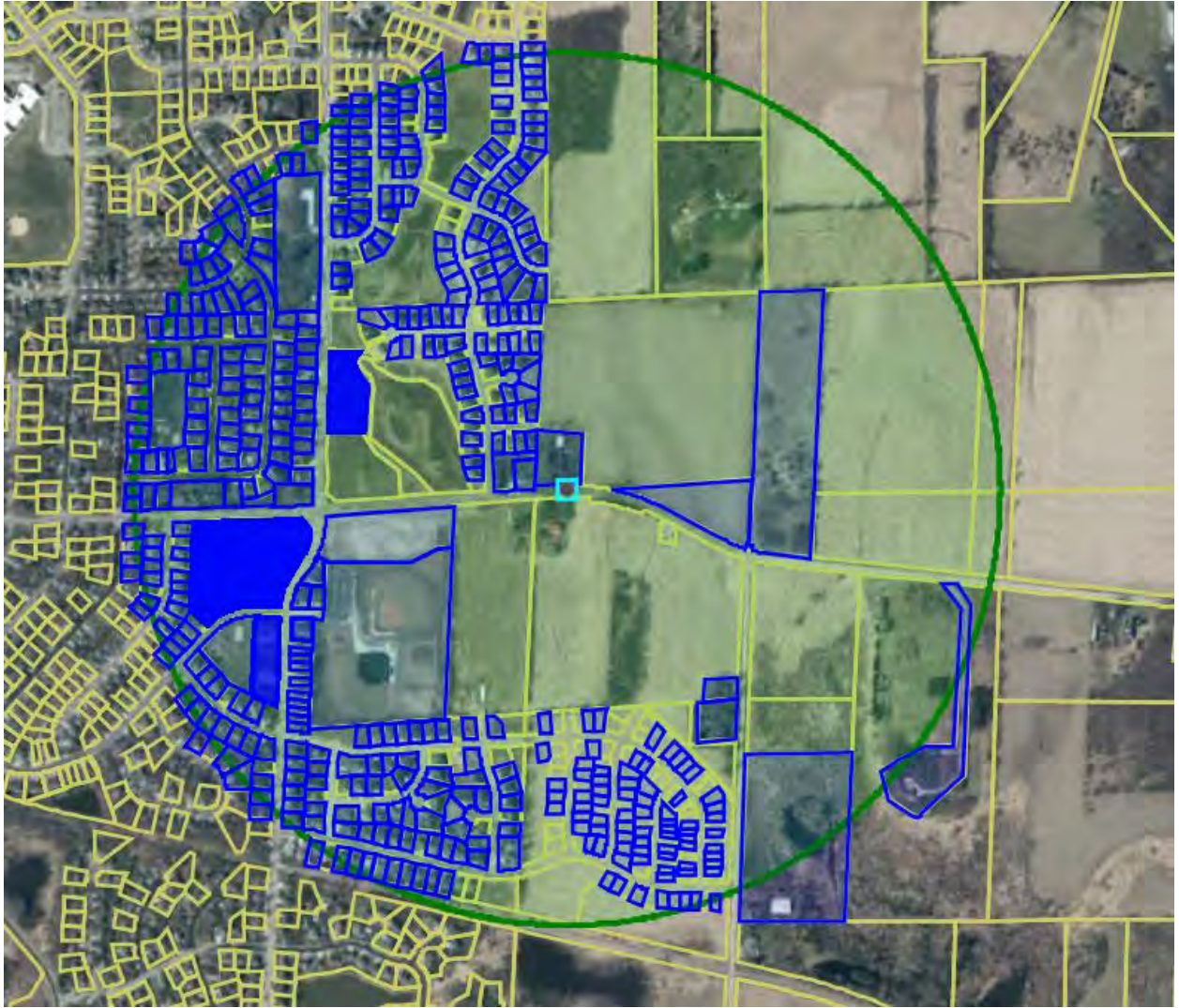
DISH Wireless LLC

By: *Meghan Lanigan*
Name: Meghan Lanigan
Title: Site Development Manager

EXHIBIT F



½ Mile Radius – Residence Map



SKAAR SCATTERED ACRES INC			2453 W STAR RD		COTTAGE GROVE, WI 53527
THOMAS M ANDERSON	JOHN H CORRELL		3393 COUNTY HIGHWAY MN		MCFARLAND, WI 53558
THOMAS M ANDERSON	JOHN H CORRELL		3393 COUNTY HIGHWAY MN		MCFARLAND, WI 53558
WESLEY J LICHT	JANE C LICHT		2964 COUNTY HIGHWAY AB		MCFARLAND, WI 53558
BRANDY J ALDERMAN			6109 MEADOWSWEET TRL		MCFARLAND, WI 53558
STEVEN L RIECKS	PRISCILLA M RIECKS		6138 MEADOWSWEET TRL		MCFARLAND, WI 53558
JENNIFER ANN MITCHELL	DANIEL WAYNE BROWN		6128 MEADOWSWEET TRL		MCFARLAND, WI 53558
CRAIG A VANHOUTEN	NICHOLE D VANHOUTEN		6118 MEADOWSWEET TRL		MCFARLAND, WI 53558
STEVEN JAMES CONNER	CHRISTINA LYNN PANAGIS		6108 MEADOWSWEET TRL		MCFARLAND, WI 53558
GERALD E MULLEN	CAROL M MULLEN		6115 WHITE DAISY CT		MCFARLAND, WI 53588
SCOTT SCHULZ	CHRISTY SCHULZ		6125 WHITE DAISY CT		MCFARLAND, WI 53558
WBC VALENZA REV LIVING TR			6143 WHITE DAISY CT		MCFARLAND, WI 53558
ERIC J NIEBUHR	LYNDSEY M NIEBUHR		6138 PACIFIC CRST		MCFARLAND, WI 53558
DANIEL HUGHES SCHENKAT	MARGARET ELIZABETH SCHENKAT		6150 SHOOTING STAR TRL		MCFARLAND, WI 53558
JOSHUA D OLSON	REBEKAH A OLSON		6312 MORNING DOVE DR		MCFARLAND, WI 53558
TRAVIS RODERICK ELLIS	NICOLE TAYLOR HEILIGER		6120 SHOOTING STAR TRL		MCFARLAND, WI 53558
JOHN VALENZUELA	KIMBERLY VALENZUELA		6110 SHOOTING STAR TRL		MCFARLAND, WI 53558
KEVIN SINGER	ERIN SINGER		6100 SHOOTING STAR CT		MCFARLAND, WI 53558
JEFFREY EILBES	ANGELA EILBES		APT 2 4711 SIGGELKOW RD		MCFARLAND, WI 53558
LYLE MORRIS	LAURIE MORRIS		6070 SHOOTING STAR CT		MCFARLAND, WI 53558
ANTHONY PLOURDE	JAMIE MILLER PLOURDE		6021 SHOOTING STAR CT		MCFARLAND, WI 53558
JOSEPH GANSKE	LAURA ANN GANSKE		6031 SHOOTING STAR CT		MCFARLAND, WI 53558
HEIDI M KLOSTER			6041 SHOOTING STAR CT		MCFARLAND, WI 53558
LACEY KUMAR			6051 SHOOTING STAR CT		MCFARLAND, WI 53558
SADOFF REV TR, STACEY ELIZABETH			5600 N PENINSULA WAY		MCFARLAND, WI 53558
Current Owner	Current Owner		5624 N PENINSULA WAY		MCFARLAND, WI 53558
JOSHUA C KAMPMEIER	MELISSA M KAMPMEIER		5656 N PENINSULA WAY		MCFARLAND, WI 53558
MCFARLAND, VILLAGE OF			PO BOX 110		MCFARLAND, WI 53558
MCFARLAND, VILLAGE OF			PO BOX 110		MCFARLAND, WI 53558
HEIDI K HEFFRON-CLARK			5501 PRAIRIE PLACE DR		MCFARLAND, WI 53558
EMILY ELIZABETH WIESMAN			5505 PRAIRIE PLACE DR		MCFARLAND, WI 53558
MICHAEL C BENNETT			5516 PRAIRIE PLACE DR		MCFARLAND, WI 53558
EMER FAMILY TR			5517 PRAIRIE PLACE DR		MCFARLAND, WI 53558
KEANNA L NEAL			5518 PRAIRIE PLACE DR		MCFARLAND, WI 53558
JILL A HALVERSON			5523 PRAIRIE PLACE DR		MCFARLAND, WI 53558
SUSAN K SKUTLEY			5524 PRAIRIE PLACE DR		MCFARLAND, WI 53558
JENNY REBECCA WELLS			5526 PRAIRIE PLACE DR		MCFARLAND, WI 53558
KEVIN J CASSIDY	CHELSEA T CASSIDY		5527 PRAIRIE PLACE DR		MCFARLAND, WI 53558
KYLE KOCH			5529 PRAIRIE PLACE DR		MCFARLAND, WI 53558
DANIEL W BURKE	RENEE A BURKE		5533 PRAIRIE PLACE DR		MCFARLAND, WI 53558
CHRISTIAN E GROBE	GRACE A HENNEN		5534 PRAIRIE PLACE DR		MCFARLAND, WI 53558
SAMUEL CLAYTON FAUST	CHEYENNE LOUISE FAUST		5536 PRAIRIE PLACE DR		MCFARLAND, WI 53558
JACK PROPSON			5538 PRAIRIE PLACE DR		MCFARLAND, WI 53558
VENNEVOLL INC			400 N MORRIS ST		STOUGHTON, WI 53589
ARIF M KHAN	SADIA ARIF		3486 COUNTY HIGHWAY MN		MCFARLAND, WI 53558
DEREK J MARKS	KRISTINE MARKS		3502 COUNTY HIGHWAY MN		MCFARLAND, WI 53558
CLAIR UTTER	JACQUELINE UTTER		3495 COUNTY HIGHWAY MN		MCFARLAND, WI 53558
MCFARLAND SCHOOL DISTRICT			5101 FARWELL ST		MCFARLAND, WI 53558
Current Owner			5915 MILWAUKEE ST		MCFARLAND, WI 53558
ANR PIPELINE COMPANY			UNIT S1743B 1001 LOUISIANA ST		HOUSTON, TX 77002
CLAIR UTTER	JACQUELINE UTTER		3495 COUNTY HIGHWAY MN		MCFARLAND, WI 53558
PHYLLIS K GRANT			3037 COUNTY HIGHWAY AB		MCFARLAND, WI 53558
Current Owner	Current Owner		5504 HOLSCHER RD		MCFARLAND, WI 53558
DENISE TERRIAN			420 CONCORD DR		OREGON, WI 53575
ANNE F JANELSINS	KARLIS S JANELSINS		5510 HOLSCHER RD		MCFARLAND, WI 53558
CHRIS ST CLAIR	MEGHAN ST CLAIR		5602 HOLSCHER RD		MCFARLAND, WI 53558

DIETZEL LIVING TR, GERALD & SUSAN			5605 CHESTNUT LN	MCFARLAND, WI 53558
Current Owner		Current Owner	5608 HOLSCHER RD	MCFARLAND, WI 53597
RUTH ANN WHITEHORSE-BURNS			5607 CHESTNUT LN	MCFARLAND, WI 53558
DIETZEL LIVING TR, GERALD & SUSAN			5605 CHESTNUT LN	MCFARLAND, WI 53558
Current Owner		Current Owner	5603 CHESTNUT LN	MCFARLAND, WI 53558
MARTIN F CROAK		LINDA J CROAK	5601 CHESTNUT LN	MCFARLAND, WI 53558
KOEHLER IRREV TR, CHARLES P			5511 CHESTNUT LN	MCFARLAND, WI 53558
PATRICK CHAMBERS		RACHEL CHAMBERS	5503 CHESTNUT LN	MCFARLAND, WI 53558
RACHEL CHAMBERS		PATRICK CHAMBERS	5503 CHESTNUT LN	MCFARLAND, WI 53558
MARSHALL CHARLESWORTH		LINDSEY CHARLESWORTH	5606 CHESTNUT LN	MC FARLAND, WI 53558
MICHAEL J FLAHERTY		DIANE E NORMAN	5604 CHESTNUT LN	MCFARLAND, WI 53558
PARPART REV TR, MICHAEL J			5510 CHESTNUT LN	MCFARLAND, WI 53558
ALAN PERSINGER		JACLYN PERSINGER	5508 CHESTNUT LN	MCFARLAND, WI 53558
Current Owner		Current Owner	5506 CHESTNUT LN	MCFARLAND, WI 53558
LEWIS REV LIVING TR, PAULETTE R			5714 CURTIS ST	MCFARLAND, WI 53558
MARY ANN SMITH			5802 CURTIS ST	MCFARLAND, WI 53558
JULIE A HOEGE			5804 CURTIS ST	MCFARLAND, WI 53558
Current Owner		Current Owner	5806 CURTIS ST	MCFARLAND, WI 53558
Current Owner			5505 CARDINAL DR	MCFARLAND, WI 53558
SHARON A EGGLESTON			5509 CARDINAL DR	MCFARLAND, WI 53558
Current Owner			5511 CARDINAL DR	MCFARLAND, WI 53558
BRENNA PATTERSON			5603 CARDINAL DR	MCFARLAND, WI 53558
Current Owner		Current Owner	5811 SAUK LN	MCFARLAND, WI 53558
ANGELA L BAZAN			5713 SAUK LN	MCFARLAND, WI 53558
Current Owner		Current Owner	UNIT #1 5709 SAUK LN	MCFARLAND, WI 53558
Current Owner		Current Owner	5604 CARDINAL DR	MCFARLAND, WI 53558
SINN & LEUNG REV TR, RICHARD & SUI LAN			376 SUMMERFIELD DR	MILPITAS, CA 95035
MICHAEL WIENKE		TAMARA J BAUHS	5510 CARDINAL DR	MCFARLAND, WI 53558
Current Owner		Current Owner	5508 CARDINAL DR	MCFARLAND, WI 53558
WILLIAM R BLEY		LANE B BECKER-BLEY	5805 CURTIS ST	MCFARLAND, WI 53558
DEMETRIUS A SALINAS		ANGELA L SCOTT	5803 CURTIS ST	MCFARLAND, WI 53558
TIMOTHY J BAUER		LAURA J BAUER	5715 CURTIS ST	MCFARLAND, WI 53558
Current Owner		Current Owner	5713 CURTIS ST	MCFARLAND, WI 53558
RACHEL JONES		MICHAEL H JONES	5509 GLENWAY ST	MCFARLAND, WI 53558
DEBRA DORIS BUNBURY			5603 GLENWAY ST	MCFARLAND, WI 53558
JACK G BRANDT		CINDY R BRANDT	5605 GLENWAY ST	MCFARLAND, WI 53558
JOHN R OBST		BARBARA L OBST	5810 BROADHEAD ST	MCFARLAND, WI 53558
MCFARLAND LUTHERAN CEMETERY ASSOC			NOT PROVIDED	NOT PROVIDED, WI 99999
GLENN HECKARD		MARY HECKARD	5854 HOLSCHER RD	MCFARLAND, WI 53558
MELANIE A BOEHNEN			5866 HOLSCHER RD	MCFARLAND, WI 53558
BENJAMIN M ARPKE		ALISSA J ARPKE	5878 HOLSCHER RD	MCFARLAND, WI 53558
SUSAN M DONDLINGER			5884 HOLSCHER RD	MCFARLAND, WI 53558
THOMAS H SALO		MARY J SALO	5806 HOLSCHER RD	MCFARLAND, WI 53558
MARY ANN PICONE			5812 HOLSCHER RD	MCFARLAND, WI 53558
WILLIAMS LIVING TR, EMMA L			5818 HOLSCHER RD	MCFARLAND, WI 53558
Current Owner			5836 HOLSCHER RD	MCFARLAND, WI 53558
STEVEN E ROGERS			5842 HOLSCHER RD	MCFARLAND, WI 53558
NATHAN R GAST		JOAN E GAST	5706 RUNNING DEER TRL	MCFALAND, WI 53558
LARRY J WICKERSHAM		HEATHER K WICKERSHAM	5702 RUNNING DEER TRL	MCFARLAND, WI 53558
JEFFREY M REINHOLTZ		ANDREA M REINHOLTZ	5701 RUNNING DEER TRL	MCFARLAND, WI 53558
YUSHAN ZHAO			5705 RUNNING DEER TRL	MCFARLAND, WI 53558
Current Owner		Current Owner	5707 RUNNING DEER TRL	MCFARLAND, WI 53558
STEVEN A RIESE		KAREN A RIESE	5711 RUNNING DEER TRL	MCFARLAND, WI 53558
ROBERT T POPE		PEGGY J POPE	5715 RUNNING DEER TRL	MCFARLAND, WI 53558
HOLZMANN LIVING TR			5803 RUNNING DEER TRL	MCFARLAND, WI 53558
Current Owner			5920 OSBORN DR	MCFARLAND, WI 53558

WILLIAM CANTY		JENNIFER CANTY		5916 PRAIRIE WOOD DR	MCFARLAND, WI 53558
KEVIN D MILLER		KATHERINE C MILLER		5964 PRAIRIE WOOD DR	MCFARLAND, WI 53558
LARRY D RAESE		MARYANNE M RAESE		5976 PRAIRIE WOOD DR	MCFARLAND, WI 53558
VINCIL VARGHESE				5891 HOLSCHER RD	MCFARLAND, WI 53558
BABCOCK IRREV TR				5879 HOLSCHER RD	MCFARLAND, WI 53558
JEFFREY R NELSON				402 VIEW RD	MONTFORT, WI 53569
ROBERT CARDARELLA				3419 NW 17TH LN	CAPE CORAL, FL 33993
DAVID J ERICKSON		PAULA J ERICKSON		5843 HOLSCHER RD	MCFARLAND, WI 53558
STEVEN K PERTZBORN		ANASTASIA M OLESAK		5825 HOLSCHER RD	MCFARLAND, WI 53558
PAUL T SPELLMAN		ARDITH J SPELLMAN		5831 HOLSCHER RD	MCFARLAND, WI 53558
MCFARLAND, VILLAGE OF				PO BOX 110	MCFARLAND, WI 53558
CLYDE J CARPENTER		BEBA B CARPENTER		6001 OSBORN DR	MCFARLAND, WI 53558
KENNETH W STEBBINS		KAREN A STEBBINS		6007 OSBORN DR	MCFARLAND, WI 53558
TIMOTHY J MROWIEC				6013 OSBORN DR	MCFARLAND, WI 53558
MASON LIVING TR				6019 OSBORN DR	MCFARLAND, WI 53588
THOMAS B GANNON				2860 COUNTY HIGHWAY AB	MCFARLAND, WI 53558
KATHLEEN A RUBY				6002 OSBORN DR	MCFARLAND, WI 53558
DONALD E WETZEL		JEANNE O WETZEL		5771 HOLSCHER RD	MCFARLAND, WI 53558
CAROL BECK				5700 PRAIRIE STONE DR	MCFARLAND, WI 53558
GORDON S MOORE		YVONNE MOORE		5704 PRAIRIE STONE DR	MCFARLAND, WI 53558
COX LIVING TR				5708 PRAIRIE STONE DR	MCFARLAND, WI 53558
LARRY ALLEN		BEVERLY ALLEN		5913 GRANITE WAY	MCFARLAND, WI 53558
NELSON LIVING TR, RONALD A & GAIL B				5929 GRANITE WAY	MCFARLAND, WI 53558
GULMIRE REV SURVIVOR'S TR, TERRANCE L				5945 GRANITE WAY	MCFARLAND, WI 53558
ROBERT W LOVELACE				400 TOMPKINS DR	MADISON, WI 53716
FRANKLIN REV LIVING TR, SANDRA S				5721 PRAIRIE STONE DR	MCFARLAND, WI 53558
SCHALLER LIVING TR, RON & MONICA				5716 PRAIRIE STONE DR	MCFARLAND, WI 53558
CARSON REV TR, JOAN M				5720 PRAIRIE STONE DR	MCFARLAND, WI 53558
MCNAMEE REV TR, JOSEPH & SANDRA				UNIT #17 5724 PRAIRIE STONE DR	MCFARLAND, WI 53558
JOSEPH C VAN FOSSEN		KIMBERLY A VAN FOSSEN		5728 PRAIRIE STONE DR	MCFARLAND, WI 53558
CAROLLO LIVING TR, ENRICO & WENDY				5748 PRAIRIE STONE DR	MCFARLAND, WI 53558
KRISTIN HIBBS		DALE HIBBS		5756 PRAIRIE STONE DR	MCFARLAND, WI 53558
Current Owner		Current Owner		5753 PRAIRIE STONE DR	MCFARLAND, WI 53558
RICHARD R BECKER		JUDITH A BECKER		5757 PRAIRIE STONE DR	MCFARLAND, WI 53558
GEORGE D MANNING		DIANE J MANNING		5771 PRAIRIE STONE DR	MCFARLAND, WI 53558
LAMPS JT REV LIVING TR, GARY M & ANNE L				5775 PRAIRIE STONE DR	MCFARLAND, WI 53558
DONNA AMACHER				5764 PRAIRIE STONE DR	MCFARLAND, WI 53558
Current Owner		Current Owner		5768 PRAIRIE STONE DR	MCFARLAND, WI 53558
MARLENE F RICHARD				5772 PRAIRIE STONE DR	MCFARLAND, WI 53558
CASEY C DUFFEY		CHERYL M DUFFEY		5993 GRANITE WAY	MCFARLAND, WI 53558
JOHN R GREDE		CAROLYN J GREDE		5985 GRANITE WAY	MCFARLAND, WI 53558
JANE M GRINVALSKY				5969 GRANITE WAY	MCFARLAND, WI 53558
LARRY CLAYTON HUGHES		MARTHA J HUGHES		5943 HOLSCHER RD	MCFARLAND, WI 53558
THOMAS SORNSON		KRISTIN SORNSON		5911 HOLSCHER RD	MCFARLAND, WI 53558
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
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VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
INVESTMENT 468 LLC				842 FOX RUN CT	OREGON, WI 53575

INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
MEGHAN SLUGA		BENJAMIN HAUCH		5942 VINTAGE BIRCH WAY		MCFARLAND, WI 53558
KAY E HETLAND				5948 VINTAGE BIRCH WAY		MCFARLAND, WI 53558
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR		MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR		MADISON, WI 53713
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR		MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR		MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR		MADISON, WI 53713
Current Owner		Current Owner		5943 VINTAGE BIRCH WAY		MCFARLAND, WI 53558
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR		MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR		MADISON, WI 53713
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
DOUGLAS J NOFSINGER		DARCIA NOFSINGER		6554 PRAIRIE WOOD DR		MCFARLAND, WI 53558
JUSTIN CURRIER ROTHSCHILD				6548 PRAIRIE WOOD DR		MCFARLAND, WI 53558
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT		OREGON, WI 53575
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR		MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR		MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR		MADISON, WI 53713
SCOTT G WESTPHAL		MELINDA M WESTPHAL		5932 WIOUWASH WAY		MCFARLAND, WI 53558
RYAN F SMITH		AMBER K SMITH		5948 WIOUWASH WAY		MCFARLAND, WI 53558
JAMES STURM		NICOLE STURM		5917 PENINSULA WAY		MCFARLAND, WI 53558
MATTHEW R HAWLEY		LEAH N HERRO		4813 DREAM LN		MCFARLAND, WI 53718
CHRISTOPHER D LEADHOLM		MEGAN M LEADHOLM		6172 PRAIRIE WOOD DR		MCFARLAND, WI 53558
DETERMAN TR, DANIEL & KRISTIN				6148 PRAIRIE WOOD DR		MCFARLAND, WI 53558
W DAVID HARRIS		MIRIAM HARRIS		6124 PRAIRIE WOOD DR		MCFARLAND, WI 53558
Current Owner		Current Owner		6084 PRAIRIE WOOD DR		MCFARLAND, WI 53558
JACOB A SCHKIRKIE				6076 PRAIRIE WOOD DR		MCFARLAND, WI 53558
Current Owner		Current Owner		6052 PRAIRIE WOOD DR		MCFARLAND, WI 53558
Current Owner				5915 MILWAUKEE ST		MCFARLAND, WI 53558
Current Owner				5915 MILWAUKEE ST		MCFARLAND, WI 53558
Current Owner				STE 2 4720 FARWELL ST		MCFARLAND, WI 53558

Current Owner		Current Owner		6050 SUGAR RIVER LN		MCFARLAND, WI 53558
MATTHEW L BARNEY		KATHRYN M BARNEY		6033 SUGAR RIVER LN		MCFARLAND, WI 53558
Current Owner				6043 SUGAR RIVER LN		MCFARLAND, WI 53558
Current Owner		Current Owner		6063 SUGAR RIVER LN		MCFARLAND, WI 53558
MICHAEL KENNETH BRANDT		HILARY K BRANDT		6057 PRAIRIE WOOD DR		MCFARLAND, WI 53558
JAMI M NOYES		LAURA A NOYES		6165 PRAIRIE WOOD DR		MCFARLAND, WI 53558
O'LEARY LIVING TR				5922 PENINSULA WAY		MCFARLAND, WI 53558
Current Owner		Current Owner		6102 COPPER FALLS CT		MCFARLAND, WI 53558
MARK W HERRMAN		SARA J HERRMAN		5970 PENINSULA WAY		MCFARLAND, WI 53558
JEFF KLUGE		KRISTIN KLUGE		6190 TUSCOBIA TRL		MCFARLAND, WI 53558
KEVIN D BURKE		ALIXANDRA J BURKE		6142 TUSCOBIA TRL		MCFARLAND, WI 53558
TIMOTHY P KING		SARA M KING		6098 TUSCOBIA TRL		MCFARLAND, WI 53558
DONALD J SOPPE		SUSANNE M SOPPE		6060 TUSCOBIA TRL		MCFARLAND, WI 53558
Current Owner		Current Owner		6220 PRAIRIE WOOD DR		MCFARLAND, WI 53558
Current Owner				PO BOX 110		MCFARLAND, WI 53558
Current Owner				2923 CAMP LEONARD RD		MCFARLAND, WI 53558
NANCY J UTTERBACK				3029 COUNTY HIGHWAY AB		MCFARLAND, WI 53558
NANCY J UTTERBACK				3029 COUNTY HIGHWAY AB		MCFARLAND, WI 53558
MITCHELL LIVING TR, WILLIAM & JOAN				5412 CHESTNUT LN		MCFARLAND, WI 53558
YOUNG LIVING TR, THOMAS & JOHANNA				5408 CHESTNUT LN		MCFARLAND, WI 53558
RONALD J SWEENEY		MELINDA A SCHOEPP-SWEENEY		5809 BLACK WALNUT DR		MCFARLAND, WI 53558
JOSEPH J MARKING		MARIA A MOLEPSKE		5803 BLACK WALNUT DR		MCFARLAND, WI 53558
BRYAN BAXTER				5801 BLACK WALNUT DR		MCFARLAND, WI 53558
MARK R BENGRY		GEORGIANA R LOWE		5713 BLACK WALNUT DR		MCFARLAND, WI 53558
ALEX J OLSON		ERICA K TIMMERS		5802 BLACK WALNUT DR		MCFARLAND, WI 53558
Current Owner		Current Owner		5317 BLACK WALNUT DR		MCFARLAND, WI 53558
MARK SCHWARTZ		LINDA SCHWARTZ		5808 BLACK WALNUT DR		MCFARLAND, WI 53558
Current Owner				5314 BLACK WALNUT DR		MCFARLAND, WI 53558
RIES LIVING TR, THOMAS G & PATTY F				5904 SMITH RIDGE RD		MCFARLAND, WI 53558
BERG LIVING TR				5910 SMITH RIDGE RD		MCFARLAND, WI 53558
MARIA JAVEED		MUHAMMAD ASIF		5909 SMITH RIDGE RD		MCFARLAND, WI 53558
DANIEL L BRODOWSKY		KRISTIN A BRODOWSKY		5907 SMITH RIDGE RD		MCFARLAND, WI 53558
ERIC B HEMP		MICHELLE M HEMP		5905 SMITH RIDGE RD		MCFARLAND, WI 53558
LOUISE ANN PALMER-LUESSMAN				5901 SMITH RIDGE RD		MCFARLAND, WI 53558
Current Owner				5807 SMITH RIDGE RD		MCFARLAND, WI 53558
THOMAS J KLEMENT		KATHRYN S KLEMENT		5315 BLACK WALNUT DR		MCFARLAND, WI 53558
LANCE P HUDGENS		ERIN E HUDGENS		5319 BLACK WALNUT DR		MCFARLAND, WI 53558
WEN QI LIU		RU ZHENG		5321 BLACK WALNUT DR		MCFARLAND, WI 53558
JOSEPH V D'AMATO		DIANE L D'AMATO		5805 ASPEN CT		MCFARLAND, WI 53558
DUGAN LIVING TR, PATRICK & CHARLENE				5803 ASPEN CT		MCFARLAND, WI 53558
CRAIG S SMITH		PATRICIA A VANDEWALL		2734 TOWER RD		MCFARLAND, WI 53558
ALYSSA J WILSON		BRETT M WILSON		5265 N PENINSULA WAY		MCFARLAND, WI 53558
JULIEN EDMOND ADRIEN LAVANC		REBECCA NICOLE CALLAN		5245 N PENINSULA WAY		MCFARLAND, WI 53558
ANTHONY JAMES HENNES		EMILY RAE HENNES		5314 N PENINSULA WAY		MCFARLAND, WI 53558
BLAKE GINDLING		EMILY GINDLING		5326 PENINSULA WAY		MCFARLAND, WI 53558
NICHOLAS SCHIAVO		REBECCA SCHIAVO		6038 E LINDEN PKWY		MCFARLAND, WI 53558
ALISON MURWIN		AUSTIN SABERS		6032 E LINDEN PKWY		MCFARLAND, WI 53558
Current Owner				5531 HOLSCHER RD		MCFARLAND, WI 53558
Current Owner				5521 HOLSCHER RD		MCFARLAND, WI 53558
JOEY J PRIEVE		JESSICA LYN PRIEVE		5511 HOLSCHER RD		MCFARLAND, WI 53590
Current Owner		Current Owner		6003 LITTLE BLUESTEM DR		MCFARLAND, WI 53558
STEPHEN J BRISTOW		SANDRA L BRISTOW		6027 LITTLE BLUESTEM DR		MCFARLAND, WI 53558
JAMES J QUAST		DEBRA SALEY		6039 LITTLE BLUESTEM DR		MCFARLAND, WI 53558
GEORGE BEDNAR		LINDA BEDNAR		6051 LITTLE BLUESTEM DR		MCFARLAND, WI 53558
Current Owner		Current Owner		6063 LITTLE BLUESTEM DR		MCFARLAND, WI 53558
AARON J SUMINSKI				6075 PINE RIDGE WAY		MCFARLAND, WI 53558

ROBERT BLUST		LINDA BLUST		5510 N PENINSULA WAY	MCFARLAND, WI 53558
GALEN W HEYNE		REBECCA WACHOWIAK		5540 N PENINSULA WAY	MCFARLAND, WI 53558
JAMESON REV TR, KATHRYN A				6121 PINE RIDGE WAY	MCFARLAND, WI 53558
JONATHAN E CRANE		LISA E CRANE		6131 PINE RIDGE WAY	MCFARLAND, WI 53558
SEAN M HART		BRIDGET HART		6181 PINE RIDGE WAY	MCFARLAND, WI 53558
PAUL M WELLENTIN		EMILY FRANCES WELLENTIN		6191 PINE RIDGE WAY	MCFARLAND, WI 53558
DOUG FISCHER		CHRISTINA FISCHER		6182 PINE RIDGE WAY	MCFARLAND, WI 53558
BRYCE D BECKER		TARA N BECKER		6162 PINE RIDGE WAY	MCFARLAND, WI 53558
Current Owner				6142 PINE RIDGE WAY	MCFARLAND, WI 53558
JAMES R THOMPSON		TRACY M THOMPSON		6132 PINE RIDGE WAY	MCFARLAND, WI 53558
DAVID E NOYCE		KIMBERLY A NOYCE		6122 PINE RIDGE WAY	MCFARLAND STATE BANK, WI 5
OBRIEN LIVING TR				5477 N PENINSULA WAY	MCFARLAND, WI 53558
CHRISTOPHER MCKEE		EMILY M MCKEE		5437 N PENINSULA WAY	MCFARLAND, WI 53558
KEVIN PAMPUCH		JENNIFER PAMPUCH		5383 N PENINSULA WAY	MCFARLAND, WI 53558
STEPHANIE REED				5353 N PENINSULA WAY	MCFARLAND, WI 53558
NDERIM ISUFI		NEJDET ISUFI		5343 N PENINSULA WAY	MCFARLAND, WI 53558
SCOTT TAUFERNER		JAMIE L TAUFERNER		5333 N PENINSULA WAY	MCFARLAND, WI 53558
Current Owner		Current Owner		5362 N PENINSULA WAY	MCFARLAND, WI 53558
AMANPRIT DHANOA		SATINDER DHANOA		5374 N PENINSULA WAY	MCFARLAND, WI 53558
BRIAN J RAPP		CHERYL L WEISS		5498 N PENINSULA WAY	MCFARLAND, WI 53558
SCOTT T MUELLER		ELIZABETH A MUELLER		6080 E LINDEN PKWY	MCFARLAND, WI 53558
WILCKE TR, DAVID W & JULIE L				6068 E LINDEN PKWY	MCFARLAND, WI 53558
NICK S YACKOVICH		AMY B JAMESON YACKOVICH		6056 E LINDEN PKWY	MCFARLAND, WI 53558
MITCHELL D GARNETT		KELLY M GARNETT		5370 LITTLE BLUESTEM DR	MCFARLAND, WI 53558
ROBERT W KENDALL		LINDA M KENDALL		5384 LITTLE BLUESTEM DR	MCFARLAND, WI 53558
JOHN KRAMPER		ALLISON KRAMPER		5430 LITTLE BLUESTEM DR	MCFARLAND, WI 53558
ERIK ANDREW MASSEY		KELLI MARIE MASSEY		6038 LITTLE BLUESTEM DR	MCFARLAND, WI 53558
Current Owner		Current Owner		6026 LITTLE BLUESTEM DR	MCFARLAND, WI 53558
ELIZABETH R JANOWSKI				6014 LITTLE BLUESTEM DR	MCFARLAND, WI 53558
MICHAEL J EMRICK		JULIE M EMRICK		6002 LITTLE BLUESTEM DR	MCFARLAND, WI 53558
MICHAEL J EMRICK		JULIE M EMRICK		6002 LITTLE BLUESTEM DR	MCFARLAND, WI 53558
MATTHEW R MARTINI		CHRISTINA M MARTINI		5459 HOLSCHER RD	MCFARLAND, WI 53558
MEGAN N GROVER		TAYLOR E GROVER		5403 HOLSCHER RD	MCFARLAND, WI 53558
TYLER J MAROTZ				5371 HOLSCHER RD	MCFARLAND, WI 53558
CURTIS CALNIN		REBECCA CALNIN		5357 HOLSCHER RD	MCFARLAND, WI 53558
RACHEL DOMASK				5343 HOLSCHER RD	MCFARLAND, WI 53558
WILLIE L BENJAMIN				5329 HOLSCHER RD	MCFARLAND, WI 53558
Current Owner		Current Owner		6069 E LINDEN PKWY	MCFARLAND, WI 53558
Current Owner				6081 E LINDEN PKWY	MCFARLAND, WI 53558
NICHOLAS A BROWN		MEGAN SONNTAG BROWN		6098 PINE RIDGE WAY	MCFARLAND, WI 53558
DANIEL R SCHMIDT				6074 PINE RIDGE WAY	MCFARLAND, WI 53558
BOJAN DABETIC		KATHRYN J DABETIC		5385 LITTLE BLUESTEM DR	MCFARLAND, WI 53558
MARK R GILLETTE		NICOLE L MOSCINSKI		5315 LITTLE BLUESTEM DR	MCFARLAND, WI 53538
MCFARLAND, VILLAGE OF				PO BOX 110	MCFARLAND, WI 53558
KENNETH M BOYD		RENEE L BOYD		3457 SIGGELKOW RD	MCFARLAND, WI 53558
JOSEPH W MCFARLAND		MCFARLAND TR		51789 LARK RD	WISCONSIN DELLS, WI 53965
SKAAR SCATTERED ACRES INC				2453 W STAR RD	COTTAGE GROVE, WI 53527
SKAALEN RETIREMENT SERVICES INC				400 N MORRIS ST	STOUGHTON, WI 53589
SKAAR SCATTERED ACRES INC				2453 W STAR RD	COTTAGE GROVE, WI 53527
CLAIR UTTER		JACQUELINE UTTER		3495 COUNTY HIGHWAY MN	MCFARLAND, WI 53558
SKAAR SCATTERED ACRES INC				2453 W STAR RD	COTTAGE GROVE, WI 53527
CLAIR UTTER		JACQUELINE UTTER		3495 COUNTY HIGHWAY MN	MCFARLAND, WI 53558
ERIC G MCMILLAN		DAWNA L MCMILLAN		6119 MEADOWSWEET TRL	MCFARLAND, WI 53558
PATRICK MORRISON		SHANNON MORRISON		UNIT #302 4606 SIGGELKOW RD	MCFARLAND, WI 53558
EDWARD JR WREH		KYANNA KILEY		5653 MERINO CT	FITCHBURG, WI 53711
ALAN J NORTHOUSE		HAILEY A NORTHOUSE		6105 WHITE DAISY CT	MCFARLAND, WI 53558

CLARK BRETTHAUER				6124 WHITE DAISY CT		MCFARLAND, WI 53558
JEFFERY R KRAMER		AMY KRAMER		6114 WHITE DAISY CT		MCFARLAND, WI 53558
NICHOLAS MICHAEL MOON		ERIN NICOLE MOON		5625 N PENINSULA WAY		MCFARLAND, WI 53558
Current Owner		Current Owner		5615 N PENINSULA WAY		MCFARLAND, WI 53558
ZACHARY WILLIAM KOCH		KALLIE JO KOCH		6101 SHOOTING STAR TRL		MCFARLAND, WI 53558
JACOB NOYES		ALISON NOYES		6111 SHOOTING STAR TRL		MCFARLAND, WI 53558
Current Owner		Current Owner		6121 SHOOTING STAR TRL		MCFARLAND, WI 53558
ANDREW FELT		NICOLE BICE		6131 SHOOTING STAR TRL		MCFARLAND, WI 53558
BRADLEY P ROSE		JILL M ROSE		6141 SHOOTING STAR TRL		MCFARLAND, WI 53558
NATHAN MARTIN DANIELSON		CAMILLE G DANIELSON		6140 SHOOTING STAR CT		MCFARLAND, WI 53558
MICHAEL L SHUMWAY		CASSONDRA A SHUMWAY		6090 SHOOTING STAR CT		MCFARLAND, WI 53558
STEEL REV LIVING TR, BRADY J & CHRISTINA M				6060 SHOOTING STAR CT		MCFARLAND, WI 53558
TRENT O MEICHER		KATHRYN L MEICHER		6050 SHOOTING STAR CT		MCFARLAND, WI 53558
ERIK KNOWLES		LINDSAY KNOWLES		6040 SHOOTING STAR CT		MCFARLAND, WI 53558
BRIAN L HALE		DARLA M HALE		6030 SHOOTING STAR CT		MCFARLAND, WI 53558
TRENT J HOPPMAN		ALEXYS HOPPMAN		6020 SHOOTING STAR CT		MCFARLAND, WI 53558
MICHAEL DOMBROWSKI		EMILY DOMBROWSKI		4545 CATALINA PKWY		MCFARLAND, WI 53558
Current Owner		Current Owner		6061 SHOOTING STAR CT		MCFARLAND, WI 53558
ZACHARY J BARTON		ALLISON A BARTON		6071 SHOOTING STAR CT		MCFARLAND, WI 53558
Current Owner		Current Owner		5608 N PENINSULA WAY		MCFARLAND, WI 53558
JEFFREY M MCMANAMY		ERIN L SUNDELL		5616 N PENINSULA WAY		MCFARLAND, WI 53558
ARCAND LIVING TR				5632 N PENINSULA WAY		MCFARLAND, WI 53558
LYLE WEBER		DAWN WEBER		5640 N PENINSULA WAY		MCFARLAND, WI 53558
JAMES A WOLLACK		JODI E WOLLACK		5648 N PENINSULA WAY		MCFARLAND, WI 53558
ANNE M MILLEN				5664 N PENINSULA WAY		MCFARLAND, WI 53558
MATTHEW J MARVER		AMY L MARVER		5672 N PENINSULA WAY		MCFARLAND, WI 53558
MATTHEW J BOTTORFF		REBECCA G BOTTORFF		5680 N PENINSULA WAY		MCFARLAND, WI 53558
SAMANTHA CHERNEY				5688 N PENINSULA WAY		MCFARLAND, WI 53558
WATERFORD APARTMENTS LLC				STE 200 230 OHIO ST		OSHKOSH, WI 54902
MCFARLAND, VILLAGE OF				PO BOX 110		MCFARLAND, WI 53558
MCFARLAND, VILLAGE OF				PO BOX 110		MCFARLAND, WI 53558
MCFARLAND, VILLAGE OF				PO BOX 110		MCFARLAND, WI 53558
MCFARLAND, VILLAGE OF				PO BOX 110		MCFARLAND, WI 53558
JOSEPH J NELSON				5503 PRAIRIE PLACE DR		MCFARLAND, WI 53558
ZACHARY LAMBE		LAURA LAMBE		5507 PRAIRIE PLACE DR		MCFARLAND, WI 53558
CATALINA HESHUSIUS				5509 PRAIRIE PLACE DR		MCFARLAND, WI 53558
NICHOLAS P MCCORMICK				5511 PRAIRIE PLACE DR		MCFARLAND, WI 53558
ANDREA M SCHMIDT				5513 PRAIRIE PLACE DR		MCFARLAND, WI 53558
JARED J REUTER				5515 PRAIRIE PLACE DR		MCFARLAND, WI 53558
APRIL SUMINSKI				5519 PRAIRIE PLACE DR		MCFARLAND, WI 53558
KEENEN DEER				5520 PRAIRIE PLACE DR		MCFARLAND, WI 53558
NICHOLAS GRASSO				5521 PRAIRIE PLACE DR		MCFARLAND, WI 53558
Current Owner				5522 PRAIRIE PLACE DR		MCFARLAND, WI 53558
ALEXANDER KARIUS				5525 PRAIRIE PLACE DR		MCFARLAND, WI 53558
ERIC BAGLEY				5528 PRAIRIE PLACE DR		MCFARLAND, WI 53558
HEATHER A BLACKMORE				5530 PRAIRIE PLACE DR		MCFARLAND, WI 53558
MICHAEL ANTHONY REMEC		DENISE ERIN REMEC		5531 PRAIRIE PLACE DR		MCFARLAND, WI 53558
BERKLEY K SPENCER				5532 PRAIRIE PLACE DR		MCFARLAND, WI 53558
ANDREA ANN PRILL ISENBARGER		SARAH KAY GOECKS		5535 PRAIRIE PLACE DR		MCFARLAND, WI 53558
THOMAS W BAILEY		LORETTA T BAILEY		3510 COUNTY HIGHWAY MN		MCFARLAND, WI 53558
VENNEVOLL INC				400 N MORRIS ST		STOUGHTON, WI 53589
AMERICAN TRANSMISSION COMPANY LLC				PO BOX 47		WAUKESHA, WI 53187
RAYMOND B GRANEY		ANA M GRANEY		5502 HOLSCHER RD		MCFARLAND, WI 53558
DENISE TERRIAN				420 CONCORD DR		OREGON, WI 53575
JANELSINS REV LIVING TR, KARLIS & AMY				5509 CHESTNUT LN		MCFARLAND, WI 53558
CHRISTOPHER M ST CLAIR		ISABELL ST CLAIR		5602 HOLSCHER RD		MCFARLAND, WI 53558

TERRENCE E MEYER		LINDA M MEYER		17 LACRESCENTA CIR		MADISON, WI 53716
JOHN STEPHEN MILLER		LUCY J WALL		5610 HOLSCHER RD		MCFARLAND, WI 53558
CHARLES A HAEFFNER		SUSAN J HAEFFNER		5613 CHESTNUT LN		MCFARLAND, WI 53558
BRIAN D RODECK		RENEE L RODECK		5611 CHESTNUT LN		MCFARLAND, WI 53558
PAUL FANKHAUSER		SHARON FANKHAUSER		5609 CHESTNUT LN		MCFARLAND, WI 53558
JANELSINS REV LIVING TR, KARLIS & AMY				5509 CHESTNUT LN		MCFARLAND, WI 53558
MICHAEL ANTHONY BUHALOG		DIANE J BUHALOG		5507 CHESTNUT LN		MCFARLAND, WI 53558
KENNEDY TR, PATRICK A				5505 CHESTNUT LN		MCFARLAND, WI 53558
JOHN C STOCKS		CONSTANCE L HUTCHISON		5608 CHESTNUT LN		MCFARLAND, WI 53558
JUDITH R CRICHTON				5602 CHESTNUT LN		MCFARLAND, WI 53558
DOUGLAS B FENDRY		MARY M FENDRY		5504 CHESTNUT LN		MCFARLAND, WI 53558
CHRISTOPHER YANNA		JOANNA YANNA		5902 CURTIS ST		MCFARLAND, WI 53558
Current Owner				5904 CURTIS ST		MCFARLAND, WI 53558
MCFARLAND, VILLAGE OF				5915 MILWAUKEE ST		MCFARLAND, WI 53558
MCFARLAND, VILLAGE OF				5915 MILWAUKEE ST		MCFARLAND, WI 53558
RICKY L EDGERTON		DANIELLE L EDGERTON		5712 CURTIS ST		MCFARLAND, WI 53558
NANCY J WEHINGER				5808 CURTIS ST		MCFARLAND, WI 53558
JOHN D KOEPEL		TERESA A KOEPEL		5507 CARDINAL DR		MCFARLAND, WI 53558
HARLAN LLC				5002 IRONWOOD DR		MADISON, WI 53716
CHARLEY THOMAS MATHES SHILL		AMANDA E SHILLING		5605 CARDINAL DR		MCFARLAND, WI 53558
Current Owner		Current Owner		5607 CARDINAL LN		MCFARLAND, WI 53558
Current Owner				PO BOX 74		OREGON, WI 53575
TARA LEIGH PENA				UNIT 2 5711 SAUK LN		MCFARLAND, WI 53558
MARIE A SIEBERT				5710 SAUK LN		MCFARLAND, WI 53558
DAVID W SIEBERT		JULIE M SIEBERT		5712 SAUK LN		MCFARLAND, WI 53558
Current Owner		Current Owner		2432 COUNTY HIGHWAY AB		MCFARLAND, WI 53558
Current Owner		Current Owner		2432 COUNTY HIGHWAY AB		MCFARLAND, WI 53558
BARBARA J WIDEN				5606 CARDINAL DR		MCFARLAND, WI 53558
MARSHALL SCHLICHTING				5602 CARDINAL DR		MCFARLAND, WI 53558
DEAN CARLSON				2592 CEDAR LN		OXFORD, NC 27565
CYPHER LIVING TR				5512 CARDINAL DR		MCFARLAND, WI 53558
Current Owner				5511 GLENWAY ST		MCFARLAND, WI 53558
NATHAN N WEYENBERG		CAITLIN WEYENBERG		5513 GLENWAY ST		MCFARLAND, WI 53558
MCFARLAND, VILLAGE OF				MILWAUKEE ST		MCFARLAND, WI 53558
JOHN M GRADEL		COURTNEY M GRADEL		5848 HOLSCHER RD		MCFARLAND, WI 53558
JTG LEGACY LLC				PO BOX 2		MCFARLAND, WI 53558
SCHULER LIVING TR, CAROL D				5872 HOLSCHER RD		MCFARLAND, WI 53558
JACK LUEDTKE		BROOKE LUEDTKE		5890 HOLSCHER RD		MCFARLAND, WI 53558
ROBERT L ANDERSON				5800 HOLSCHER RD		MCFARLAND, WI 53558
GARGANO REV LIVING TR, KATHLEEN R				4606 VERONA RD		MADISON, WI 53711
KATHLEEN A EVERT		JILL C JAMBURA		5830 HOLSCHER RD		MCFARLAND, WI 53558
RONALD L ALLEN		COLLEEN J ALLEN		5704 RUNNING DEER TRL		MCFARLAND, WI 53558
Current Owner		Current Owner		5703 RUNNING DEER TRL		MCFARLAND, WI 53558
JOHN F UJKE		KIM M UJKE		5709 RUNNING DEER TRL		MCFARLAND, WI 53558
LIVE THE GOLDEN RULE REV LIVING TR				5801 RUNNING DEER TRL		MCFARLAND, WI 53558
GOLDEN SNITCH TR				5930 OSBORN DR		MCFARLAND, WI 53558
DAVID L SCHULTZ		ELIZABETH A SCHULTZ		5904 PRAIRIE WOOD DR		MCFARLAND, WI 53558
SKYLER R RUSCH		JENNIFER A RUSCH		5928 PRAIRIE WOOD DR		MCFARLAND, WI 53558
Current Owner		Current Owner		5940 PRAIRIE WOOD DR		MCFARLAND, WI 53558
HANSON LIVING TR				5952 PRAIRIE WOOD DR		MCFARLAND, WI 53558
MCFARLAND, VILLAGE OF				PO BOX 110		MCFARLAND, WI 53558
CHRISTIAN THOMAS PLATA		AUDRA CLAIRE COHEN-PLATA		5885 HOLSCHER RD		MCFARLAND, WI 53558
LUANNE M LAUFENBERG				5873 HOLSCHER RD		MCFARLAND, WI 53558
KIMBERLY RABAS				5849 HOLSCHER RD		MCFARLAND, WI 53558
HARIED LIVING TR				5855 HOLSCHER RD		MCFARLAND, WI 53558
TONI K HUTTER				5867 HOLSCHER RD		MCFARLAND, WI 53558

THOMAS B GANNON				2860 COUNTY HIGHWAY AB	MCFARLAND, WI 53558
MICHAEL A CHRISTIAN		MARTHA A CHRISTIAN		6000 OSBORN DR	MCFARLAND, WI 53558
KEVIN J WEIS				5761 HOLSCHER RD	MCFARLAND, WI 53558
REWEY IRREV TR, DICK L & ELIZABETH A				5712 PRAIRIE STONE DR	MCFARLAND, WI 53558
DEDERICH REV LIVING TR, CRAIG & VALERIE				5905 GRANITE WAY	MCFARLAND, WI 53558
WILLIAM L COGGER		DAWN R COGGER		5921 GRANITE WAY	MCFARLAND, WI 53558
Current Owner				5937 GRANITE WAY	MCFARLAND, WI 53558
ISABELL ST CLAIR		STEPHEN SHARKEY		5961 GRANITE WAY	MCFARLAND, WI 53558
SLATTERY TR, RICHARD & LORI				5725 PRAIRIE STONE DR	MCFARLAND, WI 53558
MCCARTHY FAMILY TR				5732 PRAIRIE STONE DR	MCFARLAND, WI 53558
PETER D FOY		KAREN J FOY		5736 PRAIRIE STONE DR	MCFARLAND, WI 53558
SATTERLEE LIVING TR, LARRY J & LA DON F				5752 PRAIRIE STONE DR	MCFARLAND, WI 53558
STEVEN L LANDPHIER		LAURNA J LANDPHIER		5760 PRAIRIE STONE DR	MCFARLAND, WI 53558
CAROL NIELSEN		ROBERT NIELSEN		5761 PRAIRIE STONE DR	MCFARLAND, WI 53558
JAMES C MCKAY				5767 PRAIRIE STONE DR	MCFARLAND, WI 53558
THEODORE E CRABB		BARBARA B CRABB		449 WILD INDIGO LN	MADISON, WI 53717
ENTWISTLE SURVIVORS TR, SUSAN D				PO BOX 187	MCFARLAND, WI 53558
BEVERLY J KUCKER				5784 PRAIRIE STONE DR	MCFARLAND, WI 53558
JAMES S ALT		BARBARA E ALT		5788 PRAIRIE STONE DR	MCFARLAND, WI 53558
CRUMBAUGH LIVING TR, CAROL JEAN				5792 PRAIRIE STONE DR	MCFARLAND, WI 53558
GEORGIA D REGNER				5977 GRANITE WAY	MCFARLAND, WI 53558
Current Owner		Current Owner		5987 PRAIRIE WOOD DR	MCFARLAND, WI 53558
DAVID WENDT		TANA WENDT		5975 PRAIRIE WOOD DR	MCFARLAND, WI 53558
WALKER IRREV TR				5927 HOLSCHER RD	MCFARLAND, WI 53558
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
DALE J NELSON		AMY S NELSON		6312 TUSCOBIA TRL	MCFARLAND, WI 53558
MILES STOFFEL		MEGAN STOFFEL		6306 TUSCOBIA TRL	MCFARLAND, WI 53558
GREGORY B BAUGH		DANA L BAUGH		6300 TUSCOBIA TRL	MCFARLAND, WI 53558
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
INVESTMENT 468 LLC				842 FOX RUN CT	OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT	OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT	OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT	OREGON, WI 53575
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713
INVESTMENT 468 LLC				842 FOX RUN CT	OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT	OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT	OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT	OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT	OREGON, WI 53575
INVESTMENT 468 LLC				842 FOX RUN CT	OREGON, WI 53575
CHARLES CHUNG				5930 VINTAGE BIRCH WAY	MCFARLAND, WI 53558
VH ROSEWOOD FIELDS LLC				6801 SOUTH TOWNE DR	MADISON, WI 53713

September 13, 2022

Mr. Grant Phillips
President
TowerKing

RE: Proposed 170' Monopole for McFarland, MN

Dear Mr. Phillips,

Upon receipt of order, we propose to design and supply the above-referenced monopole for a Basic Wind Speed of 107 mph without ice and 40 mph with 1.5" ice, Risk II, Structure Classification II, Exposure Category C, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-H, "Structural Standard for Antenna-Supporting Structures and Antennas and Small Wind Turbine Support Structures".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. *Please note that this letter only applies to the above-referenced monopole designed and manufactured by Sabre Industries.* This would effectively result in a fall radius less than or equal to 35 feet.

Sincerely,

Amy R. Herbst, P.E.
Senior Design Engineer

PROFESSIONAL ENGINEER

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the Laws of the State of Minnesota.

Print Name AMY R. HERBST

Signature 

Date 9/13/22 License #44860

Derek McGrew

Subject: FW: Notice - Dane County New Tower MLA Partner Towerking / McFarland

From: Derek McGrew <derek@cellusite.net>

Sent: Tuesday, October 11, 2022 2:39 PM

To: >; @att.com>

Subject: Notice - Dane County New Tower MLA Partner Towerking / McFarland

Hello Kent, I have one more site in development in Dane County that I'm required to provide notice to you –

NOTICE

You are receiving this Notice per Dane County, Wisconsin Ordinance.

Please be aware that Towerking, an AT&T Wireless MLA partner has proposed a new tower at the following location. The tower has available heights of 150' and below. Please contact me should you have any interest in leasing this tower at this location.

This location is being used by our anchor tenant to cover the Eastern portion of McFarland Wisconsin and surrounding area.

Towerking would greatly appreciate your support for this application

43.0169 -89.2709

3486 County Highway MN, McFarland, WI 53558

Appreciate it!

Derek B. McGrew

VP / CelluSite, LLC

103 Wilshire Court

Noblesville, IN 46062

317-507-4541

derek@cellusite.net

www.cellusite.net

Derek McGrew

Subject: FW: Notice - Dane County New Tower Towerking / T-Mobile / McFarland

From: Derek McGrew <derek@cellusite.net>

Sent: Tuesday, October 11, 2022 2:35 PM

To: @T-Mobile.com>

Subject: Notice - Dane County New Tower Towerking / T-Mobile / McFarland

Good afternoon Mike, sending you the required notice per Dane County, WI.

NOTICE

You are receiving this Notice per Dane County, Wisconsin Ordinance.

Please be aware that Towerking has proposed a new tower at the following location. The tower has available heights of 150' and below. Please contact me should you have any interest in leasing this tower at this location.

This location is being used by our anchor tenant to cover the Eastern portion of McFarland Wisconsin and surrounding area. This anchor tenant is using the same towers as T-Mobile in the area, so it would seemingly make sense that this new tower would be placed well.

Towerking would greatly appreciate your support for this application

43.0169 -89.2709

3486 County Highway MN, McFarland, WI 53558

Appreciate it!

Derek B. McGrew

VP / CelluSite, LLC

103 Wilshire Court

Noblesville, IN 46062

317-507-4541

derek@cellusite.net

www.cellusite.net

Derek McGrew

Subject: FW: Notice - Dane County New Tower Towerking / McFarland

From: Derek McGrew <derek@cellusite.net>
Sent: Monday, October 17, 2022 1:58 PM
To: @uscellular.com>
Subject: Notice - Dane County New Tower Towerking / McFarland

Brandi,

NOTICE

You are receiving this Notice per Dane County, Wisconsin Ordinance.

Please be aware that Towerking, has proposed a new tower at the following location. The tower has available heights of 150' and below. Please contact me should you have any interest in leasing this tower at this location. Towerking is a carrier friendly tower company with reasonable lease rates, flexible lease language and FAST Speed to market!

This location is being used by our anchor tenant to cover the Eastern portion of McFarland Wisconsin to cover the population there and surrounding area.

Towerking would greatly appreciate your support for this application

43.0169 -89.2709
3486 County Highway MN, McFarland, WI 53558

Appreciate it!

Derek B. McGrew
VP / CelluSite, LLC
103 Wilshire Court
Noblesville, IN 46062
317-507-4541
derek@cellusite.net
www.cellusite.net

Derek McGrew

Subject: FW: Notice - Dane County New Tower Towerking / McFarland

From: Derek McGrew <derek@cellusite.net>

Sent: Tuesday, October 11, 2022 2:41 PM

To: <@verizonwireless.com>

Cc: <@VerizonWireless.com>

Subject: Notice - Dane County New Tower Towerking / McFarland

Hello again Allen, I have one more site in development in Dane County that I'm required to provide notice to you -

NOTICE

You are receiving this Notice per Dane County, Wisconsin Ordinance.

Please be aware that Towerking, an AT&T Wireless MLA partner has proposed a new tower at the following location. The tower has available heights of 150' and below. Please contact me should you have any interest in leasing this tower at this location.

This location is being used by our anchor tenant to cover the Eastern portion of McFarland Wisconsin to cover the population there and surrounding area.

Towerking would greatly appreciate your support for this application

43.0169 -89.2709

3486 County Highway MN, McFarland, WI 53558

Appreciate it!

Derek B. McGrew

VP / CelluSite, LLC

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Noblesville, IN 46062

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CUP 2583 Legal Description

Lot 1 of Certified Survey Map #12538, Section 2, Town 6 North, Range 10 East,
Town of Dunn, Dane County, Wisconsin.